



Request for Comments

Case Name: 1853 Monroe Street Minor Subdivision

Project Number: PRC2023-00025

December 13, 2023

The Adams County Planning Commission is requesting comments on the following application: **1. Final Plat for minor subdivision to create two lots in the Residential-1-C zone district, and partially within the Natural Resources Conservation Overlay District; 2. Waiver from Subdivision Design Standards to seek relief from Adams County Arterial Roadway Design Standards.** This request is located at 1853 MONROE ST. The Assessor's Parcel Number is 0181333400011.

Applicant Information:

SUMIT JOSEPH
23657 E ELLSWORTH AVENUE
AURORA,, CO 80018-1556

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 or call (720) 523-6800 by in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to BMarin@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you upon request. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/current-land-use-cases.

Thank you for your review of this case.

Braylan Marin
Planner II

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Emma Pinter
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Lynn Baca
DISTRICT 5



FINAL PLAT

(MINOR SUBDIVISION)

A minor subdivision shall only be used to divide parcels of less than twenty (20) acres into four (4) or fewer lots. Minor subdivisions are processed through this application for final plat. Two public hearings are required in the processing of this application. A separate application for Subdivision Engineering Review must be filed in addition to this application for final plat.

Please include this page with your submittal. Submittal instructions and more information about checklist items can be found on pages 2-3.

Required Checklist Items

- Item 01 Development Application Form
- Item 02 Written Explanation
- Item 03 Final Plat
- Item 04 Legal Description
- Item 05 Conceptual Site Plan
- Item 06 Proof of Ownership
- Item 07 Proof of Water and Sewer Services
- Item 08 Proof of Utilities
- Item 09 Certificate of Taxes Paid
- Item 10 Receipt of Payment to Colorado Geological Survey

Discretionary Checklist Items

- Item 11 School Impact Analysis
- Item 12 Subdivision Engineering Review Application. If already filed, please identify the case number here:
- Item 13
- Item 14

Fees Due When Application is Deemed Complete	
Minor Subdivision (final plat)	• \$1,600



DEVELOPMENT APPLICATION FORM

Application Type:

<input type="checkbox"/> Conceptual Review	<input type="checkbox"/> Preliminary PUD	<input type="checkbox"/> Temporary Use
<input type="checkbox"/> Subdivision, Preliminary	<input type="checkbox"/> Final PUD	<input type="checkbox"/> Variance
<input type="checkbox"/> Subdivision, Final	<input type="checkbox"/> Rezone	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Plat Correction/ Vacation	<input type="checkbox"/> Special Use	<input type="checkbox"/> Other: _____

PROJECT NAME:

APPLICANT

Name(s): Phone #:
Address:
City, State, Zip:
2nd Phone #: Email:

OWNER

Name(s): Phone #:
Address:
City, State, Zip:
2nd Phone #: Email:

TECHNICAL REPRESENTATIVE (Consultant, Engineer, Surveyor, Architect, etc.)

Name: Phone #:
Address:
City, State, Zip:
2nd Phone #: Email:

DESCRIPTION OF SITE

Address:

City, State, Zip:

Area (acres or square feet):

Tax Assessor Parcel Number

Existing Zoning:

Existing Land Use:

Proposed Land Use:

Have you attended a Conceptual Review? YES NO

If Yes, please list PRE#:

I hereby certify that I am making this application as owner of the above described property or acting under the authority of the owner (attached authorization, if not owner). I am familiar with all pertinent requirements, procedures, and fees of the County. I understand that the Application Review Fee is non-refundable. All statements made on this form and additional application materials are true to the best of my knowledge and belief.

Name:
Owner's Printed Name

Date:

Name:
Owner's Signature

DESCRIPTION OF SITE

Address:

City, State, Zip:

Area (acres or square feet):

Tax Assessor Parcel Number

Existing Zoning:

Existing Land Use:

Proposed Land Use:

Have you attended a Conceptual Review? YES NO

If Yes, please list PRE#:

I hereby certify that I am making this application as owner of the above described property or acting under the authority of the owner (attached authorization, if not owner). I am familiar with all pertinent requirements, procedures, and fees of the County. I understand that the Application Review Fee is non-refundable. All statements made on this form and additional application materials are true to the best of my knowledge and belief.

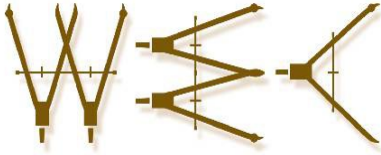
Name:

Date:

Owner's Printed Name

Name:

Owner's Signature



WESTERN ENGINEERING CONSULTANTS,
*127 S Denver Ave. Fort Lupton, CO 80621
2501 Mill Street, Brush, CO 80723
Office: 720-685-9951
Cell. 303-913-7341, Fax 720-294-1330
Email: chadwin.cox@westerneci.com*

Inc LLC

November 22, 2023

Adams County Community and Economic Development
4430 South Adams County Parkway
1st Floor, Suite W2000
Brighton, CO 80601-8216

RE: 1853 MONROE STREET MINOR SUBDIVISION

Adams County Community and Economic Development:

Western Engineering Consultants Inc. LLC (WEC) has prepared this narrative letter to briefly summarize “1853 Monroe Street Minor Subdivision”, located at 1853 Monroe Street, Strasburg, CO Adams County.

The subject property is located NE 1/4 of the SE 1/4 of Section 33, Township 3 South, Range 62 West of Sixth Principal Meridian, County of Adams, State of Colorado, as stated in the Commitment for Title Insurance dated December 13, 2021.

PURPOSE / BACKGROUND

The property was previously a Daycare Center and was closed due to Covid pandemic in 2021; the parcel is currently zoned R-1-C in Adams County.

The owner’s purpose is to subdivide the 0.818 acres property into two new lots (Lot 1 0.38 ac. And Lot 2 0.44 ac.) in accordance with R-1-C district requirements.



ZONING COMPLIANCE

The development is and will be compatible with the R-1-C character of the surrounding area, see Fig. 1 Adams County Zoning Map.

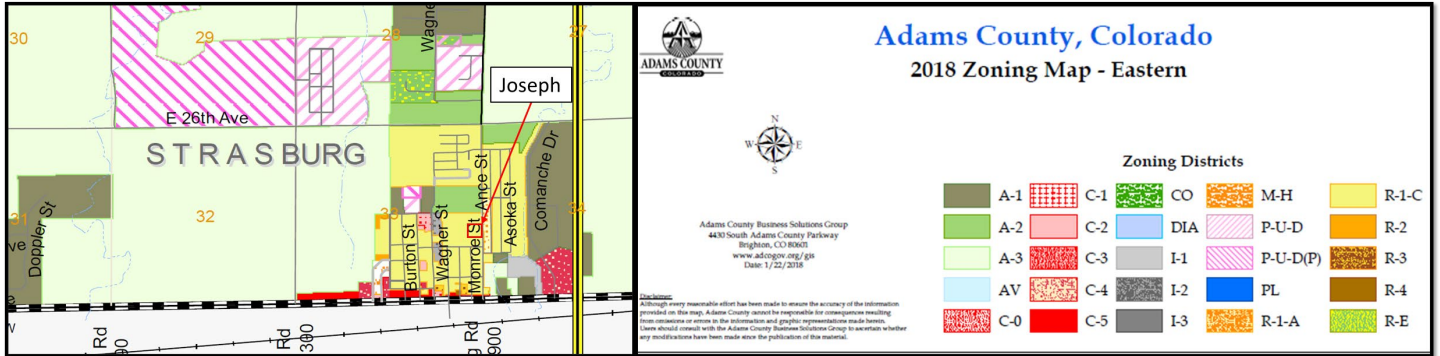


Fig. 1 Zoning Map

ADJACENT USES

To the north is a 1.0 acre parcel owned by School District 31 Strasburg zoned R-1-C, to the south there are two parcels (0.63 and 1.925 acres) zoned R-1-C owned by the Strasburg Sanitation and Water District, to the east lies Monroe Street and further east is the Strasburg East Third Filing Subdivision zoned R-1-A.

RELATIONSHIP TO & IMPACT UPON ADJACENT USES

The proposed residential development will be character compatible with the surrounding areas. The Adams County Comprehensive Plan shows this area as Urban Residential, and the proposed development is consistent with 2012 Adams County Comprehensive Plan, See Fig. 2. Future Land use Map.

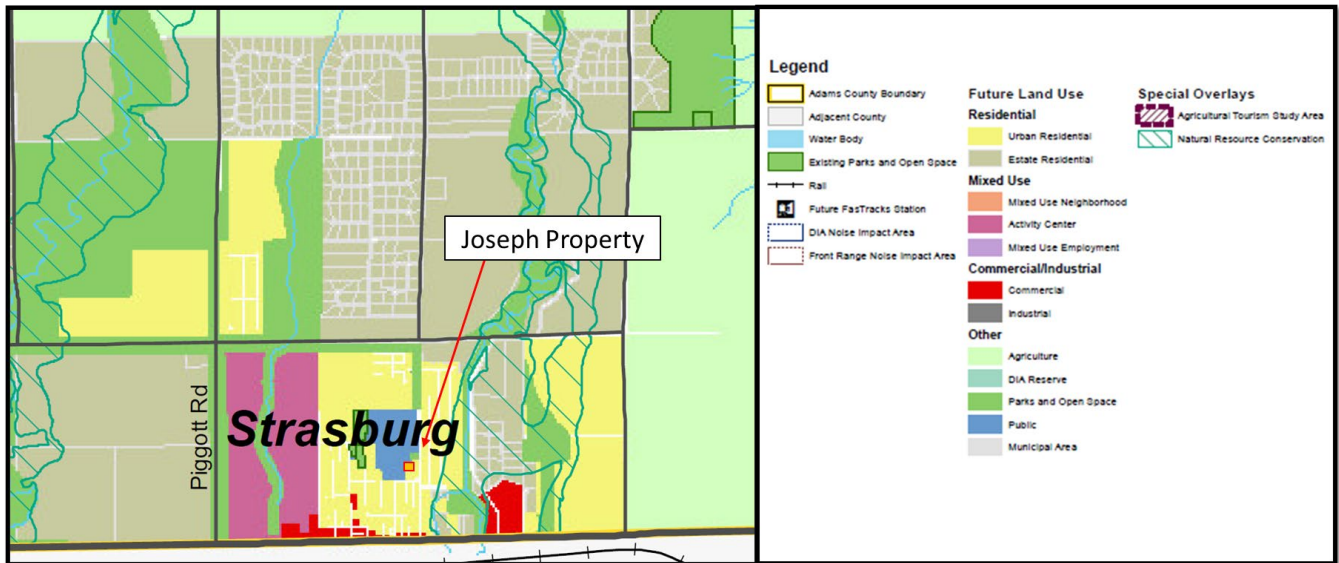


Fig. 2 Future Land Use Map

ACCESS LAYOUT

Lot 1 and Lot 2 will continue accessing from Monroe Street through proposed independent access, see Fig 3 Site Plan

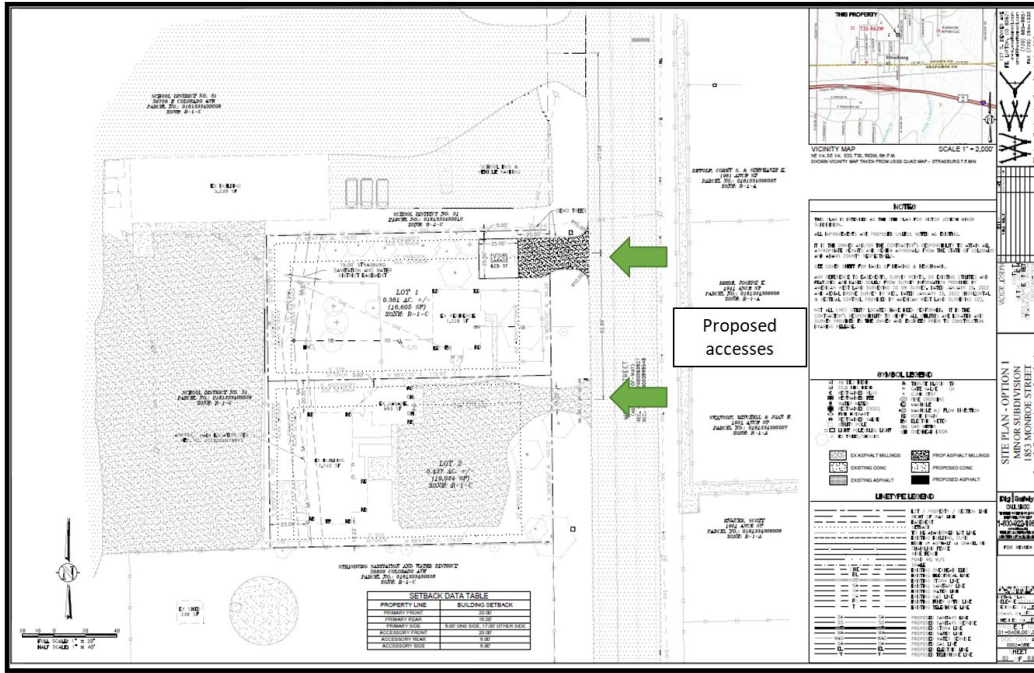


Fig. 3 Site Plan

STATEMENT ON COMMUNITY NEED FOR PROPOSED SUBDIVISION & ZONING

The proposed Subdivision aligns to the 2012 Adams County Comprehensive and Zoning Plan. The proposed use will complement the surrounding land uses currently adjacent to the property, consisting of single-family dwellings, public schools, and Strasburg Water District facilities.

The proposed uses will not be detrimental to the public health, safety, or general welfare as similar uses exist throughout other entities in the nearby area. The proposed use will be required to conform in all other respects to all applicable Adams County zoning regulations and standards.

GEOLOGICAL HAZARDS

No geologic hazards or environmental conditions/ concerns are known to exist on the property. The NRCS Study is enclosed.

ZONING, USE, PHASING, and UTILITY DISTRICTS

The following summarizes the proposed specifics:

- Zoning: Currently zoned R-1-C and no changes are proposed.
- Proposed Use: Residential
- Type of structures to be built: One new residence.
- Water source: Strasburg Sanitation and Water District
- Sanitary Sewer source: Strasburg Sanitation and Water District
- Storm sewer: Strasburg
- Gas: Xcel
- Electricity: Core Electric Bill is enclosed.
- Fire Protection: Strasburg Fire District 8

EXISTING INFRASTRUCTURE / FIRE ACCESS

Monroe Street (paved 2 lane road with turn lane) exists to the east.

Water and sanitary service exists from Strasburg Water and Sewer District for both the existing residence and future residence, enclosed bills for both services.

Electric service exists and serves the property.

SUBDIVISION IMPROVEMENTS

A waiver request for Subdivision Design Standards is enclosed. The existing conditions of Monroe Street do not allow the requirements to construct roadway improvements adjacent to the proposed site.

POTENTIAL IMPACT IN ADJACENT PROPERTIES

No negative impact is anticipated from this development to adjacent properties after construction has been completed.

Traffic impacts from this proposal are expected to be significantly reduced now that the Daycare is not in operation and the proposed use is as two single family residence. Please see the attached Trip Generation Estimate for the properties as single family residences.

SUBDIVISION MINOR/FINAL SUBMITTAL CHECKLIST

- | | |
|--|---------------|
| 1. Development Application Form (Rezoning) | Enclosed |
| 2. Written explanation of the project | This document |
| 3. Final Plat | Enclosed |
| 4. Legal Description | Enclosed |
| 5. Conceptual Site Plan (Cds) | Enclosed |
| 6. Proof of Ownership | Enclosed |
| 7. Proof of Water and Sewer Services | Enclosed |
| 8. Proof of Utilities | Enclosed |
| 9. Certificate of Taxes Paid | Enclosed |
| 10. Receipt of Payment to Colorado Geological Survey | Enclosed |
| 11. School Impact Analysis | Enclosed |
| 12. Subdivision Engineering Review Application | Enclosed |

CLOSING

The Applicant is excited to propose this project in Adams County.

The desired schedule is to achieve approvals and begin Construction in the middle 2024 if the residential market allows.

Please contact me with any questions or comments you may have on this Project Narrative.

Sincerely,



Western Engineering Consultants inc., LLC
Chadwin F. Cox, P.E.
Senior Project Manager

1853 MONROE STREET MINOR SUBDIVISION

CASE NO: PLT2022-00017

Part of the Southeast 1/4 of Section 33,
Township 3 South, Range 62 West of the 6th P.M.,
County of Adams, State of Colorado

Sheet 1 of 2

CERTIFICATE OF DEDICATION AND OWNERSHIP:

KNOW ALL MEN BY THESE PRESENTS THAT JOSEPH SUMIT, BEING THE OWNER OF THAT PART OF THE SOUTHEAST 1/4 OF SECTION 33, TOWNSHIP 3 SOUTH, RANGE 62 WEST OF THE 6TH PRINCIPAL MERIDIAN BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A TRACT OF LAND IN THE NE 1/4 OF THE SE 1/4 OF SECTION 33, TOWNSHIP 3 SOUTH, RANGE 62 WEST OF 6TH PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF SAID SECTION 33 WHICH IS 455.58 FEET, MORE OR LESS, DUE EAST OF THE NE CORNER OF A TRACT OF GROUND WHICH HAS BEEN HERETOFORE CONVEYED BY O.E. BRINEY TO JOINT SCHOOL DISTRICT NO. 31, THENCE SOUTH ALONG SAID EAST SECTION LINE 198 FEET TO A POINT, THENCE WEST 220.00 FEET TO A POINT, THENCE NORTH 198 FEET TO A POINT, THENCE EAST 220.00 FEET TO THE POINT OF BEGINNING,

EXCEPT THOSE PORTIONS CONVEYED TO THE COUNTY OF ADAMS, STATE OF COLORADO IN DEEDS RECORDED NOVEMBER 13, 2006 UNDER RECEPTION NO. 2006000999548, AND RECORDED JULY 3, 2007 UNDER RECEPTION NO. 2007000063927, COUNTY OF ADAMS, STATE OF COLORADO.

SAID PARCEL CONTAINS 35,630 SQUARE FEET OR 0.82 ACRES, MORE OR LESS

HAS BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF 1853 MONROE STREET MINOR SUBDIVISION, AND DO HEREBY GRANT TO THE COUNTY OF ADAMS, STATE OF COLORADO, FOR THE USE OF THE PUBLIC, THE EASEMENTS AND OTHER PUBLIC UTILITY, CABLE TV AND DETENTION POND AREAS, FLOODWAY AND FLOODPLAIN LIMITS, DRAINAGE AND OTHER PUBLIC PURPOSES AS DETERMINED BY THE COUNTY OF ADAMS.

JOSEPH SUMIT

ACKNOWLEDGEMENT

COLORADO }
ADAMS COUNTY } SS

THE FOREGOING PLAT AND DEDICATION WAS ACKNOWLEDGED BEFORE ME BY: JOSEPH SUMIT AS OWNER

THIS _____ DAY OF _____, 20____

NOTARY PUBLIC

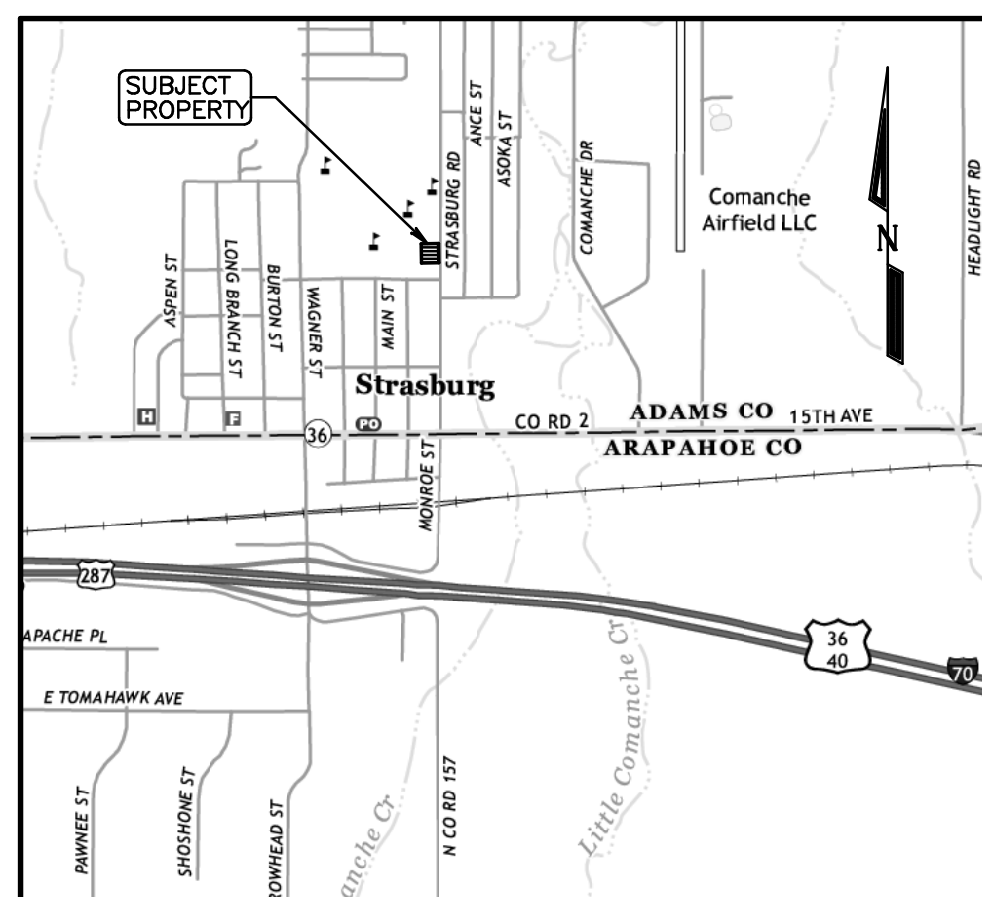
MY COMMISSION EXPIRES: _____

MY ADDRESS IS: _____

SURVEYOR'S STATEMENT:

I, CURTIS D. HOOS, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY REPRESENTED BY THIS PLAT WAS MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND THIS PLAT ACCURATELY REPRESENTS SAID SURVEY TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY ME TO DETERMINE OWNERSHIP.

CURTIS D. HOOS, PLS 37971
FOR AND ON BEHALF OF:
AMERICAN WEST LAND SURVEYING CO.
A COLORADO CORPORATION



VICINITY MAP: 1" = 2000'

NOTES:

1) BASIS OF BEARINGS: THE EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 33, TOWNSHIP 3 SOUTH, RANGE 62 WEST OF THE 6TH P.M., IN ADAMS COUNTY, COLORADO, IS ASSUMED TO BEAR SOUTH 00°42'50" EAST, BEING MONUMENTED ON THE NORTH END BY A 3/4" REBAR WITH 3 1/4" ALUMINUM CAP, PLS 38064 IN MONUMENT BOX, AND ON THE SOUTH END BY A 3/4" REBAR WITH 3 1/4" ALUMINUM CAP, PLS 12330 IN MONUMENT BOX, AND WITH ALL BEARINGS SHOWN HEREON RELATIVE THERETO.

2) ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.

3) CERTIFICATION DEFINED: THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" BY A REGISTERED PROFESSIONAL LAND SURVEYOR, IN THE PRACTICE OF LAND SURVEYING, CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OF FINDINGS WHICH ARE SUBJECT OF THE CERTIFICATION, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESS OR IMPLIED.

4) ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTIONS BASED UPON A DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

5) AMERICAN WEST LAND SURVEYING COMPANY RELIED UPON TITLE COMMITMENT PROVIDED BY LAND TITLE GUARANTEE COMPANY DATED JUNE 7, 2022, ORDER NO. RND70775384 FOR INFORMATION REGARDING EASEMENTS AND RIGHTS-OF-WAY OF RECORD

6) DISTANCES ON THIS DRAWING ARE EXPRESSED IN U.S. SURVEY FEET AND DECIMALS THEREOF. A U.S. SURVEY FOOT IS DEFINED AS EXACTLY 1200/3937 METERS.

7) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP DATED MARCH 5, 2007, MAP NO. 08001C1002H, THE SUBJECT PROPERTY SHOWN HEREON LIES WITHING FLOOD ZONE "X" (AREA OF MINIMAL FLOOD HAZARD).

PLANNING COMMISSION APPROVAL:

RECOMMENDED FOR APPROVAL BY THE ADAMS COUNTY PLANNING COMMISSION

THIS _____ DAY OF _____ A.D. 20____

CHAIR

BOARD OF COUNTY COMMISSIONERS APPROVAL:

APPROVED BY THE ADAMS COUNTY BOARD OF COUNTY COMMISSIONERS

THIS _____ DAY OF _____ A.D. 20____

CHAIR

ADAMS COUNTY ATTORNEY'S OFFICE:

APPROVED AS TO FORM

CLERK AND RECORDER'S CERTIFICATE:

THIS MAP WAS FILED FOR RECORD IN THE OFFICE OF ADAMS COUNTY CLERK AND RECORDER, IN THE STATE OF COLORADO,

AT _____ M. ON THE _____ DAY OF _____, A.D. 20____

BY: _____ DEPUTY _____ COUNTY CLERK AND RECORDER

RECEPTION NO. _____

American West
Land Surveying Co.
A Colorado Corporation

PO Box 129, Brighton, CO 80601 * P:303-659-1532 F:303-655-0575 * amwestls.com

REVISION	DATE	SCALE 1" = 30'
	DATE: JUNE 27, 2022	
	DRAWN BY: CDH	
	CHECKED BY: MJH	
	CLIENT: JOSEPH	
	JOB NO: 22-	

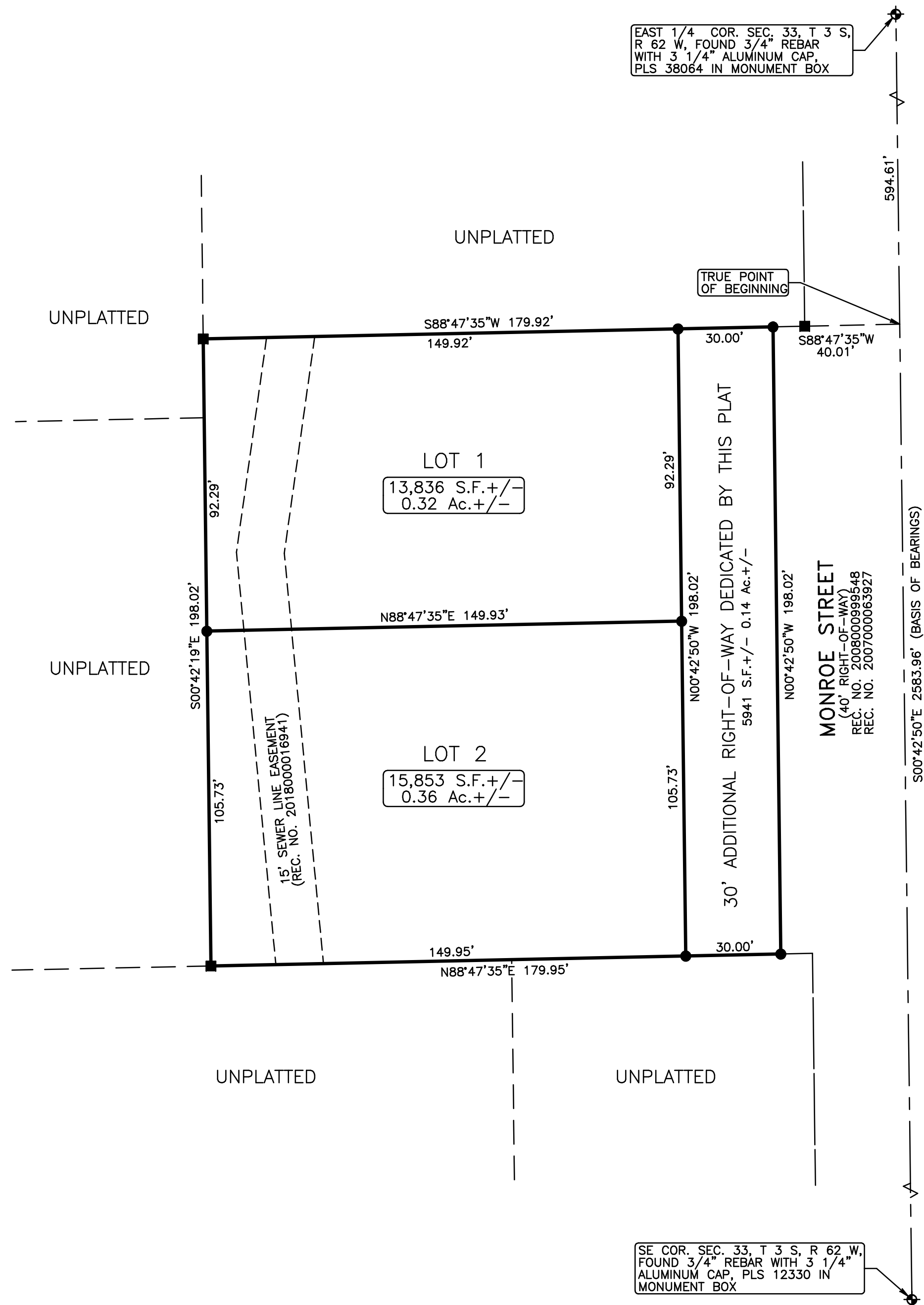
FILE: \\SERVER\Surveys\T_S\T3S_R62W\S33\S33\1853_MONROE_ST_SUB.pro

1853 MONROE STREET MINOR SUBDIVISION

CASE NO: PLT2022-00017

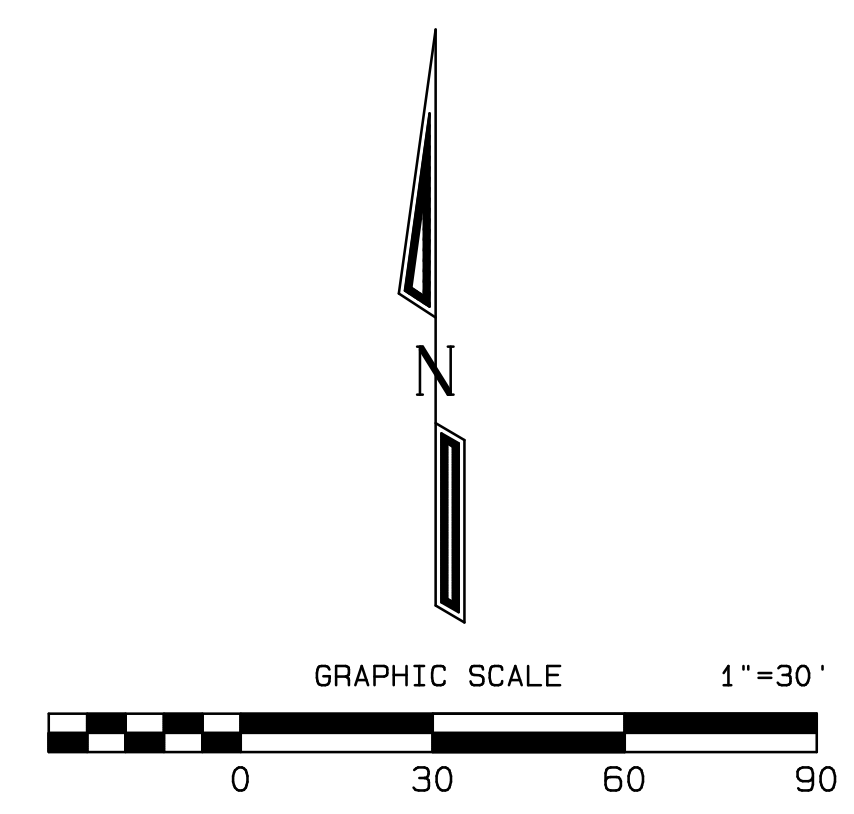
Part of the Southeast 1/4 of Section 33,
Township 3 South, Range 62 West of the 6th P.M.,
County of Adams, State of Colorado

Sheet 2 of 2



EAST 1/4 COR. SEC. 33, T 3 S,
R 62 W, FOUND 3/4" REBAR
WITH 3 1/4" ALUMINUM CAP,
PLS 38064 IN MONUMENT BOX

SE COR. SEC. 33, T 3 S, R 62 W,
FOUND 3/4" REBAR WITH 3 1/4"
ALUMINUM CAP, PLS 12330 IN
MONUMENT BOX



LEGEND

- ⊕ = ALIQUOT MONUMENT, AS NOTED
- = SET 5/8" X 24" REBAR WITH 2" ALUMINUM CAP, PLS 37971
- = FOUND 5/8" REBAR WITH 1 1/4" RED PLASTIC CAP, PLS 38539

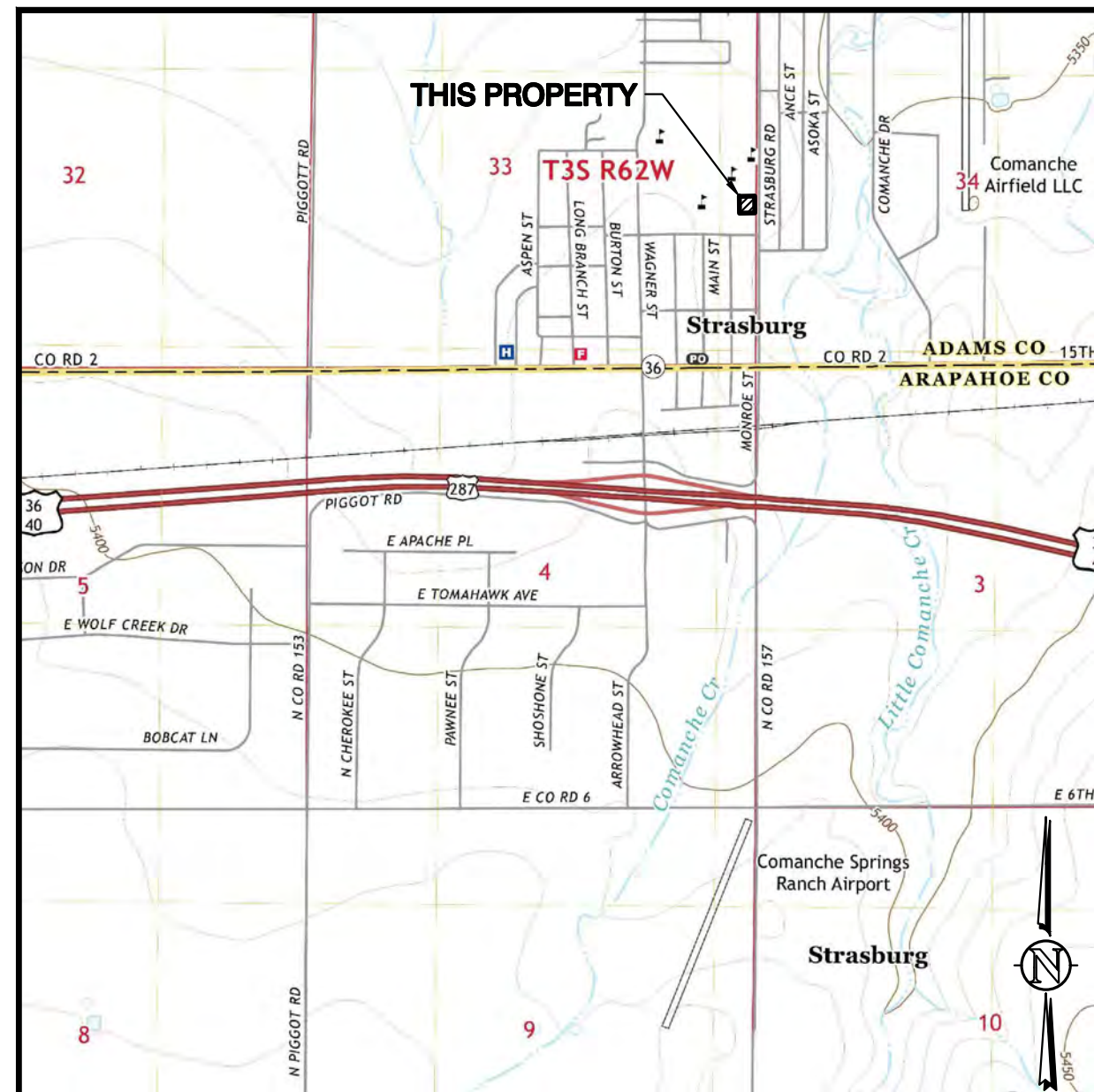
American West

Land Surveying Co.
A Colorado Corporation

PO Box 129, Brighton, CO 80601 * P:303-659-1532 F:303-655-0575 * amwestls.com

REVISION	DATE	SCALE 1" = 30'
		DATE: JUNE 27, 2022
		DRAWN BY: CDH
		CHECKED BY: MJH
		CLIENT: JOSEPH
		JOB NO: 22-

FILE: \\SERVER\Surveys\T_S\T3S_R62W\S33\S33\1853_MONROE_ST_SUB.pro



VICINITY MAP SCALE: 1" = 2,000'
 SE 1/4, S33, T3S, R62W, 6th P.M.
 SHOWN VICINITY MAP TAKEN FROM USGS QUAD MAP - STRASBURG 7.5 MIN

CIVIL SITE PLANS

Located in the Southeast 1/4 of Section 33,
 Township 3 South, Range 62 West of the 6th P.M.,
 County of Adams, State of Colorado

SITE CIVIL PLANS FOR:

1853 MONROE ST MINOR SUBDIVISION
1853 MONROE ST
STRASBURG, CO 80136

PREPARED FOR:

VICTOR JOSEPH
1853 MONROE ST
STRASBURG, CO 80136
(303)746-1914

APPROVED BY:

VICTOR JOSEPH

DATE

WESTERN ENGINEERING CONSULTANTS, INC. LLC
CHADWIN F. COX, P.E.

DATE

LEGAL DESCRIPTION

LEGAL DESCRIPTION PROVIDED BY: AMERICAN WEST LAND SURVEYING CO.

KNOW ALL MEN BY THESE PRESENTS THAT JOSEPH SUMIT, BEING THE OWNER OF THAT PART OF THE SOUTHEAST 1/4 OF SECTION 33, TOWNSHIP 3 SOUTH, RANGE 62 WEST OF THE 6TH PRINCIPAL MERIDIAN BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

ALL OF THAT PROPERTY DESCRIBED IN DEED RECORDED FEBRUARY 8, 2018 AS RECEPTION NO. 2018000011536 IN THE RECORDS OF THE CLERK AND RECORDER FOR ADAMS COUNTY, COLORADO;

CONSIDERING THE EAST LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 33 TO BEAR SOUTH 00°42'50" EAST, COINCIDENT WITH THE EAST LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 33, A DISTANCE OF 594.61 FEET; THENCE SOUTH 88°47'35" WEST, COINCIDENT WITH THE EASTERLY EXTENSION OF THE NORTH LINE OF SAID PARCEL, A DISTANCE OF 40.001 FEET TO THE WEST RIGHT-OF-WAY LINE OF MONROE STREET AS DESCRIBED IN DEED RECORDED NOVEMBER 13, 2006 AS RECEPTION NO. 2007000063927 IN THE RECORDS OF THE CLERK AND RECORDER FOR ADAMS COUNTY, COLORADO, AND THE TRUE POINT OF BEGINNING; THENCE CONTINUING SOUTH 88°47'35" WEST, COINCIDENT WITH THE WEST LINE OF SAID PARCEL; A DISTANCE OF 179.92 FEET TO THE NORTHWEST CORNER OF SAID PARCEL; THENCE SOUTH 00°42'19" EAST, COINCIDENT WITH THE WEST LINE OF SAID PARCEL, A DISTANCE OF 198.02 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL; THENCE NORTH 88°47'35" EAST, COINCIDENT WITH THE SOUTH LINE OF SAID PARCEL, A DISTANCE OF 179.95 FEET TO THE WEST RIGHT-OF-WAY LINE OF MONROE STREET; THENCE NORTH 00°42'50" WEST, COINCIDENT WITH SAID WEST RIGHT-OF-WAY LINE, A DISTANCE OF 198.02 FEET TO THE TRUE POINT OF BEGINNING.

SAID PARCEL CONTAINS 35,630 SQUARE FEET OR 0.82 ACRES, MORE OR LESS

HAS BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF THOMPSON MINOR SUBDIVISION, AND DO HEREBY GRANT TO THE COUNTY OF ADAMS, STATE OF COLORADO, FOR USE OF THE PUBLIC UTILITY, CABLE TV, AND DETENTION POND AREAS, FLOODWAY AND FLOODPLAIN LIMITS, DRAINAGE, AND OTHER PUBLIC PURPOSES AS DETERMINED BY THE COUNTY OF ADAMS.

BASIS OF BEARING & PROJECT BENCHMARK

BASIS OF BEARING: THE EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 33, TOWNSHIP 3 SOUTH, RANGE 62 WEST OF THE 6TH P.M., IN ADAMS COUNTY, COLORADO, IS ASSUMED TO BEAR SOUTH 00°42'50" EAST, BEING MONUMENTED ON THE NORTH END BY A 3/4" REBAR WITH 3 1/4" ALUMINUM CAP, PLS 38064 IN MONUMENT BOX, AND ON THE SOUTH END BY A 3/4" REBAR WITH 3 1/4" ALUMINUM CAP, PLS 12330 IN MONUMENT BOX, AND WITH ALL BEARINGS SHOWN HEREON RELATIVE THERETO.

PROJECT BENCHMARK: ELEVATIONS ARE BASED UPON STATIC GPS OBSERVATIONS POST PROCESSED THROUGH THE NATIONAL GEODETIC SURVEY'S ONLINE POSITIONING USER SERVICE (OPUS) AND ARE REPORTED IN NAVD 88 (GEOID 18).

REVISIONS SHEET INDEX:

REVISIONS	SHEET INDEX:
0 1 2	1 COVER SHEET
0 1 2	2 EXISTING CONDITIONS & DEMO PLAN
0 1 2	3 SITE PLAN
0 1 2	4 UTILITY & GRADING PLAN
1 2	5 INITIAL EROSION CONTROL PLAN
1 2	6 INTERIM EROSION CONTROL PLAN
1 2	7 FINAL EROSION CONTROL PLAN
1	8 EROSION CONTROL DETAILS
1	9 EROSION CONTROL DETAILS
1	10 EROSION CONTROL DETAILS
1	11 EROSION CONTROL DETAILS
1	12 EROSION CONTROL DETAILS
1	13 EROSION CONTROL DETAILS

0	INITIAL RELEASE	MARCH 24, 2022
1	REV PER COUNTY COMMENTS 04/20/22	MAY 27, 2022
2	REV PER COUNTY COMMENTS 05/17/22	NOVEMBER 21, 2023

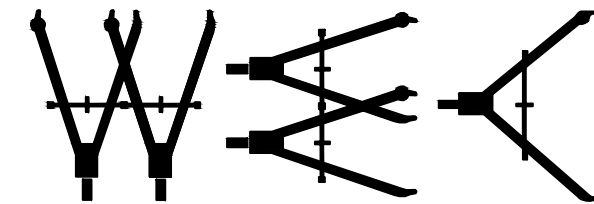


1-800-922-1987

Utility Notification
 Center of Colorado
 Administrative Office
 16361 Table Mountain Parkway Golden,
 Colorado 80403
 Office: 303-252-1987 Fax: 303-234-1112
 Toll-Free: 1-800-922-1987

CALL 2 BUSINESS DAYS IN ADVANCE
 BEFORE YOU DIG, GRADE, OR EXCAVATE
 FOR THE MARKING OF UNDERGROUND
 MEMBER UTILITIES.

PREPARED BY:



Western Engineering Consultants, Inc. LLC

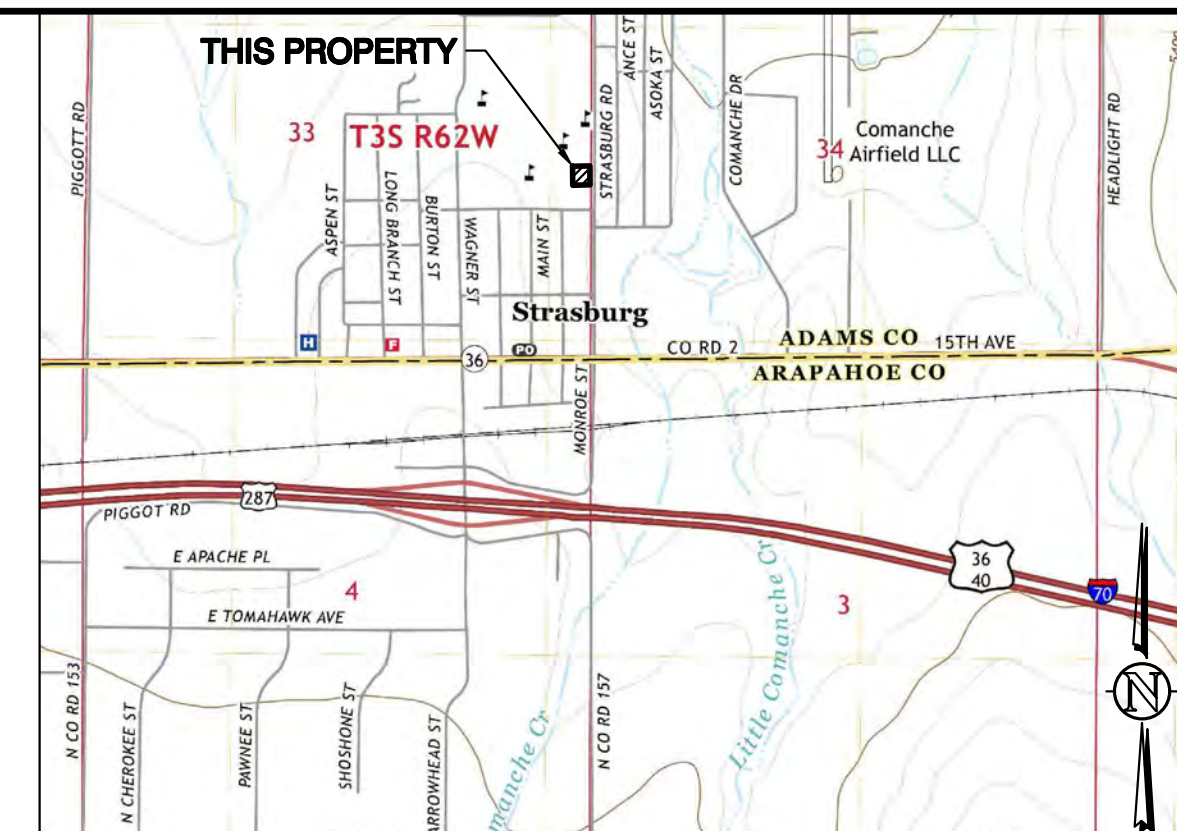
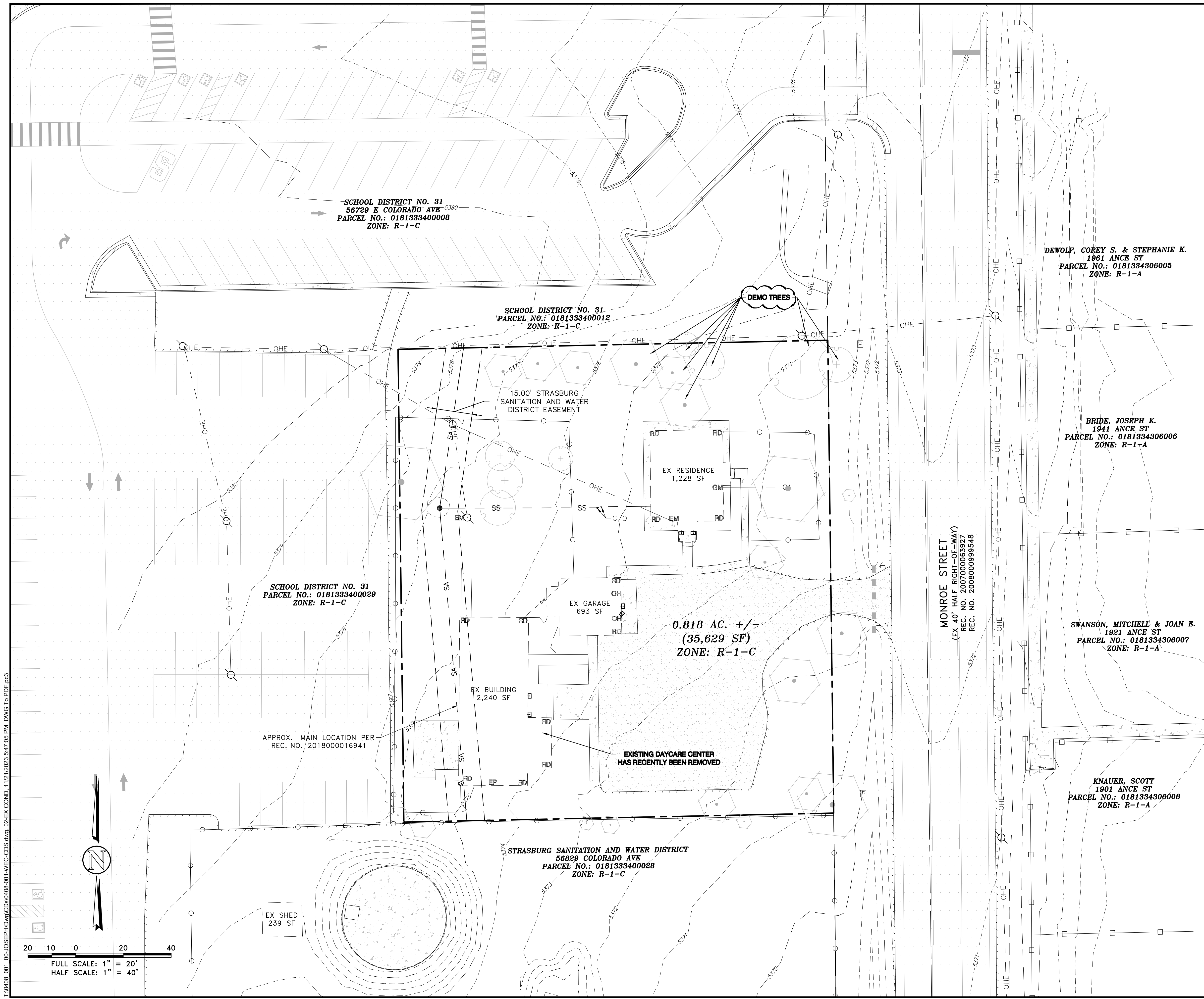
WESTERN ENGINEERING CONSULTANTS, INC. LLC

127 S. DENVER AVENUE, FORT LUPTON, CO 80621

720-685-9951 PH, 720-294-1330 FAX, email@westerneci.com

PROJECT NO: 01-0408.001.00
 INITIAL PLAN RELEASE: MARCH 24, 2022

SHEET: **1 of 13**



VICINITY MAP
 NE 1/4, SE 1/4, S33, T3S, R62W, 6th P.M.
 SHOWN VICINITY MAP TAKEN FROM USGS QUAD MAP - STRASBURG 7.5 MIN

Western Engineering Consultants, Inc LLC
 127 S. DENVER AVE
 FT. LUTON, CO 80621
 www.westerneci.com
 email@westerneci.com
 (720) 885-8951
 FAX (720) 294-1330

NOTES

THIS PLAN IS INTENDED AS THE EXISTING CONDITIONS PLAN FOR VICTOR JOSEPH MINOR SUBDIVISION.
 ALL IMPROVEMENTS ARE PROPOSED UNLESS NOTED AS EXISTING.
 IT IS THE OWNER AND/OR THE CONTRACTOR'S RESPONSIBILITY TO ATTAIN ALL APPROPRIATE PERMITS AND REVIEW APPROVALS FROM THE STATE OF COLORADO AND ADAMS COUNTY RESPECTIVELY.
 SEE COVER SHEET FOR BASIS OF BEARING & BENCHMARK.
 ANY REFERENCE TO EASEMENTS, SURVEY POINTS, OR EXISTING UTILITIES AND FEATURES ARE BASED SOLELY FROM SURVEY INFORMATION PROVIDED BY AMERICAN WEST LAND SURVEYING CO ON SURVEY, DATED JANUARY 25, 2022 AND AERIAL DRONE SURVEY BY WEC, DATED JANUARY 25, 2022 (HORIZONTAL & VERTICAL CONTROL PROVIDED BY AMERICAN WEST LAND SURVEYING CO).
 NOT ALL UNCC UTILITY LOCATES HAVE BEEN PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES ARE LOCATED AND SURVEY PROVIDED TO THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION DRAWING RELEASE.

SYMBOL LEGEND

41 45 DEG BEND	THRUST BLOCK TB
42 22.5 DEG BEND	GATE VALVE GV
43 RESTRAINED PLUG	CURB STOP
44 RESTRAINED TEE	PIPE CROSSING
45 WATER METER	MANHOLE
46 RESTRAINED CROSS	MANHOLE W/ FLOW DIRECTION
47 FIRE HYDRANT	RD ROOF DRAIN
48 RESTRAINED VALVE	EM ELECTRIC METER
49 UTILITY POLE	GM GAS METER
50 LIGHT POLE/BLDG LIGHT	OH OVERHEAD DOOR
51 EX TREES/SHRUBS	
52 EX ASPHALT MILLINGS	PROP ASPHALT MILLINGS
53 EXISTING CONC	PROPOSED CONC
54 EXISTING ASPHALT	PROPOSED ASPHALT

LINETYPE LEGEND

---	LOT / PROPERTY / SECTION LINE
---	RIGHT OF WAY LINE
---	EASEMENT
---	SETBACK
---	TO BE ABANDONED LOT LINE
---	EXISTING BUILDING, CURB
---	EDGE OF ASPHALT or GRAVEL RD
---	CHAINLINK FENCE
---	WIRE FENCE
---	POND WQ W/S
---	SWALE
---	EXISTING OVERHEAD ELEC
---	EXISTING ELECTRICAL LINE
---	EXISTING STORM LINE
---	EXISTING SANITARY LINE
---	EXISTING WATER LINE
---	EXISTING GAS LINE
---	EXISTING FIBER OPTIC LINE
---	EXISTING TELEPHONE LINE
---	PROPOSED SANITARY LINE
---	PROPOSED SANITARY SERVICE
---	PROPOSED STORM LINE
---	PROPOSED WATER LINE
---	PROPOSED WATER SERVICE
---	PROPOSED GAS LINE
---	PROPOSED ELECTRIC LINE
---	PROPOSED TELEPHONE LINE

NO.	REVISION	DATE	BY
0	INITIAL RELEASE	03/29/22	CFC
1	REV PER COUNTY COMMENTS	04/07/22	CFC
2	REV PER COUNTY COMMENTS	05/17/22	CFC
3		11/21/23	CFC

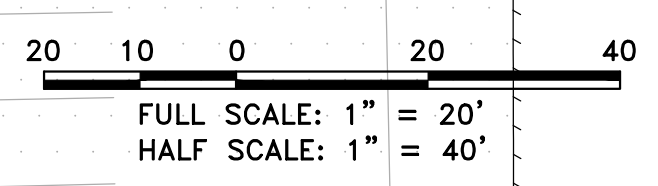
VICTOR JOSEPH
 CONTACT: VICTOR JOSEPH
 1853 MONROE STREET
 STRASBURG, CO 80136
 victorj@westerneci.com

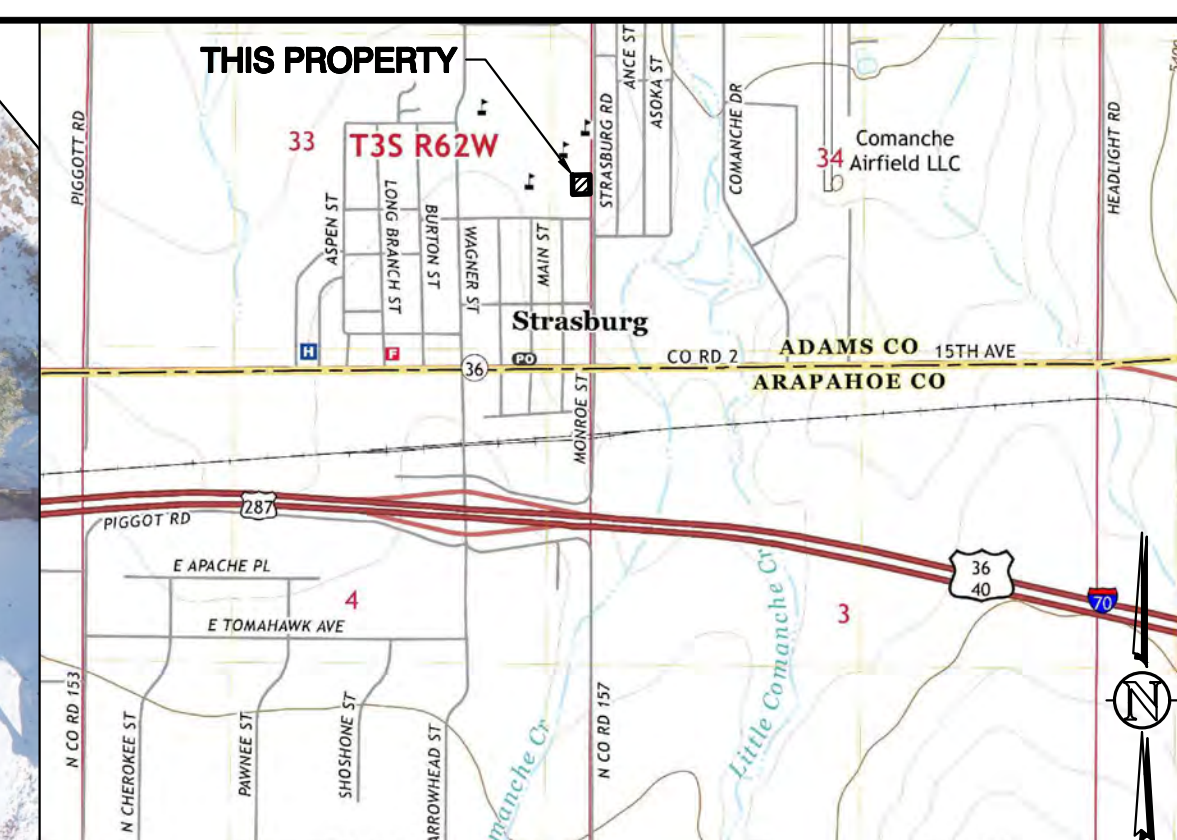
EXISTING CONDITIONS PLAN
 1853 MONROE ST MINOR SUBDIVISION
 1853 MONROE STREET
 TOWN OF STRASBURG, ADAMS COUNTY, COLORADO

Dig Safely.
 CALL UNCC
 THREE WORKING DAYS
 BEFORE YOU DIG
 1-800-922-1987
 www.uncc.org
 UTILITY NOTIFICATION
 CENTER OF COLORADO

FOR REVIEW
 ONLY VALID FOR CONSTRUCTION
 SCALE: AS SHOWN. SIGNATURE
 & SEAL REQUIRED.
 INITIAL PLAN
 RELEASE: 03/24/22
 DESIGNED BY: CFC
 DRAWN BY: CFC
 CHECKED BY: CFC
 PROJECT NO.
 01-0408.001.00
 DOC CON #
 0002-EX COND
 SHEET
 02 OF 13

T:\0408_001_00-JOSEPH.Dwg\CD\0408-001-MEC-CDS.dwg 05-EX COND 11/21/2023 5:47:05 PM DWG To PDF.plt





VICINITY MAP
 NE 1/4, SE 1/4, S33, T3S, R62W, 6th P.M.
 SHOWN VICINITY MAP TAKEN FROM USGS QUAD MAP - STRASBURG 7.5 MIN

NOTES

THIS PLAN IS INTENDED AS THE EXISTING CONDITIONS PLAN FOR VICTOR JOSEPH MINOR SUBDIVISION.

ALL IMPROVEMENTS ARE PROPOSED UNLESS NOTED AS EXISTING.

IT IS THE OWNER AND/OR THE CONTRACTOR'S RESPONSIBILITY TO ATTAIN ALL APPROPRIATE PERMITS AND REVIEW APPROVALS FROM THE STATE OF COLORADO AND ADAMS COUNTY RESPECTIVELY.

SEE COVER SHEET FOR BASIS OF BEARING & BENCHMARK.

ANY REFERENCE TO EASEMENTS, SURVEY POINTS, OR EXISTING UTILITIES AND FEATURES ARE BASED SOLELY FROM SURVEY INFORMATION PROVIDED BY AMERICAN WEST LAND SURVEYING CO ON SURVEY, DATED JANUARY 25, 2022 AND AERIAL DRONE SURVEY BY WEC, DATED JANUARY 25, 2022 (HORIZONTAL & VERTICAL CONTROL PROVIDED BY AMERICAN WEST LAND SURVEYING CO).

NOT ALL UNCC UTILITY LOCATES HAVE BEEN PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES ARE LOCATED AND SURVEY PROVIDED TO THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION DRAWING RELEASE.

SYMBOL LEGEND

41	45 DEG BEND	+	THRUST BLOCK	TB
42	22.5 DEG BEND	M	GATE VALVE	GV
43	RESTRAINED PLUG	•	CURB STOP	CS
44	RESTRAINED TEE	○	PIPE CROSSING	PC
45	WATER METER	○	MANHOLE	MH
46	RESTRAINED CROSS	○	MANHOLE W/ FLOW DIRECTION	MHFD
47	FIRE HYDRANT	RD	ROOF DRAIN	RD
48	RESTRAINED VALVE	EM	ELECTRIC METER	EM
49	UTILITY POLE	GM	GAS METER	GM
50	LIGHT POLE/BLDG LIGHT	OH	OVERHEAD DOOR	OH
51	EX TREES/SHRUBS			

LINETYPE LEGEND

---	LOT / PROPERTY / SECTION LINE
---	RIGHT OF WAY LINE
---	EASEMENT
---	SETBACK
---	TO BE ABANDONED LOT LINE
---	EXISTING BUILDING, CURB
---	EDGE OF ASPHALT or GRAVEL RD
---	CHAINLINK FENCE
---	WIRE FENCE
---	POND WQ W/S
---	SWALE
---	EXISTING OVERHEAD ELEC
---	EXISTING ELECTRICAL LINE
---	EXISTING STORM LINE
---	EXISTING SANITARY LINE
---	EXISTING WATER LINE
---	EXISTING GAS LINE
---	EXISTING FIBER OPTIC LINE
---	EXISTING TELEPHONE LINE

EX CONDITIONS W/ AERIAL

EX CONDITIONS W/ AERIAL

1853 MONROE ST MINOR SUBDIVISION

1853 MONROE STREET

TOWN OF STRASBURG, ADAMS COUNTY, COLORADO

Dig Safely.

CALL UNCC

THREE WORKING DAYS BEFORE YOU DIG

1-800-922-1987

www.uncc.org

UTILITY NOTIFICATION CENTER OF COLORADO

FOR REVIEW

ONLY VALID FOR CONSTRUCTION SCALE & WORKING STRUCTURE SEE COVER SHEET

INITIAL PLAN RELEASE: 03/24/22

DESIGNED BY: CFC

DRAWN BY: CFC

CHECKED BY: CFC

PROJECT NO. 01-0408.001.00

DOC CON # 002A-EXCOND02A

SHEET 02A OF 13

127 S. DENVER AVE
 FT. LUTON, CO 80621
 www.westerneci.com
 email@westerneci.com
 (720) 885-8951
 FAX (720) 294-1330

Western Engineering Consultants, Inc LLC

DATE: 03/24/22 CFC
 03/24/22 CFC
 03/24/22 CFC
 03/24/22 CFC

REVISION: 03/24/22 CFC
 03/24/22 CFC
 03/24/22 CFC

NO. 1
 2
 3

DATE: 03/24/22
 03/24/22
 03/24/22

BY: CFC
 CFC
 CFC

PROJECT: 01-0408.001.00

SHEET: 02A OF 13

DESCRIPTION	AREA	AREA (ac)	PERCENT %
EXISTING AREA	16,605 SF	0.38	
ROW DEDICATION	2,769 SF	0.06	
PROPOSED LOT 1	13,836 SF	0.32	100 %
EXISTING BUILDING	1,228 SF	0.03	8.88 %
PROPOSED BUILDING	625 SF	0.01	4.52 %
TOTAL BUILDINGS	1,853 SF	0.04	13.39 %
EXISTING CONCRETE	208 SF	0.00	1.50 %
EXISTING GRAVEL	0 SF	0.00	0.00 %
PROPOSED GRAVEL	500 SF	0.01	3.61 %
TOTAL GRAVEL	500 SF	0.01	3.61 %
EXISTING LANDSCAPE AREA	12,400 SF	0.28	89.62 %
PROPOSED LANDSCAPE AREA	11,275 SF	0.26	81.49 %
LOT COVERAGE	2,561 SF	0.06	18.51 %

DESCRIPTION	AREA	AREA (ac)	PERCENT %
EXISTING AREA	19,024 SF	0.44	
ROW DEDICATION	3,172 SF	0.07	
PROPOSED LOT 2	15,852 SF	0.36	100 %
EXISTING BUILDINGS	2,933 SF	0.07	18.50 %
REMOVED BUILDINGS	2,240 SF	0.05	14.13 %
REMAINING BUILDINGS	693 SF	0.02	4.37 %
EXISTING CONCRETE	1,241 SF	0.03	7.83 %
EXISTING GRAVEL	6,544 SF	0.15	41.28 %
EXISTING LANDSCAPE AREA	7,374 SF	0.17	46.52 %
LOT COVERAGE	8,478 SF	0.19	53.48 %

SCHOOL DISTRICT NO. 31
56729 E COLORADO AVE
PARCEL NO.: 0181333400008
ZONE: R-1-C

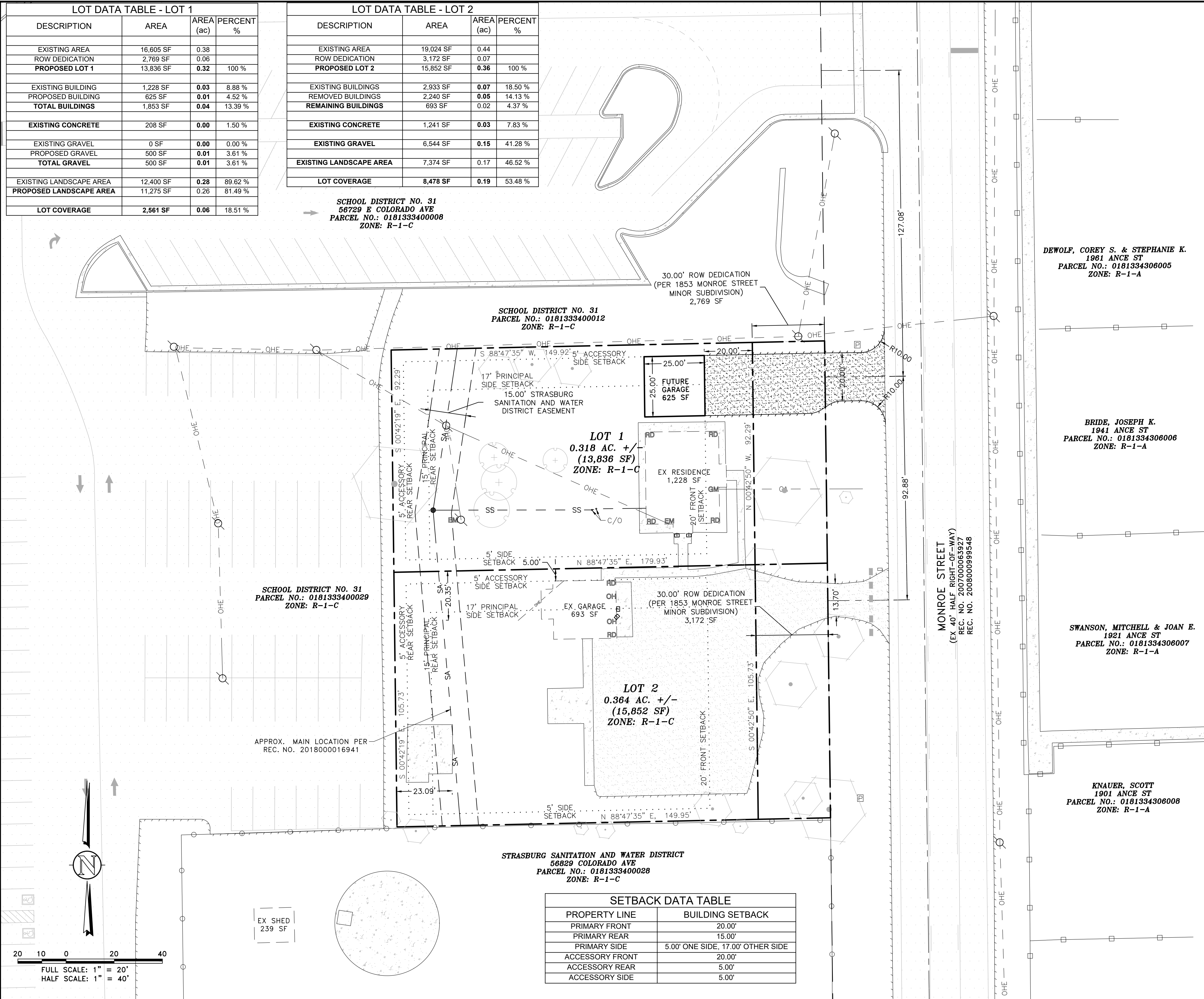
SCHOOL DISTRICT NO. 31
PARCEL NO.: 0181333400012
ZONE: R-1-C

SCHOOL DISTRICT NO. 31
PARCEL NO.: 0181333400029
ZONE: R-1-C

APPROX. MAIN LOCATION PER
REC. NO. 2018000016941

STRASBURG SANITATION AND WATER DISTRICT
56829 COLORADO AVE
PARCEL NO.: 0181333400028
ZONE: R-1-C

PROPERTY LINE	BUILDING SETBACK
PRIMARY FRONT	20.00'
PRIMARY REAR	15.00'
PRIMARY SIDE	5.00' ONE SIDE, 17.00' OTHER SIDE
ACCESSORY FRONT	20.00'
ACCESSORY REAR	5.00'
ACCESSORY SIDE	5.00'



VICINITY MAP
NE 1/4, SE 1/4, S33, T3S, R62W, 6th P.M.
SHOWN VICINITY MAP TAKEN FROM USGS QUAD MAP - STRASBURG 7.5 MIN
SCALE 1" = 2,000'

DEWOLF, COREY S. & STEPHANIE K.
1961 ANCE ST
PARCEL NO.: 0181334306005
ZONE: R-1-A

BRIDE, JOSEPH K.
1941 ANCE ST
PARCEL NO.: 0181334306006
ZONE: R-1-A

SWANSON, MITCHELL & JOAN E.
1921 ANCE ST
PARCEL NO.: 0181334306007
ZONE: R-1-A

KNAUER, SCOTT
1901 ANCE ST
PARCEL NO.: 0181334306008
ZONE: R-1-A

NOTES

THIS PLAN IS INTENDED AS THE SITE PLAN FOR VICTOR JOSEPH MINOR SUBDIVISION.
ALL IMPROVEMENTS ARE PROPOSED UNLESS NOTED AS EXISTING.
IT IS THE OWNER AND/OR THE CONTRACTOR'S RESPONSIBILITY TO ATTAIN ALL APPROPRIATE PERMITS AND REVIEW APPROVALS FROM THE STATE OF COLORADO AND ADAMS COUNTY RESPECTIVELY.
SEE COVER SHEET FOR BASIS OF BEARING & BENCHMARK.
ANY REFERENCE TO EASEMENTS, SURVEY POINTS, OR EXISTING UTILITIES AND FEATURES ARE BASED SOLELY FROM SURVEY INFORMATION PROVIDED BY AMERICAN WEST LAND SURVEYING CO ON SURVEY, DATED JANUARY 25, 2022 AND AERIAL DRONE SURVEY BY WEC, DATED JANUARY 25, 2022 (HORIZONTAL & VERTICAL CONTROL PROVIDED BY AMERICAN WEST LAND SURVEYING CO).
NOT ALL UNCC UTILITY LOCATES HAVE BEEN PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES ARE LOCATED AND SURVEY PROVIDED TO THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION DRAWING RELEASE.

SYMBOL LEGEND

41 45 DEG BEND	THRUST BLOCK TB
42 22.5 DEG BEND	GATE VALVE GV
43 RESTRAINED PLUG	CURB STOP
44 RESTRAINED TEE	PIPE CROSSING
45 WATER METER	MANHOLE
46 RESTRAINED CROSS	MANHOLE W/ FLOW DIRECTION
47 FIRE HYDRANT	ROOF DRAIN
48 RESTRAINED VALVE	ELECTRIC METER
49 UTILITY POLE	GM GAS METER
50 LIGHT POLE/BLDG LIGHT	OH OVERHEAD DOOR
51 EX TREES/SHRUBS	
52 EX ASPHALT MILLINGS	PROP ASPHALT MILLINGS
53 EXISTING CONC	PROPOSED CONC
54 EXISTING ASPHALT	PROPOSED ASPHALT

LINETYPE LEGEND

---	LOT / PROPERTY / SECTION LINE
- - -	RIGHT OF WAY LINE
---	EASEMENT
---	SETBACK
---	TO BE ABANDONED LOT LINE
---	EXISTING BUILDING, CURB
---	EDGE OF ASPHALT or GRAVEL RD
---	CHAINLINK FENCE
---	WIRE FENCE
---	POND WQ W/S
---	SWALE
---	EXISTING OVERHEAD ELEC
---	EXISTING ELECTRICAL LINE
---	EXISTING STORM LINE
---	EXISTING SANITARY LINE
---	EXISTING WATER LINE
---	EXISTING GAS LINE
---	EXISTING FIBER OPTIC LINE
---	EXISTING TELEPHONE LINE
---	PROPOSED SANITARY LINE
---	PROPOSED SANITARY SERVICE
---	PROPOSED STORM LINE
---	PROPOSED WATER LINE
---	PROPOSED WATER SERVICE
---	PROPOSED GAS LINE
---	PROPOSED ELECTRIC LINE
---	PROPOSED TELEPHONE LINE

127 S. DENVER AVE
FT. LUTON, CO 80621
www.westernci.com
email@westernci.com
(720) 885-8951
FAX (720) 294-1330

Western Engineering Consultants, Inc LLC

NO.	REVISION	DATE	BY
1	INITIAL RELEASE	03/29/22	CFC
2	REV PER CO. COMMENTS	04/07/22	CFC
3	REV PER COUNTY COMMENTS	06/17/22	CFC
4		11/21/23	CFC

VICTOR JOSEPH
CONTACT: VICTOR JOSEPH
1853 MONROE STREET
STRASBURG, CO 80136
kurbob@victorjoseph.com

SITE PLAN
1853 MONROE ST MINOR SUBDIVISION
1853 MONROE STREET
TOWN OF STRASBURG, ADAMS COUNTY, COLORADO

Dig Safely.
CALL UNCC
THREE WORKING DAYS
BEFORE YOU DIG
1-800-922-1987
www.uncc.org
UTILITY NOTIFICATION
CENTER OF COLORADO

FOR REVIEW

ONLY VALID FOR CONSTRUCTION
SCALE: AS SHOWN ON DRAWING
(SEE COVER SHEET)

INITIAL PLAN
RELEASE: 03/24/22
DESIGNED BY: CFC
DRAWN BY: CFC
CHECKED BY: CFC

PROJECT NO.
01-0408.001.00
DOC CON #
0003-SITE
SHEET
03 OF 13

T:\0408_001_00-JOSEPH.Dwg\CD\0408-001-WEC-CDS.dwg 05-SITE-11/21/2023 5:47:11 PM DWG To PDF.pc3

DESCRIPTION	AREA	AREA (ac)	PERCENT %
EXISTING AREA	16,605 SF	0.38	
ROW DEDICATION	2,769 SF	0.06	
PROPOSED LOT 1	13,836 SF	0.32	100 %
EXISTING BUILDING	1,228 SF	0.03	8.88 %
PROPOSED BUILDING	625 SF	0.01	4.52 %
TOTAL BUILDINGS	1,853 SF	0.04	13.39 %
EXISTING CONCRETE	208 SF	0.00	1.50 %
EXISTING GRAVEL	0 SF	0.00	0.00 %
PROPOSED GRAVEL	500 SF	0.01	3.61 %
TOTAL GRAVEL	500 SF	0.01	3.61 %
EXISTING LANDSCAPE AREA	12,400 SF	0.28	89.62 %
PROPOSED LANDSCAPE AREA	11,275 SF	0.26	81.49 %
LOT COVERAGE	2,561 SF	0.06	18.51 %

DESCRIPTION	AREA	AREA (ac)	PERCENT %
EXISTING AREA	19,024 SF	0.44	
ROW DEDICATION	3,172 SF	0.07	
PROPOSED LOT 2	15,852 SF	0.36	100 %
EXISTING BUILDINGS	2,933 SF	0.07	18.50 %
REMOVED BUILDINGS	2,240 SF	0.05	14.13 %
REMAINING BUILDINGS	693 SF	0.02	4.37 %
EXISTING CONCRETE	1,241 SF	0.03	7.83 %
EXISTING GRAVEL	6,544 SF	0.15	41.28 %
EXISTING LANDSCAPE AREA	7,374 SF	0.17	46.52 %
LOT COVERAGE	8,478 SF	0.19	53.48 %

SCHOOL DISTRICT NO. 31
56729 E COLORADO AVE
PARCEL NO.: 0181333400008
ZONE: R-1-C

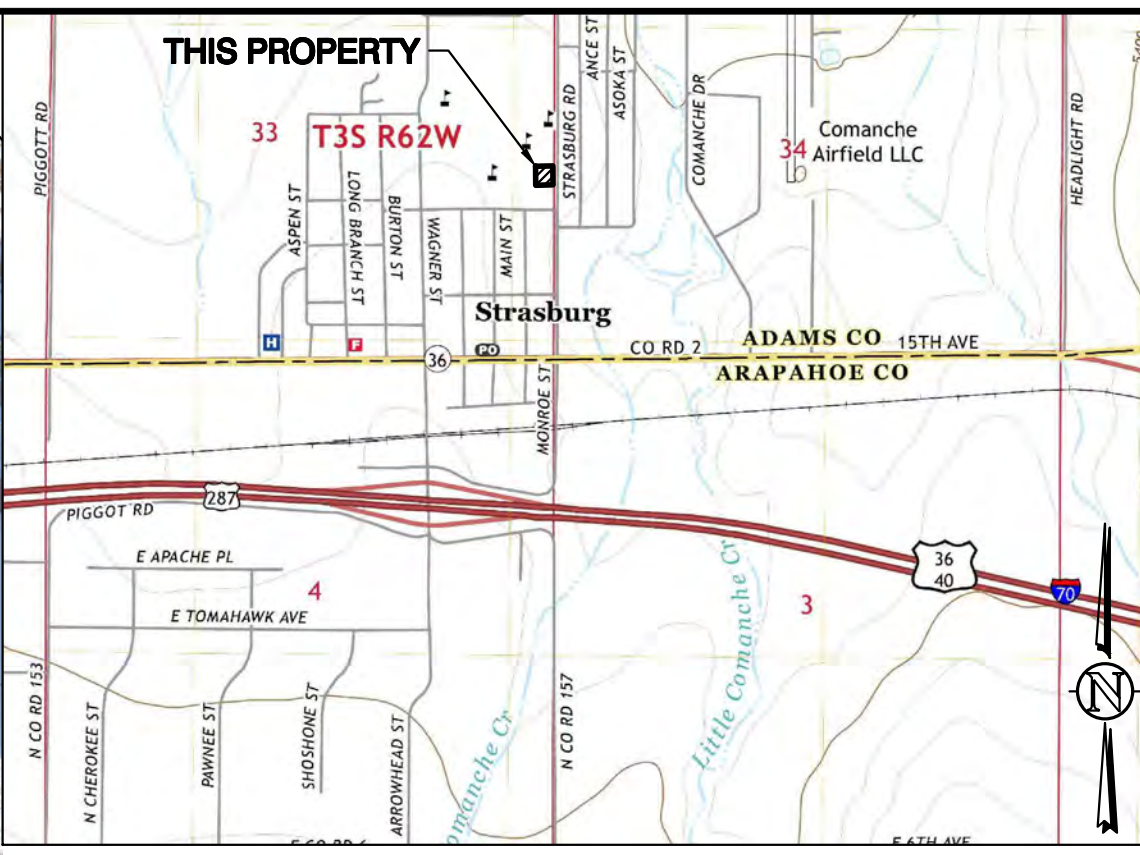
SCHOOL DISTRICT NO. 31
PARCEL NO.: 0181333400012
ZONE: R-1-C

SCHOOL DISTRICT NO. 31
PARCEL NO.: 0181333400029
ZONE: R-1-C

APPROX. MAIN LOCATION PER
REC. NO. 2018000016941

STRASBURG SANITATION AND WATER DISTRICT
56829 COLORADO AVE
PARCEL NO.: 0181333400028
ZONE: R-1-C

PROPERTY LINE	BUILDING SETBACK
PRIMARY FRONT	20.00'
PRIMARY REAR	15.00'
PRIMARY SIDE	5.00' ONE SIDE, 17.00' OTHER SIDE
ACCESSORY FRONT	20.00'
ACCESSORY REAR	5.00'
ACCESSORY SIDE	5.00'



VICINITY MAP
NE 1/4, SE 1/4, S33, T3S, R62W, 6th P.M.
SHOWN VICINITY MAP TAKEN FROM USGS QUAD MAP - STRASBURG 7.5 MIN

127 S. DENVER AVE
FT. LUTON, CO 80621
www.westerneci.com
email@westerneci.com
(720) 885-8951
FAX (720) 294-1330

Western Engineering Consultants, Inc LLC

DEWOLF, COREY S. & STEPHANIE K.
1961 ANCE ST
PARCEL NO.: 0181334306005
ZONE: R-1-A

BRIDE, JOSEPH K.
1941 ANCE ST
PARCEL NO.: 0181334306006
ZONE: R-1-A

SWANSON, MITCHELL & JOAN E.
1921 ANCE ST
PARCEL NO.: 0181334306007
ZONE: R-1-A

KNAUER, SCOTT
1901 ANCE ST
PARCEL NO.: 0181334306008
ZONE: R-1-A

NOTES

THIS PLAN IS INTENDED AS THE SITE PLAN FOR VICTOR JOSEPH MINOR SUBDIVISION.

ALL IMPROVEMENTS ARE PROPOSED UNLESS NOTED AS EXISTING.

IT IS THE OWNER AND/OR THE CONTRACTOR'S RESPONSIBILITY TO ATTAIN ALL APPROPRIATE PERMITS AND REVIEW APPROVALS FROM THE STATE OF COLORADO AND ADAMS COUNTY RESPECTIVELY.

SEE COVER SHEET FOR BASIS OF BEARING & BENCHMARK.

ANY REFERENCE TO EASEMENTS, SURVEY POINTS, OR EXISTING UTILITIES AND FEATURES ARE BASED SOLELY FROM SURVEY INFORMATION PROVIDED BY AMERICAN WEST LAND SURVEYING CO ON SURVEY, DATED JANUARY 25, 2022 AND AERIAL DRONE SURVEY BY WEC, DATED JANUARY 25, 2022 (HORIZONTAL & VERTICAL CONTROL PROVIDED BY AMERICAN WEST LAND SURVEYING CO).

NOT ALL UNCC UTILITY LOCATES HAVE BEEN PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES ARE LOCATED AND SURVEY PROVIDED TO THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION DRAWING RELEASE.

SYMBOL LEGEND

- 45 DEG BEND
- 22.5 DEG BEND
- RESTRAINED PLUG
- RESTRAINED TEE
- WATER METER
- RESTRAINED CROSS
- FIRE HYDRANT
- RESTRAINED VALVE
- UTILITY POLE
- LIGHT POLE/BLDG LIGHT
- EX TREES/SHRUBS
- THRUST BLOCK TB
- GATE VALVE GV
- CURB STOP
- PIPE CROSSING
- MANHOLE
- MANHOLE W/ FLOW DIRECTION
- ROOF DRAIN
- ELECTRIC METER
- GAS METER
- OVERHEAD DOOR
- EX ASPHALT MILLINGS
- EXISTING CONC
- EXISTING ASPHALT
- PROP ASPHALT MILLINGS
- PROPOSED CONC
- PROPOSED ASPHALT

LINETYPE LEGEND

- LOT / PROPERTY / SECTION LINE
- RIGHT OF WAY LINE
- EASEMENT
- SETBACK
- TO BE ABANDONED LOT LINE
- EXISTING BUILDING, CURB
- EDGE OF ASPHALT or GRAVEL RD
- CHAINLINK FENCE
- WIRE FENCE
- POND WQ W/S
- SWALE
- EXISTING OVERHEAD ELEC
- EXISTING ELECTRICAL LINE
- EXISTING STORM LINE
- EXISTING SANITARY LINE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING FIBER OPTIC LINE
- EXISTING TELEPHONE LINE
- PROPOSED SANITARY LINE
- PROPOSED SANITARY SERVICE
- PROPOSED STORM LINE
- PROPOSED WATER LINE
- PROPOSED WATER SERVICE
- PROPOSED GAS LINE
- PROPOSED ELECTRIC LINE
- PROPOSED TELEPHONE LINE

NO.	REVISION	DATE	BY	CHK.
0	INITIAL RELEASE	04/09/23		CFC
1	REV PER COUNTY COMMENTS	06/17/23		CFC
2	REV PER COUNTY COMMENTS	06/17/23		CFC

VICTOR JOSEPH
CONTACT: VICTOR JOSEPH
1853 MONROE STREET
STRASBURG, CO 80136
kurbob@westerneci.com

SITE PLAN W/ AERIAL
MINOR SUBDIVISION
1853 MONROE STREET
TOWN OF STRASBURG, ADAMS COUNTY, COLORADO

Dig Safely.
CALL UNCC
THREE WORKING DAYS
BEFORE YOU DIG
1-800-922-1987
www.uncc.org
UTILITY NOTIFICATION
CENTER OF COLORADO

FOR REVIEW

ONLY VALID FOR CONSTRUCTION
SCALE & PRINTING SIZE
PLEASE SEE COVER SHEET

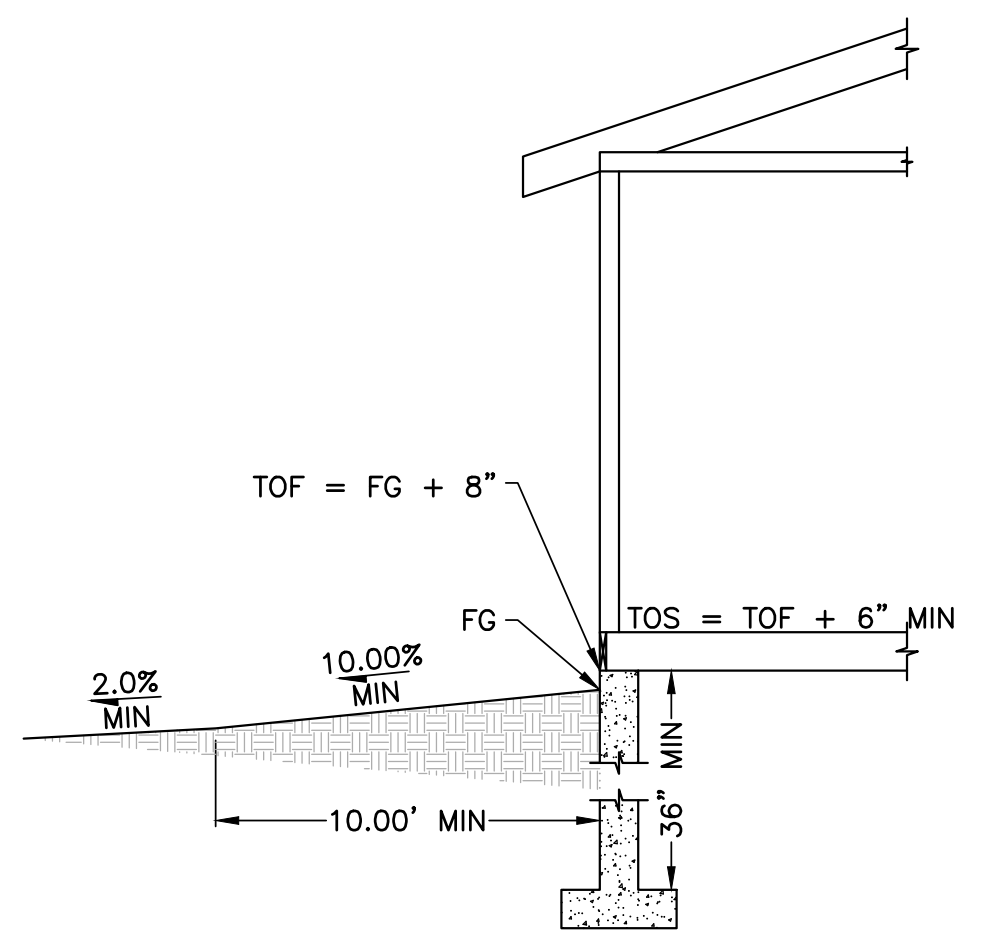
INITIAL PLAN
RELEASE: 03/24/22
DESIGNED BY: CFC
DRAWN BY: CFC
CHECKED BY: CFC

PROJECT NO.
01-0408.001.00
DOC CON #
003A-SITE AE
SHEET
03A OF 13

T:\0408_001_00-JOSEPH.Dwg\CD0408-001-WEC-CDS.dwg 03A-SITE AE 11/21/2023 5:47:12 PM DWG To PDF.ppt3

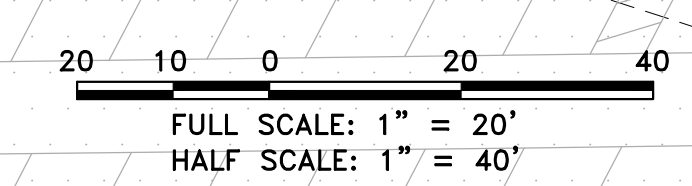
20 10 0 20 40
FULL SCALE: 1" = 20'
HALF SCALE: 1" = 40'

T:\0408_001_00-JOSEPH.Dwg\CD0408-001-WE-CDS.dwg 04-UTIL GRD. 11/21/2023 5:47:16 PM DWG To PDF.pc3



TYPICAL BUILDING SIDE ELEVATION DETAIL
 SCALE 1" = 5'

ALL SHOWN UTILITIES ARE EXISTING - NONE PROPOSED OTHER THAN CULVERT



SCHOOL DISTRICT NO. 31
 56729 E COLORADO AVE
 PARCEL NO.: 0181333400008
 ZONE: R-1-C

SCHOOL DISTRICT NO. 31
 PARCEL NO.: 0181333400012
 ZONE: R-1-C

SCHOOL DISTRICT NO. 31
 PARCEL NO.: 0181333400029
 ZONE: R-1-C

APPROX. MAIN LOCATION PER
 REC. NO. 2018000016941

STRASBURG SANITATION AND WATER DISTRICT
 56829 COLORADO AVE
 PARCEL NO.: 0181333400028
 ZONE: R-1-C

30.00' ROW DEDICATION
 (PER 1853 MONROE STREET
 MINOR SUBDIVISION)
 2,769 SF

15.00' STRASBURG
 SANITATION AND WATER
 DISTRICT EASEMENT

LOT 1
 0.318 AC. +/-
 (13,836 SF)
 ZONE: R-1-C

EX RESIDENCE
 1,228 SF

EX GARAGE
 693 SF

LOT 2
 0.364 AC. +/-
 (15,852 SF)
 ZONE: R-1-C

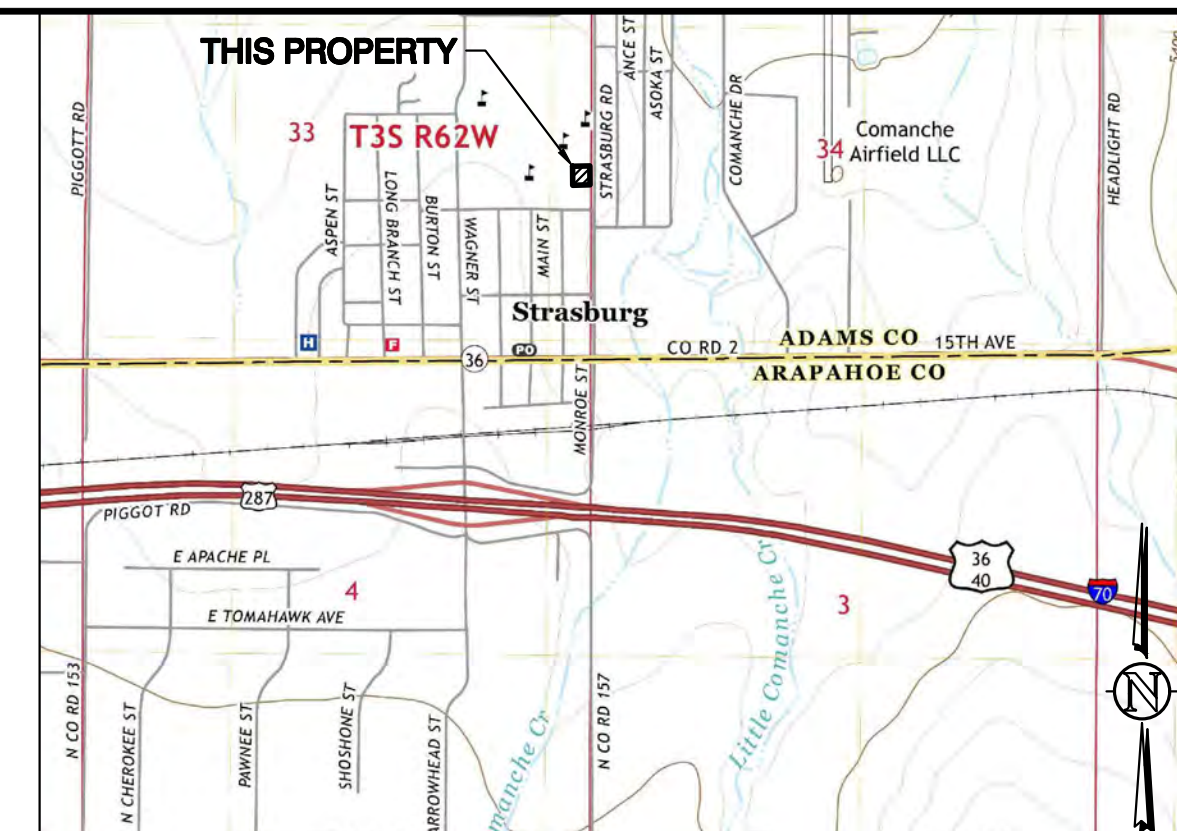
30.00' ROW DEDICATION
 (PER 1853 MONROE STREET
 MINOR SUBDIVISION)
 3,172 SF

DEWOLF, COREY S. & STEPHANIE K.
 1961 ANCE ST
 PARCEL NO.: 0181334306005
 ZONE: R-1-A

BRIDE, JOSEPH K.
 1941 ANCE ST
 PARCEL NO.: 0181334306006
 ZONE: R-1-A

SWANSON, MITCHELL & JOAN E.
 1921 ANCE ST
 PARCEL NO.: 0181334306007
 ZONE: R-1-A

KNAUER, SCOTT
 1901 ANCE ST
 PARCEL NO.: 0181334306008
 ZONE: R-1-A



VICINITY MAP
 NE 1/4, SE 1/4, S33, T3S, R62W, 6th P.M.
 SHOWN VICINITY MAP TAKEN FROM USGS QUAD MAP - STRASBURG 7.5 MIN
 SCALE 1" = 2,000'

NOTES

THIS PLAN IS INTENDED AS THE UTILITY & GRADING PLAN FOR VICTOR JOSEPH MINOR SUBDIVISION.
 ALL IMPROVEMENTS ARE PROPOSED UNLESS NOTED AS EXISTING.
 IT IS THE OWNER AND/OR THE CONTRACTOR'S RESPONSIBILITY TO ATTAIN ALL APPROPRIATE PERMITS AND REVIEW APPROVALS FROM THE STATE OF COLORADO AND ADAMS COUNTY RESPECTIVELY.
 SEE COVER SHEET FOR BASIS OF BEARING & BENCHMARK.
 ANY REFERENCE TO EASEMENTS, SURVEY POINTS, OR EXISTING UTILITIES AND FEATURES ARE BASED SOLELY FROM SURVEY INFORMATION PROVIDED BY AMERICAN WEST LAND SURVEYING CO ON SURVEY, DATED JANUARY 25, 2022 AND AERIAL DRONE SURVEY BY WEC, DATED JANUARY 25, 2022 (HORIZONTAL & VERTICAL CONTROL PROVIDED BY AMERICAN WEST LAND SURVEYING CO).
 NOT ALL UNCC UTILITY LOCATES HAVE BEEN PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES ARE LOCATED AND SURVEY PROVIDED TO THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION DRAWING RELEASE.

SYMBOL LEGEND

- | | | |
|-----------------------|---------------------------|------|
| 45 DEG BEND | THRUST BLOCK | TB |
| 22.5 DEG BEND | GATE VALVE | GV |
| RESTRAINED PLUG | CURB STOP | CS |
| RESTRAINED TEE | PIPE CROSSING | PC |
| WATER METER | MANHOLE | MH |
| RESTRAINED CROSS | MANHOLE W/ FLOW DIRECTION | MHFD |
| FIRE HYDRANT | ROOF DRAIN | RD |
| RESTRAINED VALVE | ELECTRIC METER | EM |
| UTILITY POLE | GAS METER | GM |
| LIGHT POLE/BLDG LIGHT | OVERHEAD DOOR | OH |
| EX TREES/SHRUBS | | |

- | | |
|---------------------|-----------------------|
| EX ASPHALT MILLINGS | PROP ASPHALT MILLINGS |
| EXISTING CONC | PROPOSED CONC |
| EXISTING ASPHALT | PROPOSED ASPHALT |

LINETYPE LEGEND

- | | |
|-----|-------------------------------|
| --- | LOT / PROPERTY / SECTION LINE |
| --- | RIGHT OF WAY LINE |
| --- | EASEMENT |
| --- | SETBACK |
| --- | TO BE ABANDONED LOT LINE |
| --- | EXISTING BUILDING, CURB |
| --- | EDGE OF ASPHALT or GRAVEL RD |
| --- | CHAINLINK FENCE |
| --- | WIRE FENCE |
| --- | POND WQ W/S |
| --- | SWALE |
| --- | EXISTING OVERHEAD ELEC |
| --- | EXISTING ELECTRICAL LINE |
| --- | EXISTING STORM LINE |
| --- | EXISTING SANITARY LINE |
| --- | EXISTING WATER LINE |
| --- | EXISTING GAS LINE |
| --- | EXISTING FIBER OPTIC LINE |
| --- | EXISTING TELEPHONE LINE |
| --- | PROPOSED SANITARY LINE |
| --- | PROPOSED SANITARY SERVICE |
| --- | PROPOSED STORM LINE |
| --- | PROPOSED WATER LINE |
| --- | PROPOSED WATER SERVICE |
| --- | PROPOSED GAS LINE |
| --- | PROPOSED ELECTRICAL LINE |
| --- | PROPOSED TELEPHONE LINE |

GRADING LEGEND

---	EXISTING MINOR CONTOUR	---	PROPOSED MINOR CONTOUR
---	EXISTING MAJOR CONTOUR	---	PROPOSED MAJOR CONTOUR
x 4980.30	EXISTING SPOT ELEVATION	x 4992.30	PROPOSED SPOT ELEVATION
← 1.0%	EXISTING SLOPE	← 1.0%	PROPOSED SLOPE
FG	= FINISH GRADE	EG	= EXISTING GRADE
BOW	= BACK OF WALK	FL	= FLOWLINE
EOG	= EDGE OF WALK	HP	= HIGH POINT
EOG	= EDGE OF GRAVEL	TOW	= TOP OF WALL
		EOC	= EDGE OF CONCRETE
		FF	= FINISH FLOOR
		ME	= MATCH EXISTING
		ADA	= ACCESSIBLE PARKING

CONTOURS ARE SHOWN FOR EXHIBIT PURPOSES.
 GRADING TO BE CONSTRUCTED PER SHOWN SPOT ELEVATIONS.

127 S. DENVER AVE
 FT. LUTON, CO 80621
 www.westerneci.com
 email@westerneci.com
 (720) 885-8951
 FAX (720) 294-1330

Western Engineering Consultants, Inc LLC

NO.	REVISION	DATE	BY
1	INITIAL RELEASE	03/29/22	CFC
2	REV PER COUNTY COMMENTS	04/20/22	CFC
3	REV PER COUNTY COMMENTS	05/17/22	CFC
4		11/21/23	CFC

VICTOR JOSEPH
 CONTACT: JOSEPH VICTOR
 1853 MONROE STREET
 STRASBURG, CO 80136
 kurbob@westerneci.com

UTILITY & GRADING PLAN
 1853 MONROE ST MINOR SUBDIVISION
 1853 MONROE STREET
 TOWN OF STRASBURG, ADAMS COUNTY, COLORADO

Dig Safely.
 CALL UNCC
 THREE WORKING DAYS
 BEFORE YOU DIG
 1-800-922-1987
 www.uncc.org
 UTILITY NOTIFICATION
 CENTER OF COLORADO

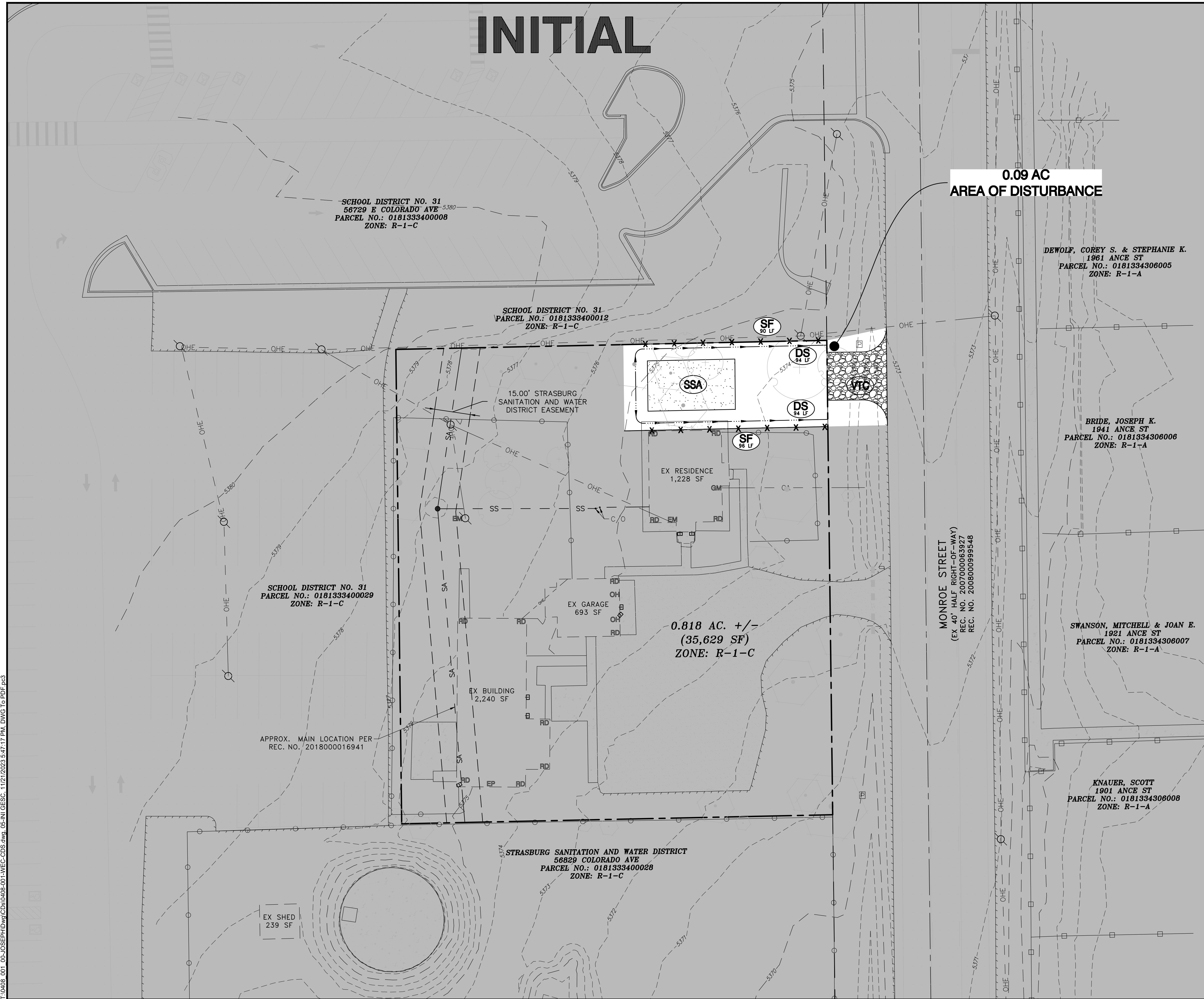
FOR REVIEW

ONLY VALID FOR CONSTRUCTION
 IF WORKING WITH UNCC
 (SEE UNCC WEBSITE)

INITIAL PLAN
 RELEASE: 03/24/22
 DESIGNED BY: CFC
 DRAWN BY: CFC
 CHECKED BY: CFC

PROJECT NO.
 01-0408.001.00
 DOC CON #
 0004-UTIL GRD
 SHEET
 04 OF 13

INITIAL



**0.09 AC
AREA OF DISTURBANCE**

**0.818 AC. +/-
(35,629 SF)
ZONE: R-1-C**

SCHOOL DISTRICT NO. 31
56729 E COLORADO AVE
PARCEL NO.: 0181333400008
ZONE: R-1-C

SCHOOL DISTRICT NO. 31
PARCEL NO.: 0181333400012
ZONE: R-1-C

SCHOOL DISTRICT NO. 31
PARCEL NO.: 0181333400029
ZONE: R-1-C

APPROX. MAIN LOCATION PER
REC. NO. 2018000016941

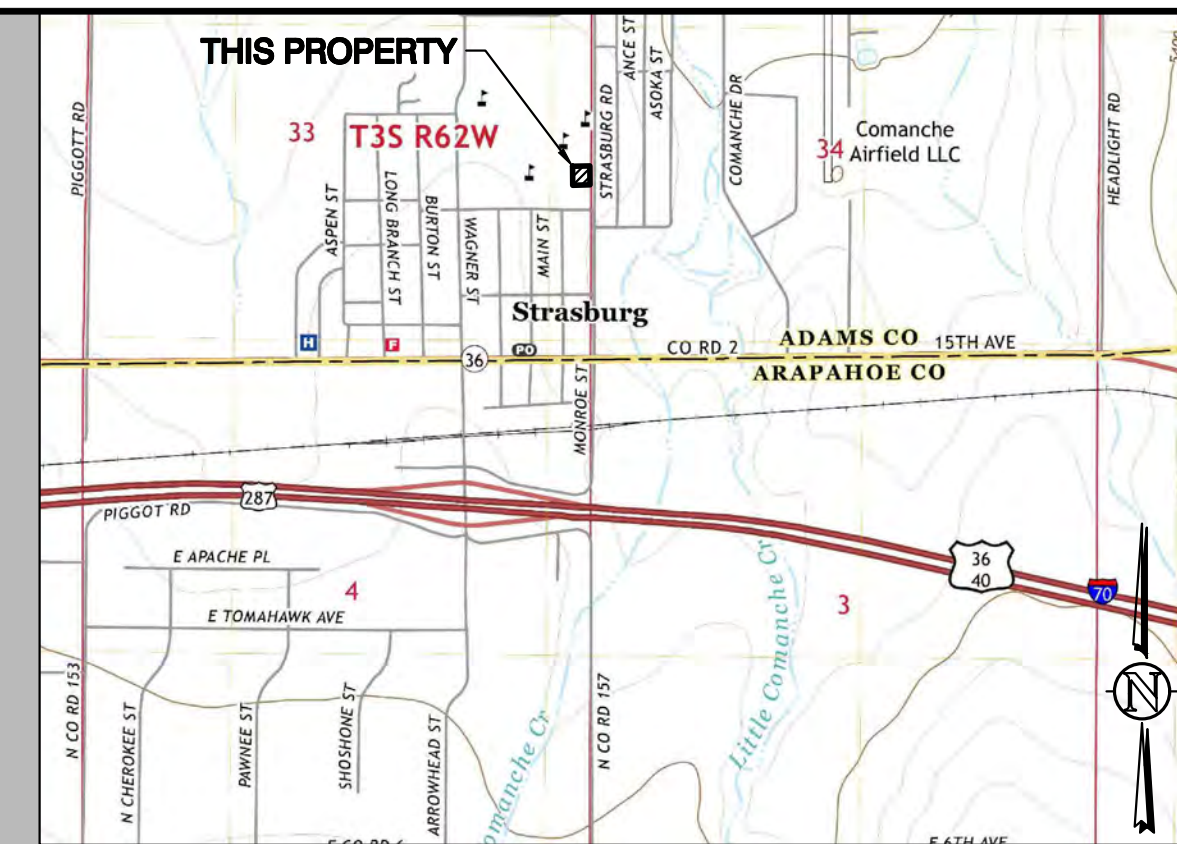
STRASBURG SANITATION AND WATER DISTRICT
56829 COLORADO AVE
PARCEL NO.: 0181333400028
ZONE: R-1-C

DEWOLF, COREY S. & STEPHANIE K.
1961 ANCE ST
PARCEL NO.: 0181334306005
ZONE: R-1-A

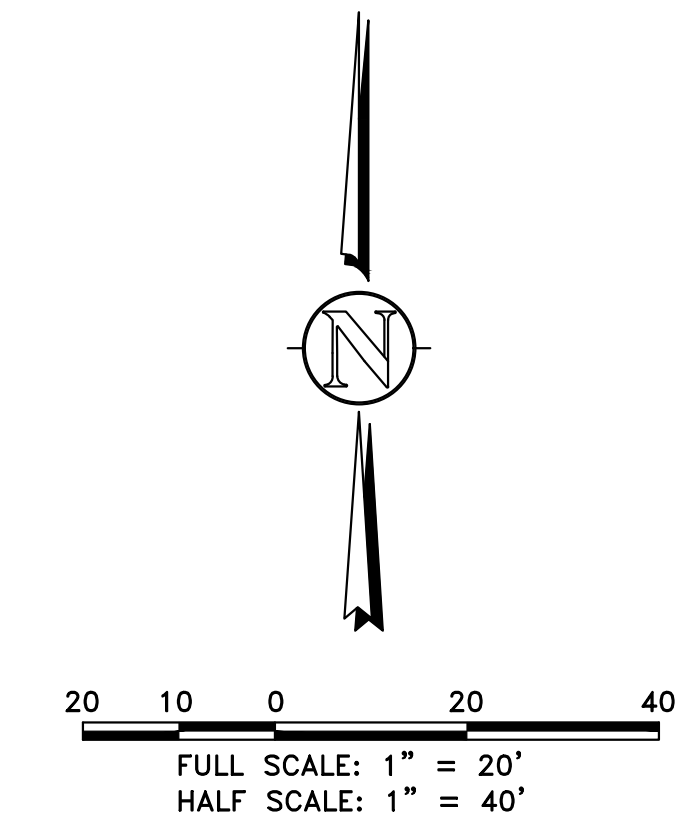
BRIDE, JOSEPH K.
1941 ANCE ST
PARCEL NO.: 0181334306006
ZONE: R-1-A

SWANSON, MITCHELL & JOAN E.
1921 ANCE ST
PARCEL NO.: 0181334306007
ZONE: R-1-A

KNAUER, SCOTT
1901 ANCE ST
PARCEL NO.: 0181334306008
ZONE: R-1-A



VICINITY MAP
NE 1/4, SE 1/4, S33, T3S, R62W, 6th P.M.
SHOWN VICINITY MAP TAKEN FROM USGS QUAD MAP - STRASBURG 7.5 MIN
SCALE 1" = 2,000'



BMP LEGEND	
	CWA CONCRETE WASHOUT AREA
	CF CONSTRUCTION FENCE
	CM CONSTRUCTION MARKER
	CIP CULVERT INLET PROTECTION
	DC WIND EROSION & DUST CONTROL
	DS DRAINAGE SWALE
	GH GOOD HOUSEKEEPING PRACTICE
	IP INLET PROTECTION
	PS PERMANENT SEEDING
	RS ROCK SOCK
	SB SEDIMENT BASIN
	SCL SEDIMENT CONTROL LOG
	SF SILT FENCE
	SM STOCKPILE MANAGEMENT
	SS STREET SWEEPING VACUUMING
	SSA STABILIZED STAGING AREA
	AP AGGREGATE (NON-SOIL) PILE
	TOP TEMPORARY OUTLET PROTECTION
	ECB EROSION CONTROL BLANKET
	VTC VEHICLE TRACKING CONTROL

127 S. DENVER AVE
FT. LUTON, CO 80621
www.westerneci.com
email@westerneci.com
(720) 885-8951
FAX (720) 294-1330

Western Engineering Consultants, Inc LLC

NO.	REVISION	DATE	BY	CHK.
1	REV PER COUNTY COMMENTS 04/20/22	05/27/22	CFC	
2	REV PER COUNTY COMMENTS 05/07/22	11/27/22	LFC	

VICTOR JOSEPH
CONTACT
VICTOR JOSEPH
1853 MONROE STREET
STRASBURG, CO 80136
victor@westerneci.com

INITIAL EROSION CONTROL PLAN
1853 MONROE ST MINOR SUBDIVISION
1853 MONROE STREET
TOWN OF STRASBURG, ADAMS COUNTY, COLORADO

Dig Safely.
CALL UNCC
THREE WORKING DAYS
BEFORE YOU DIG
1-800-922-1987
www.uncc.org
UTILITY NOTIFICATION
CENTER OF COLORADO

FOR REVIEW

ONLY VALID FOR CONSTRUCTION
IF SA & WORKING STRUCTURE
ARE ON EACH SHEET

INITIAL PLAN
RELEASE: 05/27/22
DESIGNED BY: CFC
DRAWN BY: CFC
CHECKED BY: CFC

PROJECT NO.
01-0408.001.00
DOC CON #
0005-INI GESC

SHEET
05 OF 13

ALL SHOWN UTILITIES ARE
EXISTING - NONE PROPOSED
OTHER THAN CULVERT

INTERIM

0.09 AC
AREA OF DISTURBANCE

SCHOOL DISTRICT NO. 31
56729 E COLORADO AVE
PARCEL NO.: 0181333400008
ZONE: R-1-C

SCHOOL DISTRICT NO. 31
PARCEL NO.: 0181333400012
ZONE: R-1-C

DEWOLF, COREY S. & STEPHANIE K.
1961 ANCE ST
PARCEL NO.: 0181334306005
ZONE: R-1-A

BRIDE, JOSEPH K.
1941 ANCE ST
PARCEL NO.: 0181334306006
ZONE: R-1-A

SWANSON, MITCHELL & JOAN E.
1921 ANCE ST
PARCEL NO.: 0181334306007
ZONE: R-1-A

KNAUER, SCOTT
1901 ANCE ST
PARCEL NO.: 0181334306008
ZONE: R-1-A

STRASBURG SANITATION AND WATER DISTRICT
56829 COLORADO AVE
PARCEL NO.: 0181333400028
ZONE: R-1-C

SCHOOL DISTRICT NO. 31
PARCEL NO.: 0181333400029
ZONE: R-1-C

APPROX. MAIN LOCATION PER
REC. NO. 2018000016941

LOT 2
0.364 AC. +/-
(15,852 SF)
ZONE: R-1-C

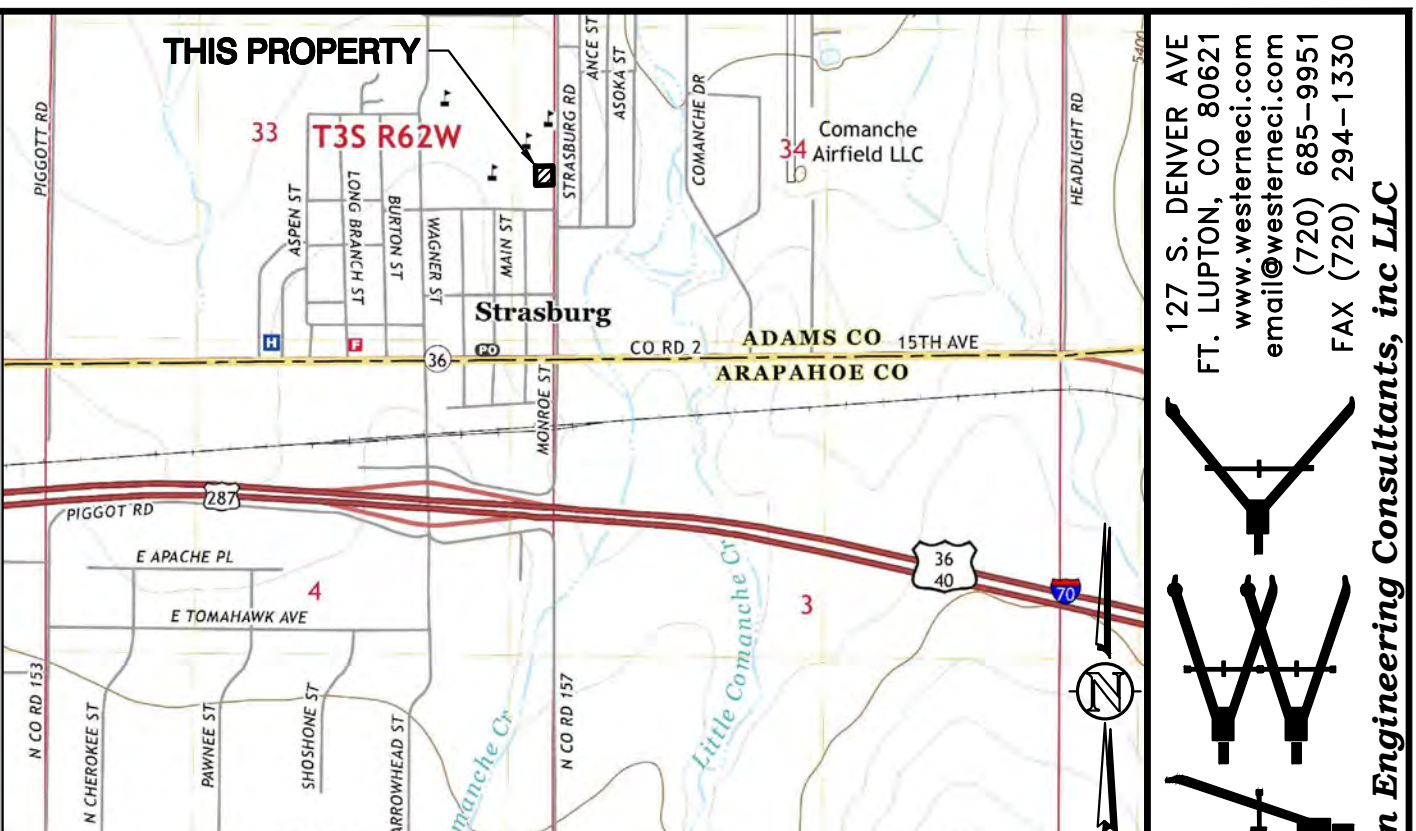
LOT
0.318 AC. +/-
(13,836 SF)
ZONE: R-1-C

FUTURE GARAGE
625 SF
TOS = 5375.00

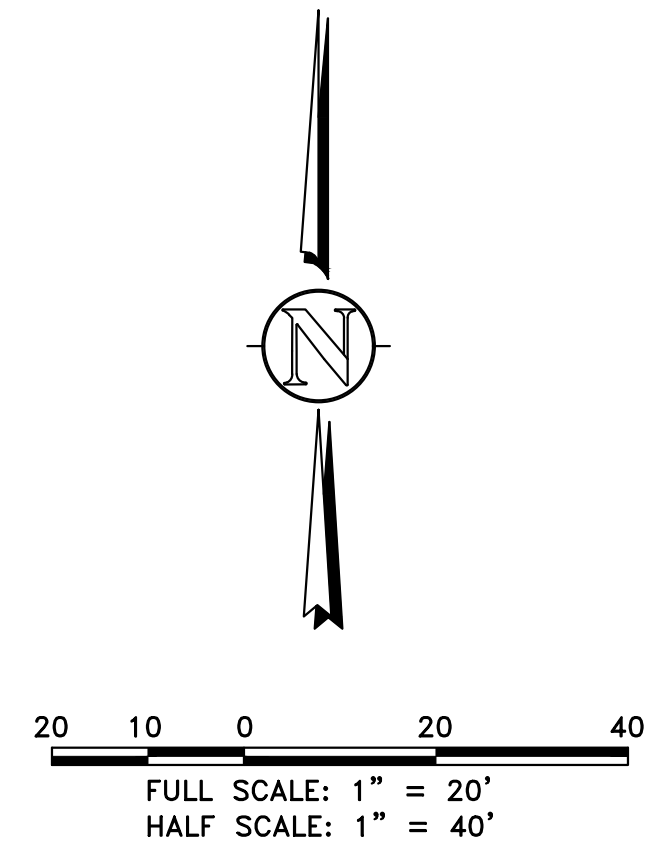
EX RESIDENCE
1,228 SF

EX GARAGE
693 SF

EX SHED
239 SF



VICINITY MAP
NE 1/4, SE 1/4, S33, T3S, R62W, 6th P.M.
SHOWN VICINITY MAP TAKEN FROM USGS QUAD MAP - STRASSBURG 7.5 MIN
SCALE 1" = 2,000'



BMP LEGEND	
	CWA CONCRETE WASHOUT AREA
	CF CONSTRUCTION FENCE
	CM CONSTRUCTION MARKER
	CIP CULVERT INLET PROTECTION
	DC WIND EROSION & DUST CONTROL
	DS DRAINAGE SWALE
	GH GOOD HOUSEKEEPING PRACTICE
	IP INLET PROTECTION
	PS PERMANENT SEEDING
	RS ROCK SOCK
	SB SEDIMENT BASIN
	SCL SEDIMENT CONTROL LOG
	SF SILT FENCE
	SM STOCKPILE MANAGEMENT
	SS STREET SWEEPING VACUUMING
	SSA STABILIZED STAGING AREA
	AP AGGREGATE (NON-SOIL) PILE
	TOP TEMPORARY OUTLET PROTECTION
	ECB EROSION CONTROL BLANKET
	VTC VEHICLE TRACKING CONTROL

127 S. DENVER AVE
FT. LUPTON, CO 80621
www.westernci.com
email@westernci.com
(720) 885-9951
FAX (720) 294-1330

Western Engineering Consultants, Inc LLC

NO.	REVISION	DATE	BY
1	REV PER COUNTY COMMENTS 04/20/22	05/27/22	CFC
2	REV PER COUNTY COMMENTS 05/07/22	11/27/22	LPC

VICTOR JOSEPH
CONTACT
VICTOR JOSEPH
1853 MONROE STREET
STRASSBURG, CO 80136
kurbob@protonmail.com

INTERIM EROSION CONTROL PLAN
1853 MONROE ST MINOR SUBDIVISION
1853 MONROE STREET
TOWN OF STRASSBURG, ADAMS COUNTY, COLORADO

Dig Safely.
CALL UNCC
THREE WORKING DAYS
BEFORE YOU DIG
1-800-922-1987
www.uncc.org
UTILITY NOTIFICATION
CENTER OF COLORADO

FOR REVIEW

ONLY VALID FOR CONSTRUCTION
IF SA & EROSION CONTROL MEASURES
ARE ON EACH SHEET

INITIAL PLAN
RELEASE: 05/27/22
DESIGNED BY: CFC
DRAWN BY: CFC
CHECKED BY: CFC

PROJECT NO.
01-0408.001.00
DOC CON #
0006-INT GESC
SHEET
06 OF 13

ALL SHOWN UTILITIES ARE
EXISTING - NONE PROPOSED
OTHER THAN CULVERT

FINAL

0.09 AC
AREA OF DISTURBANCE

SCHOOL DISTRICT NO. 31
56729 E COLORADO AVE
PARCEL NO.: 0181333400008
ZONE: R-1-C

SCHOOL DISTRICT NO. 31
PARCEL NO.: 0181333400012
ZONE: R-1-C

DEWOLF, COREY S. & STEPHANIE K.
1961 ANCE ST
PARCEL NO.: 0181334306005
ZONE: R-1-A

BRIDE, JOSEPH K.
1941 ANCE ST
PARCEL NO.: 0181334306006
ZONE: R-1-A

SWANSON, MITCHELL & JOAN E.
1921 ANCE ST
PARCEL NO.: 0181334306007
ZONE: R-1-A

KNAUER, SCOTT
1901 ANCE ST
PARCEL NO.: 0181334306008
ZONE: R-1-A

STRASBURG SANITATION AND WATER DISTRICT
56829 COLORADO AVE
PARCEL NO.: 0181333400028
ZONE: R-1-C

APPROX. MAIN LOCATION PER
REC. NO. 2018000016941

SCHOOL DISTRICT NO. 31
PARCEL NO.: 0181333400029
ZONE: R-1-C

LOT 2
0.364 AC. +/-
(15,852 SF)
ZONE: R-1-C

LOT 1
0.318 AC. +/-
(13,836 SF)
ZONE: R-1-C

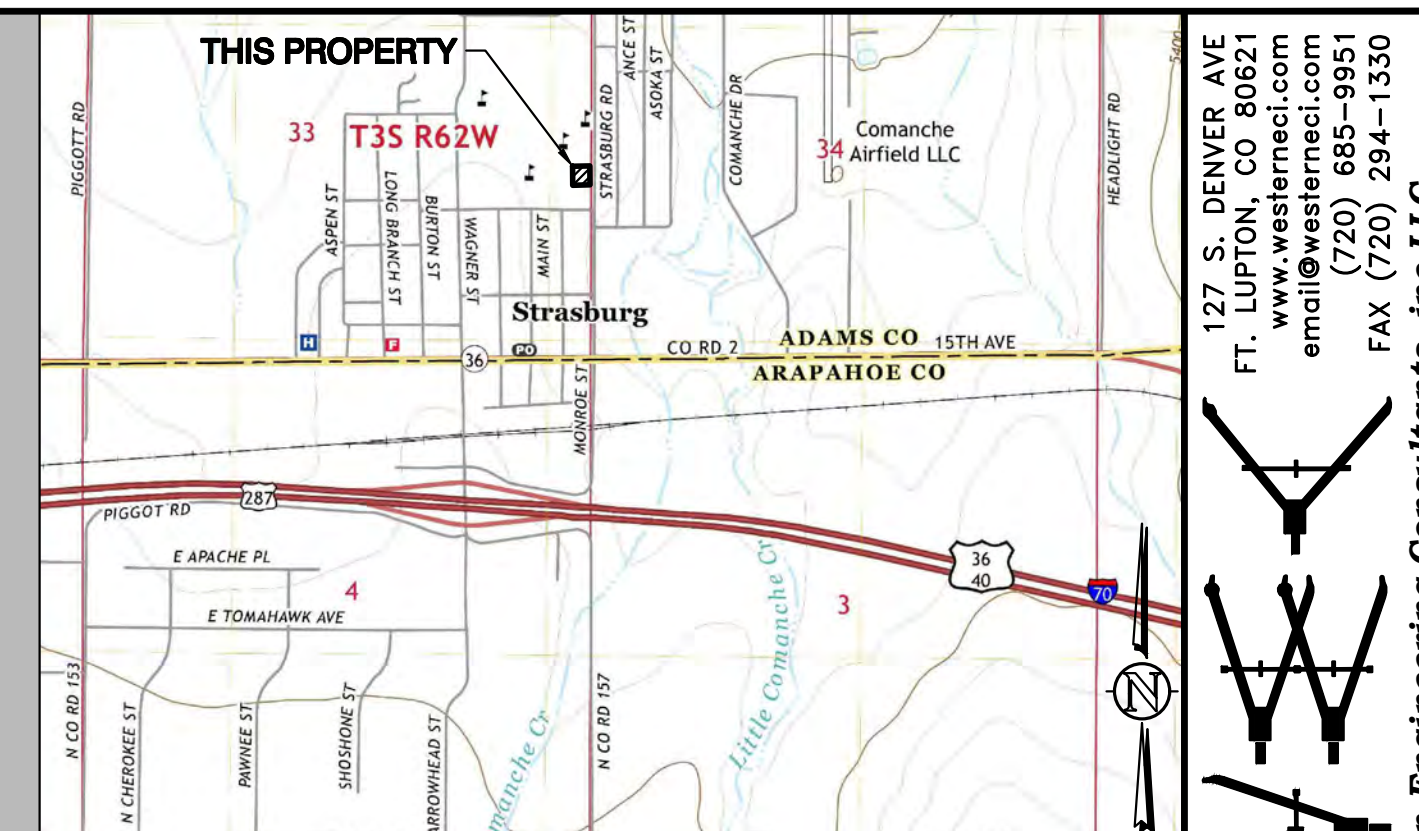
25.00' x 25.00'
FUTURE GARAGE
625 SF
TOS = 5375.00

EX RESIDENCE
1,228 SF

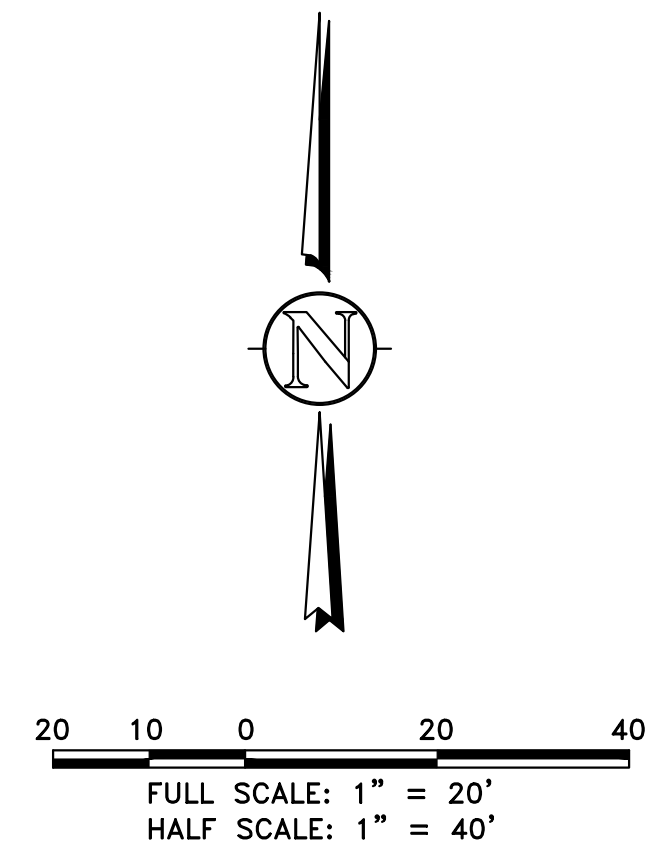
EX GARAGE
693 SF

30.00' ROW DEDICATION
(PER 1853 MONROE STREET
MINOR SUBDIVISION)
3,172 SF

EX SHED
239 SF



VICINITY MAP
NE 1/4, SE 1/4, S33, T3S, R62W, 6th P.M.
SHOWN VICINITY MAP TAKEN FROM USGS QUAD MAP - STRASSBURG 7.5 MIN
SCALE 1" = 2,000'



BMP LEGEND	
	CWA CONCRETE WASHOUT AREA
	CF CONSTRUCTION FENCE
	CM CONSTRUCTION MARKER
	CIP CULVERT INLET PROTECTION
	DC WIND EROSION & DUST CONTROL
	DS DRAINAGE SWALE
	GH GOOD HOUSEKEEPING PRACTICE
	IP INLET PROTECTION
	PS PERMANENT SEEDING
	RS ROCK SOCK
	SB SEDIMENT BASIN
	SCL SEDIMENT CONTROL LOG
	SF SILT FENCE
	SM STOCKPILE MANAGEMENT
	SS STREET SWEEPING VACUUMING
	SSA STABILIZED STAGING AREA
	AP AGGREGATE (NON-SOIL) PILE
	TOP TEMPORARY OUTLET PROTECTION
	ECB EROSION CONTROL BLANKET
	VTC VEHICLE TRACKING CONTROL

127 S. DENVER AVE
FT. LUTON, CO 80621
www.westernci.com
email@westernci.com
(720) 885-9951
FAX (720) 294-1330

Western Engineering Consultants, Inc LLC

NO.	REVISION	DATE	BY	CHK.
1	REV PER COUNTY COMMENTS 04/20/22	05/27/22	CFC	
2	REV PER COUNTY COMMENTS 05/07/22	11/27/22	LPC	

VICTOR JOSEPH
CONTACT
VICTOR JOSEPH
1853 MONROE STREET
STRASSBURG, CO 80136
kurbob@protonmail.com

FINAL EROSION CONTROL PLAN
1853 MONROE ST MINOR SUBDIVISION
1853 MONROE STREET
TOWN OF STRASSBURG, ADAMS COUNTY, COLORADO

Dig Safely.
CALL UNCC
THREE WORKING DAYS
BEFORE YOU DIG
1-800-922-1987
www.uncc.org
UTILITY NOTIFICATION
CENTER OF COLORADO

FOR REVIEW

ONLY VALID FOR CONSTRUCTION
SCALE & WORKING DISTANCE
AS SHOWN ON SHEET

INITIAL PLAN
RELEASE: 05/27/22
DESIGNED BY: CFC
DRAWN BY: CFC
CHECKED BY: CFC

PROJECT NO.
01-0408.001.00
DOC CON #
0007-FNL GESC

SHEET
07 OF 13

SC-1 Silt Fence (SF)

Maintenance and Removal

Inspection of silt fence includes observing the material for tears or holes and checking for slumping fence and undercut areas bypassing flows. Repair of silt fence typically involves replacing the damaged section with a new section. Sediment accumulated behind silt fence should be removed, as needed to maintain BMP effectiveness, typically before it reaches a depth of 6 inches.

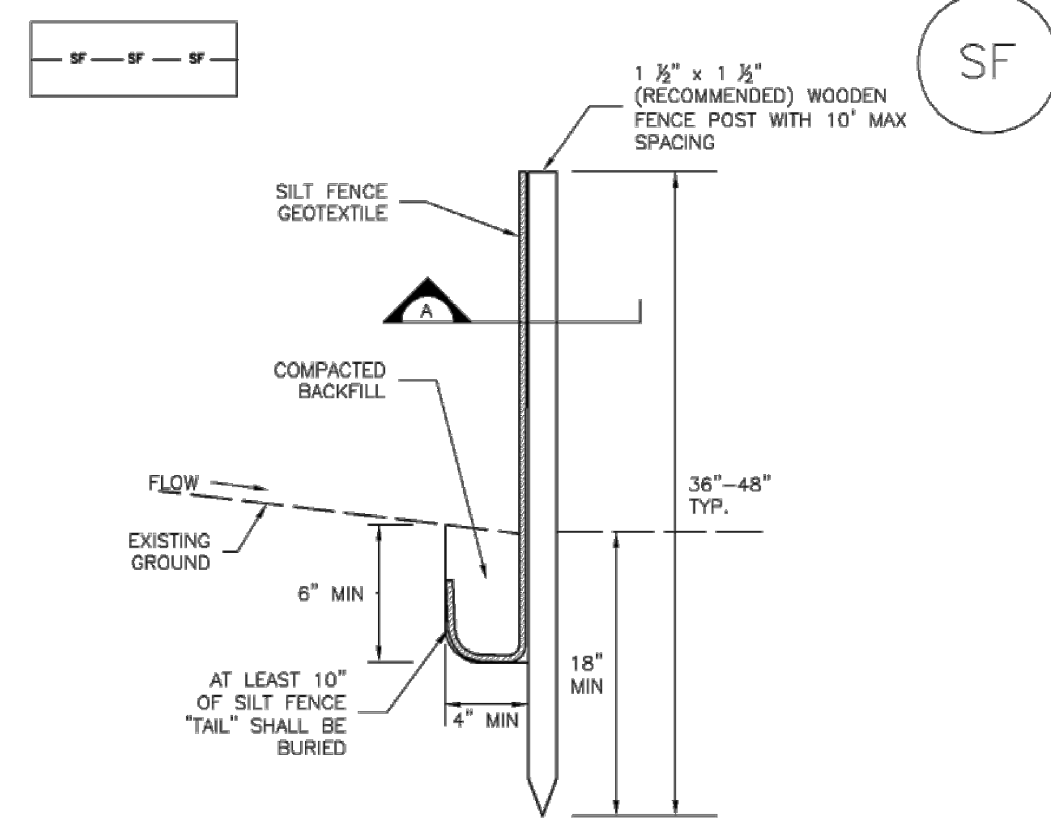


Photograph SF-1. When silt fence is not installed along the contour, a 'J-hook' installation may be appropriate to ensure that the BMP does not create concentrated flow parallel to the silt fence. Photo courtesy of Tom Gore.

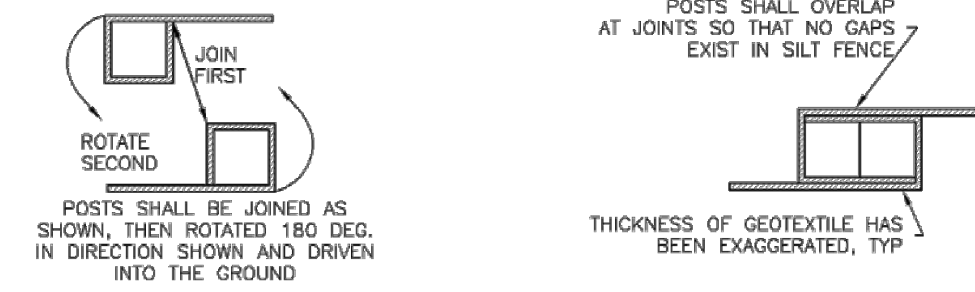
Silt fence may be removed when the upstream area has reached final stabilization.

SF-2 Urban Drainage and Flood Control District November 2010
Urban Storm Drainage Criteria Manual Volume 3

Silt Fence (SF) SC-1



SILT FENCE



SECTION A

SF-1. SILT FENCE

November 2010 Urban Drainage and Flood Control District November 2010
Urban Storm Drainage Criteria Manual Volume 3 SF-3

SC-1 Silt Fence (SF)

SILT FENCE INSTALLATION NOTES

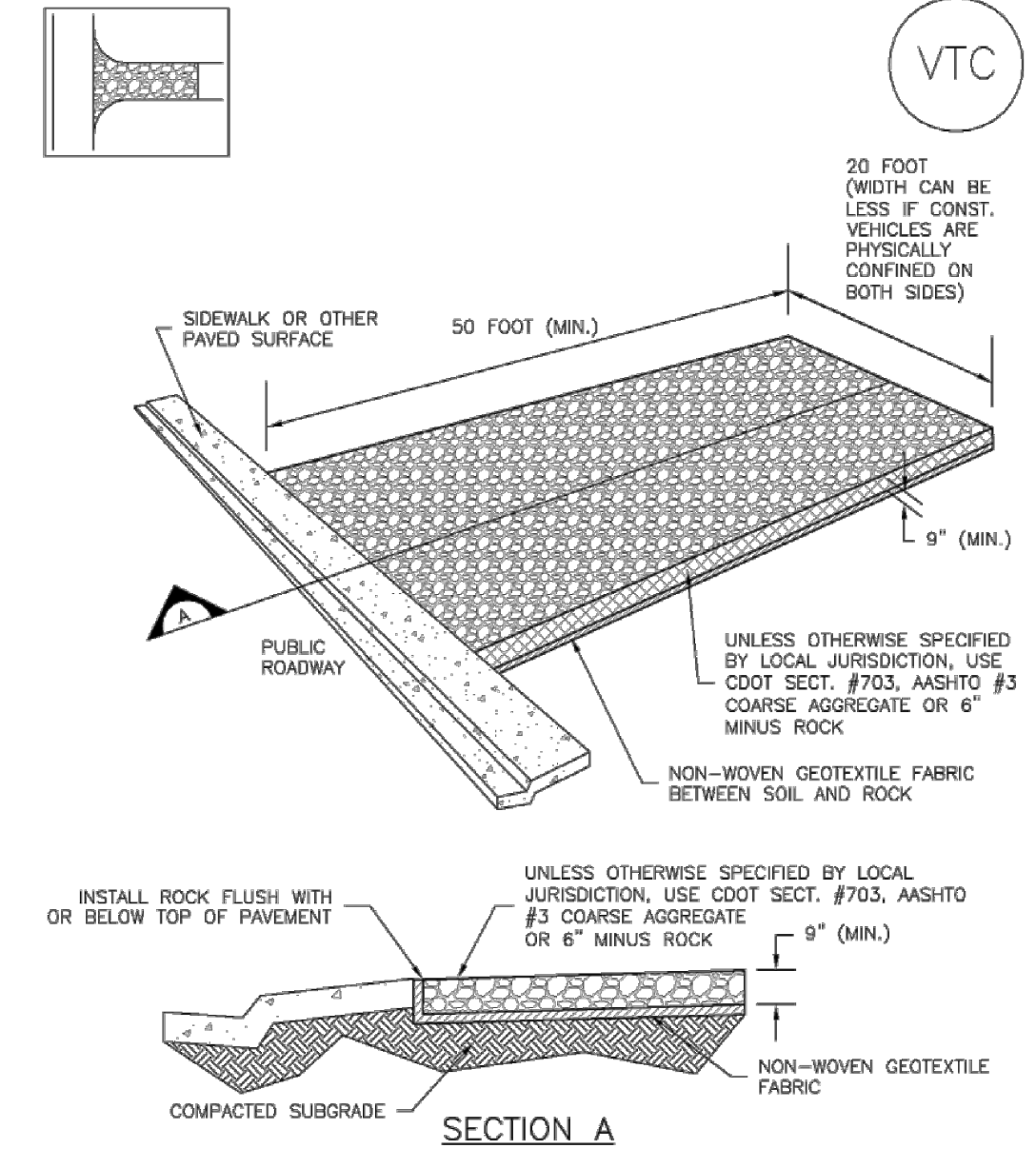
- SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER PONDING. SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST SEVERAL FEET (2-5 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION.
- A UNIFORM 6" X 4" ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCE INSTALLATION DEVICE. NO ROAD GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED.
- COMPACT ANCHOR TRENCH BY HAND WITH A "JUMPING JACK" OR BY WHEEL ROLLING. COMPACTION SHALL BE SUCH THAT SILT FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND.
- SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES.
- SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS. STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC DOWN THE STAKE.
- AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "J-HOOK," THE "J-HOOK" EXTENDING PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10' - 20').
- SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

SILT FENCE MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROMPTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENT IS APPROXIMATELY 6".
 - REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE.
 - SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION, OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT CONTROL BMP.
 - WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.
- (NOTE: ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, NOT AVAILABLE IN AUTOCAD)
- (NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.)

SF-4 Urban Drainage and Flood Control District November 2010
Urban Storm Drainage Criteria Manual Volume 3

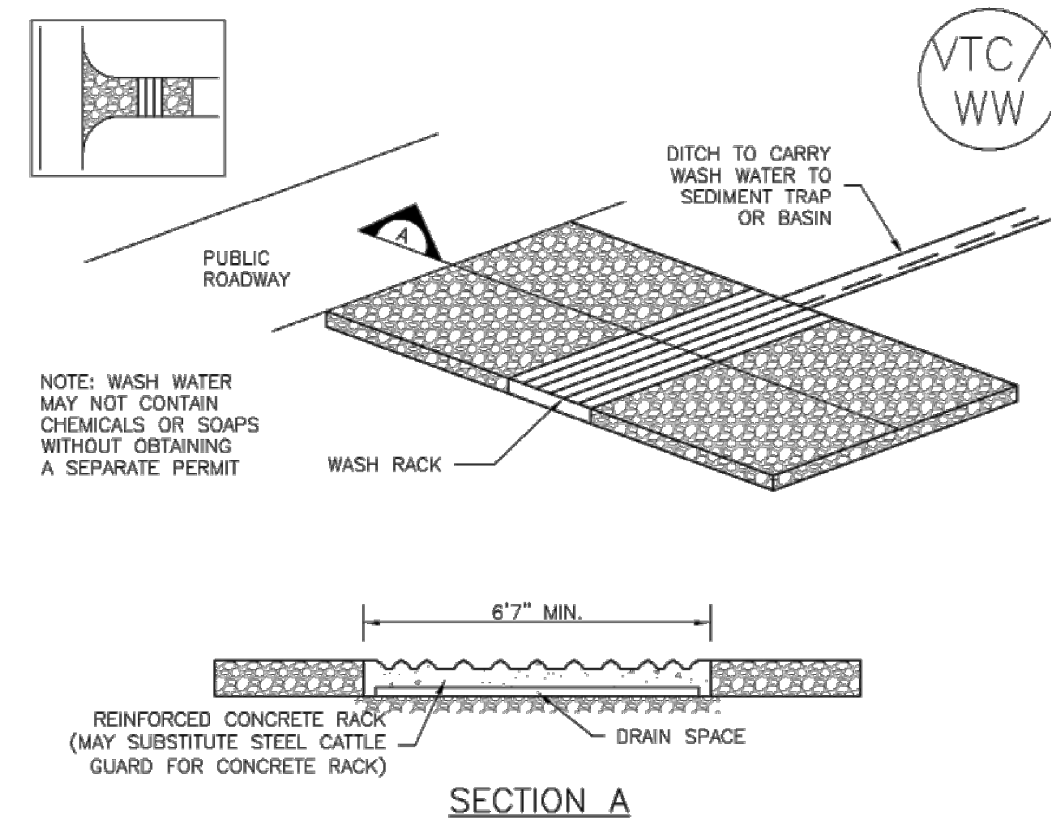
Vehicle Tracking Control (VTC) SM-4



VTC-1. AGGREGATE VEHICLE TRACKING CONTROL

November 2010 Urban Drainage and Flood Control District VTC-3
Urban Storm Drainage Criteria Manual Volume 3

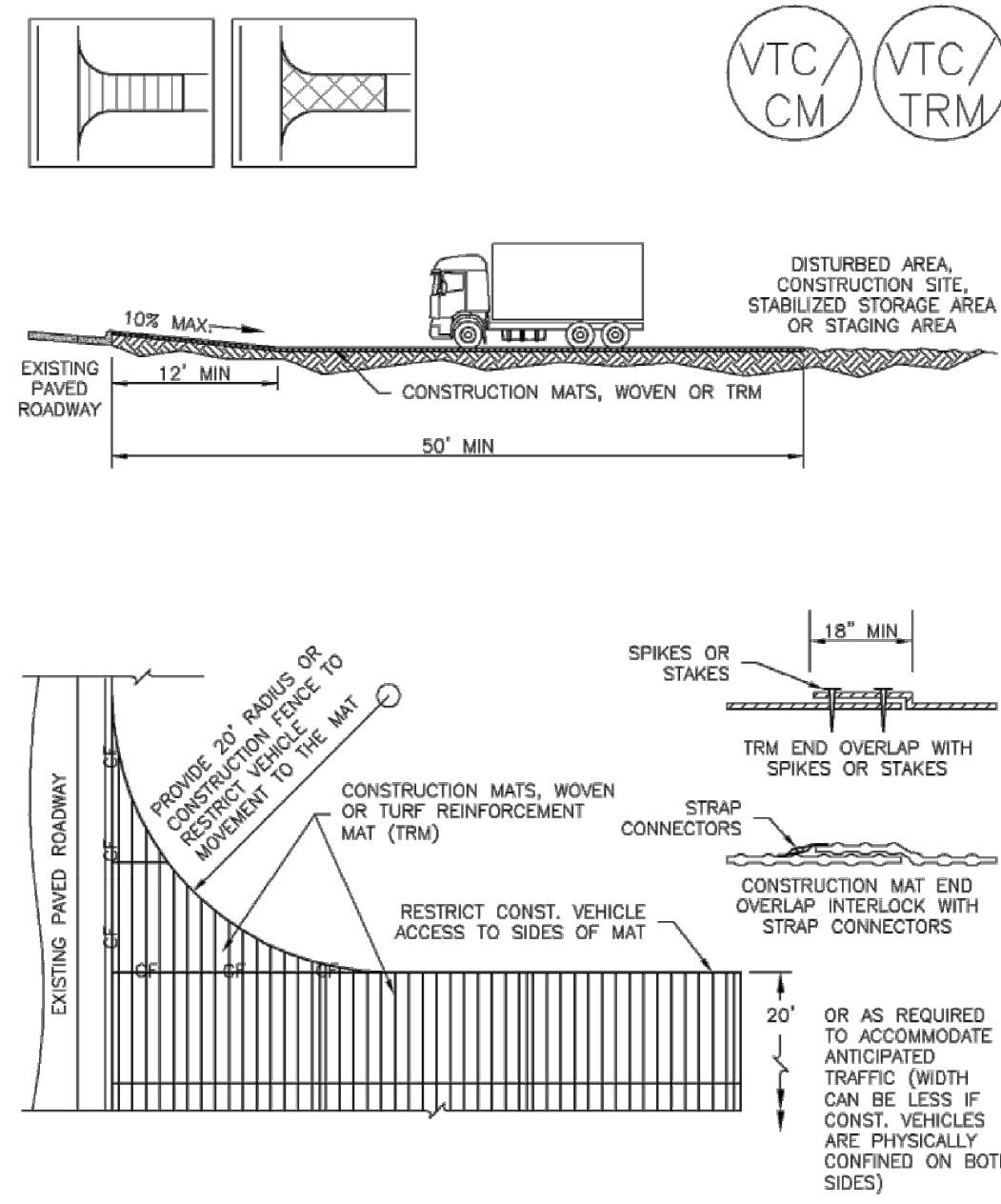
SM-4 Vehicle Tracking Control (VTC)



VTC-2. AGGREGATE VEHICLE TRACKING CONTROL WITH WASH RACK

VTC-4 Urban Drainage and Flood Control District November 2010
Urban Storm Drainage Criteria Manual Volume 3

Vehicle Tracking Control (VTC) SM-4



VTC-3. VEHICLE TRACKING CONTROL W/ CONSTRUCTION MAT OR TURF REINFORCEMENT MAT (TRM)

November 2010 Urban Drainage and Flood Control District November 2010
Urban Storm Drainage Criteria Manual Volume 3 VTC-5

SM-4 Vehicle Tracking Control (VTC)

STABILIZED CONSTRUCTION ENTRANCE/EXIT INSTALLATION NOTES

- SEE PLAN VIEW FOR -LOCATION OF CONSTRUCTION ENTRANCE(S)/EXIT(S), -TYPE OF CONSTRUCTION ENTRANCE(S)/EXIT(S) (WITH/WITHOUT WHEEL WASH, CONSTRUCTION MAT OR TRM).
- CONSTRUCTION MAT OR TRM STABILIZED CONSTRUCTION ENTRANCES ARE ONLY TO BE USED ON SHORT DURATION PROJECTS (TYPICALLY RANGING FROM A WEEK TO A MONTH) WHERE THERE WILL BE LIMITED VEHICULAR ACCESS.
- A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED AT ALL ACCESS POINTS WHERE VEHICLES ACCESS THE CONSTRUCTION SITE FROM PAVED RIGHT-OF-WAYS.
- STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- A NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT OF ROCK.
- UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.

STABILIZED CONSTRUCTION ENTRANCE/EXIT MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROMPTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY TO THE STABILIZED ENTRANCE/EXIT TO MAINTAIN A CONSISTENT DEPTH.
- SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED THROUGHOUT THE DAY AND AT THE END OF THE DAY BY SHOVELING OR SWEEPING. SEDIMENT MAY NOT BE WASHED DOWN STORM SEWER DRAINS.

(NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.)

(DETAILS ADAPTED FROM CITY OF BROOMFIELD, COLORADO, NOT AVAILABLE IN AUTOCAD)

VTC-6 Urban Drainage and Flood Control District November 2010
Urban Storm Drainage Criteria Manual Volume 3

Vehicle Tracking Control (VTC) SM-4

Description

Vehicle tracking controls provide stabilized construction site access where vehicles exit the site onto paved public roads. An effective vehicle tracking control helps remove sediment (mud or dirt) from vehicles, reducing tracking onto the paved surface.

Appropriate Uses

Implement a stabilized construction entrance or vehicle tracking control where frequent heavy vehicle traffic exits the construction site onto a paved roadway. An effective vehicle tracking control is particularly important during the following conditions:

- Wet weather periods when mud is easily tracked off site.
- During dry weather periods where dust is a concern.
- When poorly drained, clayey soils are present on site.

Design and Installation

Construct the vehicle tracking control on a level surface. Where feasible, grade the tracking control towards the construction site to reduce off-site runoff. Place signage, as needed, to direct construction vehicles to the designated exit through the vehicle tracking control. There are several different types of stabilized construction entrances including:

VTC-1. Aggregate Vehicle Tracking Control. This is a coarse-aggregate surfaced pad underlain by a geotextile. This is the most common vehicle tracking control, and when properly maintained can be effective at removing sediment from vehicle tires.

VTC-2. Vehicle Tracking Control with Construction Mat or Turf Reinforcement Mat. This type of control may be appropriate for site access at very small construction sites with low traffic volume over vegetated areas. Although this application does not typically remove sediment from vehicles, it helps protect existing vegetation and provides a stabilized entrance.

Vehicle Tracking Control	
Functions	
Erosion Control	Moderate
Sediment Control	Yes
Site/Material Management	Yes

November 2010 Urban Drainage and Flood Control District VTC-1
Urban Storm Drainage Criteria Manual Volume 3

127 S. DENVER AVE.
FT. LUITON, CO 80621
www.westerneci.com
email@westerneci.com
(720) 885-8951
FAX (720) 294-1330

Western Engineering Consultants, Inc LLC

REVISION DATE BY
1 REV PER COUNTY COMMENTS 04/20/12 10/27/12 CFC

VICTOR JOSEPH CONTACT
VICTOR JOSEPH
1853 MONROE STREET
STRASBURG, CO 80136
vjoseph@westerneci.com

EROSION CONTROL DETAILS
1853 MONROE ST MINOR SUBDIVISION
1853 MONROE STREET
TOWN OF STRASBURG, ADAMS COUNTY, COLORADO

Dig Safely.
CALL UNCC
THREE WORKING DAYS
BEFORE YOU DIG
1-800-922-1987
www.uncc.org
UTILITY NOTIFICATION
CENTER OF COLORADO

FOR REVIEW

ONLY VALID FOR CONSTRUCTION
SCALE & ORIGIN SIGNATURE
& LOG BOOK SHEET

INITIAL PLAN
RELEASE: 05/27/12
DESIGNED BY: CFC
DRAWN BY: CFC
CHECKED BY: CFC
PROJECT NO.
01-0408.001.00
DOC CON #
0009-GESC_DTL
SHEET
09 OF 13

SM-4 Vehicle Tracking Control (VTC)

VTC-3. Stabilized Construction Entrance/Exit with Wheel Wash. This is an aggregate pad, similar to VTC-1, but includes equipment for tire washing. The wheel wash equipment may be as simple as hand-held power washing equipment to more advanced proprietary systems. When a wheel wash is provided, it is important to direct wash water to a sediment trap prior to discharge from the site.

Vehicle tracking controls are sometimes installed in combination with a sediment trap to treat runoff.

Maintenance and Removal

Inspect the area for degradation and replace aggregate or material used for a stabilized entrance/exit as needed. If the area becomes clogged and ponds water, remove and dispose of excess sediment or replace material with a fresh layer of aggregate as necessary.

With aggregate vehicle tracking controls, ensure rock and debris from this area do not enter the public right-of-way.

Remove sediment that is tracked onto the public right of way daily or more frequently as needed. Excess sediment in the roadway indicates that the stabilized construction entrance needs maintenance.

Ensure that drainage ditches at the entrance/exit area remain clear.

A stabilized entrance should be removed only when there is no longer the potential for vehicle tracking to occur. This is typically after the site has been stabilized.

When wheel wash equipment is used, be sure that the wash water is discharged to a sediment trap prior to discharge. Also inspect channels conveying the water from the wash area to the sediment trap and stabilize areas that may be eroding.

When a construction entrance/exit is removed, excess sediment from the aggregate should be removed and disposed of appropriately. The entrance should be promptly stabilized with a permanent surface following removal, typically by paving.



Photograph VTC-2. A vehicle tracking control pad with wheel wash facility. Photo courtesy of Tom Gore.

Temporary Outlet Protection (TOP) EC-8

TEMPORARY OUTLET PROTECTION INSTALLATION NOTES

- 1. SEE PLAN VIEW FOR LOCATION OF OUTLET PROTECTION DIMENSIONS OF OUTLET PROTECTION.
2. DETAIL IS INTENDED FOR PIPES WITH SLOPE ≤ 10%. ADDITIONAL EVALUATION OF RIPRAP SIZING AND OUTLET PROTECTION DIMENSIONS REQUIRED FOR STEEPER SLOPES.
3. TEMPORARY OUTLET PROTECTION INFORMATION IS FOR OUTLETS INTENDED TO BE UTILIZED LESS THAN 2 YEARS.

TEMPORARY OUTLET PROTECTION INSPECTION AND MAINTENANCE NOTES

- 1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAILS ADAPTED FROM AURORA, COLORADO AND PREVIOUS VERSION OF VOLUME 3, NOT AVAILABLE IN AUTOCAD)

Sediment Control Log (SCL) SC-2

Description

A sediment control log is a linear roll made of natural materials such as straw, coconut fiber, or compost. The most common type of sediment control log has straw filling and is often referred to as a "straw wattle." All sediment control logs are used as a sediment barrier to intercept sheet flow runoff from disturbed areas.

Appropriate Uses

Sediment control logs can be used in the following applications to trap sediment:

- As perimeter control for stockpiles and the site.
As part of inlet protection designs.
As check dams in small drainage ditches. (Sediment control logs are not intended for use in channels with high flow velocities.)
On disturbed slopes to shorten flow lengths (as an erosion control).
As part of multi-layered perimeter control along a receiving water such as a stream, pond or wetland.

Sediment control logs work well in combination with other layers of erosion and sediment controls.

Design and Installation

Sediment control logs should be installed along the contour to avoid concentrating flows. The maximum allowable tributary drainage area per 100 linear feet of sediment control log, installed along the contour, is approximately 0.25 acres with a disturbed slope length of up to 150 feet and a tributary slope gradient no steeper than 3:1. Longer and steeper slopes require additional measures. This recommendation only applies to sediment control logs installed along the contour. When installed for other uses, such as perimeter control, it should be installed in a way that will not produce concentrated flows. For example, a "J-hook" installation may be appropriate to force runoff to pond and evaporate or infiltrate in multiple areas rather than concentrate and cause erosive conditions parallel to the BMP.

Table with 2 columns: Functions, and 2 rows: Erosion Control, Sediment Control, Site/Material Management.

SC-2 Sediment Control Log (SCL)

Although sediment control logs initially allow runoff to flow through the BMP, they can quickly become a barrier and should be installed as if they are impermeable.

Design details and notes for sediment control logs are provided in the following details. Sediment logs must be properly installed per the detail to prevent undercutting, bypassing and displacement. When installed on slopes, sediment control logs should be installed along the contours (i.e., perpendicular to flow).

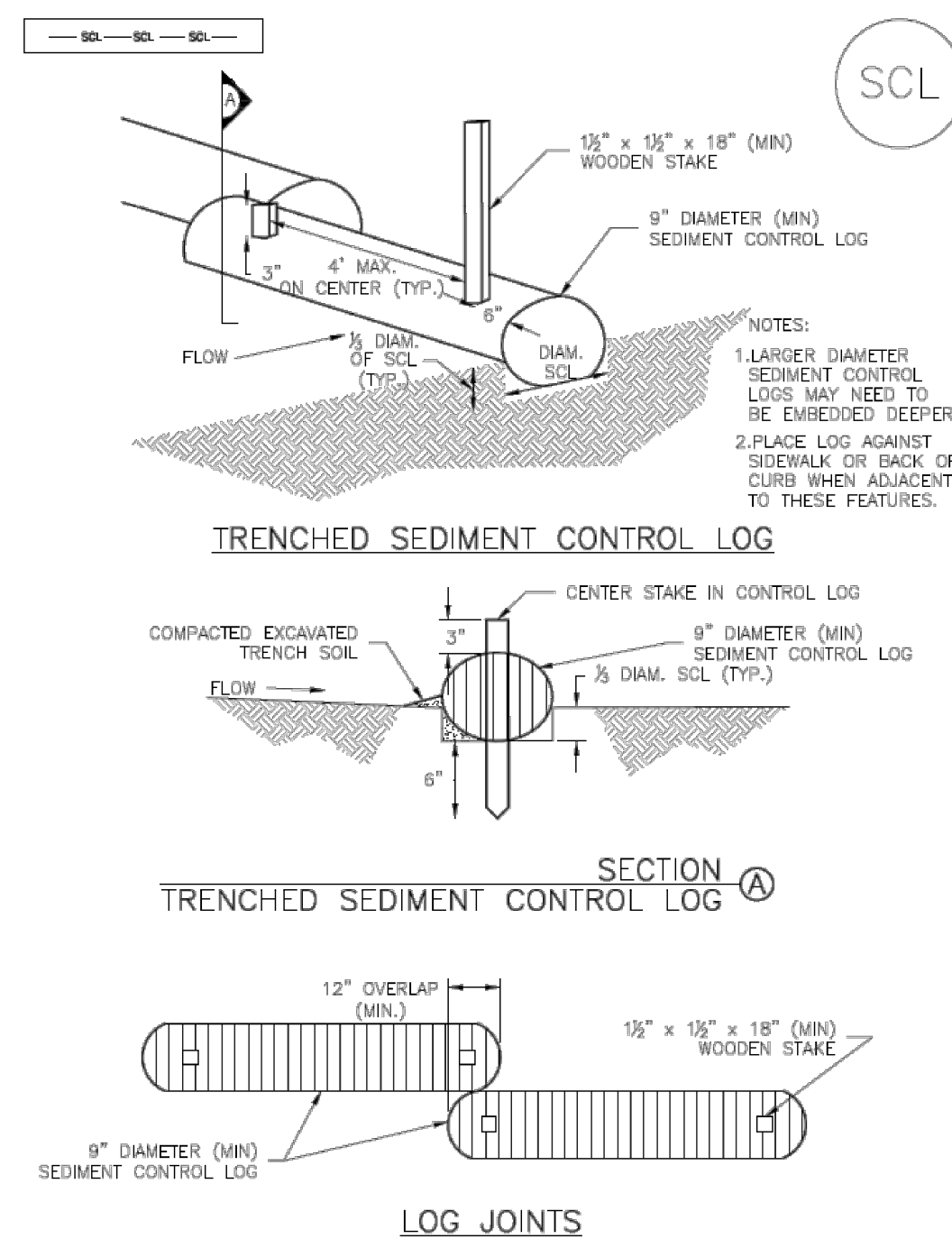
Improper installation can lead to poor performance. Be sure that sediment control logs are properly trenched (if lighter than 8 lb/foot), anchored and tightly joined.

Maintenance and Removal

Be aware that sediment control logs will eventually degrade. Remove accumulated sediment before the depth is one-half the height of the sediment log and repair damage to the sediment log, typically by replacing the damaged section.

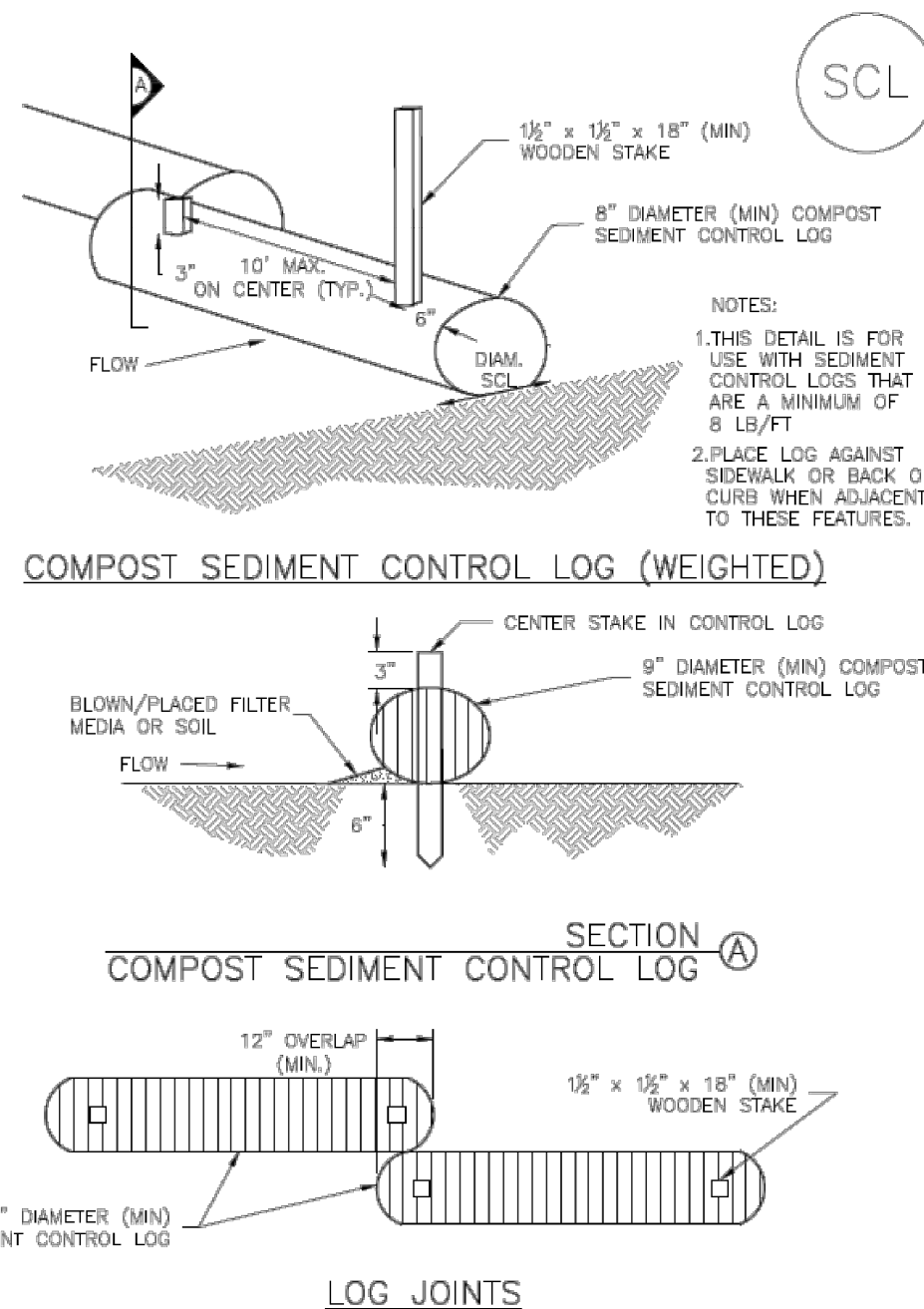
Once the upstream area is stabilized, remove and properly dispose of the logs. Areas disturbed beneath the logs may need to be seeded and mulched. Sediment control logs that are biodegradable may occasionally be left in place (e.g., when logs are used in conjunction with erosion control blankets as permanent slope breaks). However, removal of sediment control logs after final stabilization is typically appropriate when used in perimeter control, inlet protection and check dam applications. Compost from compost sediment control logs may be spread over the area and seeded as long as this does not cover newly established vegetation.

Sediment Control Log (SCL) SC-2



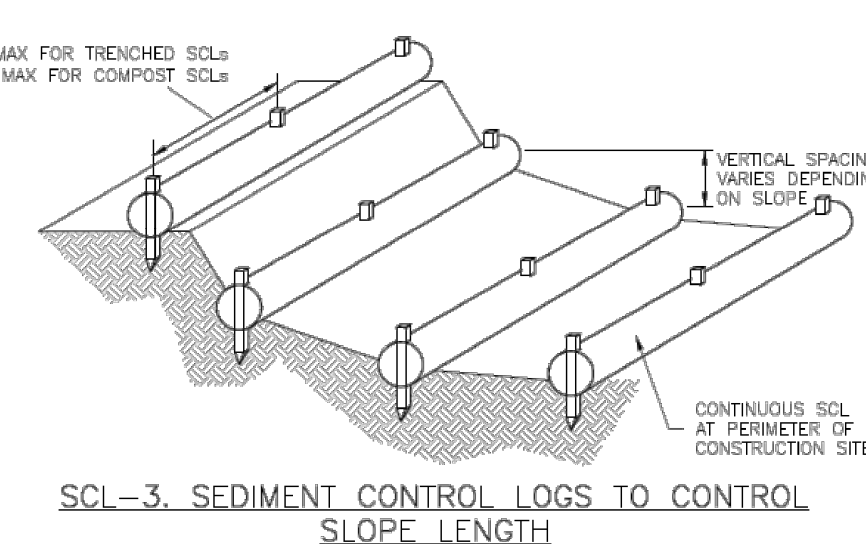
SCL-1. TRENCHED SEDIMENT CONTROL LOG

SC-2 Sediment Control Log (SCL)



SCL-2. COMPOST SEDIMENT CONTROL LOG (WEIGHTED)

Sediment Control Log (SCL) SC-2



SCL-3. SEDIMENT CONTROL LOGS TO CONTROL SLOPE LENGTH

SC-2 Sediment Control Log (SCL)

SEDIMENT CONTROL LOG INSTALLATION NOTES

- 1. SEE PLAN VIEW FOR LOCATION AND LENGTH OF SEDIMENT CONTROL LOGS.
2. SEDIMENT CONTROL LOGS THAT ACT AS A PERIMETER CONTROL SHALL BE INSTALLED PRIOR TO ANY UPGRADE/REPAIR/DEMOLITION/DISTURBING ACTIVITIES.
3. SEDIMENT CONTROL LOGS SHALL CONSIST OF STRAW, COMPOST, EXCELSIOR OR COCONUT FIBER, AND SHALL BE FREE OF ANY NOXIOUS WEED SEEDS OR DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR.
4. SEDIMENT CONTROL LOGS MAY BE USED AS SMALL CHECK DAMS IN DITCHES AND SWALES. HOWEVER, THEY SHOULD NOT BE USED IN PERENNIAL STREAMS.
5. IT IS RECOMMENDED THAT SEDIMENT CONTROL LOGS BE TRENCHED INTO THE GROUND TO A DEPTH OF APPROXIMATELY 1/2 OF THE DIAMETER OF THE LOG. IF TRENCHING TO THIS DEPTH IS NOT FEASIBLE AND/OR DESIRABLE (SHORT TERM INSTALLATION WITH DESIRE NOT TO DAMAGE LANDSCAPE) A LESSER TRENCHING DEPTH MAY BE ACCEPTABLE WITH MORE ROBUST STAKING. COMPOST LOGS THAT ARE 8 LB/FT DO NOT NEED TO BE TRENCHED.
6. THE UP-HILL SIDE OF THE SEDIMENT CONTROL LOG SHALL BE BACKFILLED WITH SOIL OR FILTER MATERIAL THAT IS FREE OF ROCKS AND DEBRIS. THE SOIL SHALL BE TIGHTLY COMPACTED INTO THE SHAPE OF A RIGHT TRIANGLE USING A SHOVEL OR WEIGHTED LAWN ROLLER OR BLOWN IN PLACE.

SEDIMENT CONTROL LOG MAINTENANCE NOTES

- 1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED UPSTREAM OF SEDIMENT CONTROL LOG SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 1/2 OF THE HEIGHT OF THE SEDIMENT CONTROL LOG.
5. SEDIMENT CONTROL LOG SHALL BE REMOVED AT THE END OF CONSTRUCTION.COMPOST FROM COMPOST LOGS MAY BE LEFT IN PLACE AS LONG AS BAGS ARE REMOVED AND THE AREA SEEDED. IF DISTURBED AREAS EXIST AFTER REMOVAL, THEY SHALL BE COVERED WITH TOP SOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

(DETAILS ADAPTED FROM TOWN OF PARKER, COLORADO, JEFFERSON COUNTY, COLORADO, DOUGLAS COUNTY, COLORADO, AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

127 S. DENVER AVE. FT. LUTTON, CO 80621 www.westerneci.com email@westerneci.com (720) 685-8951 FAX (720) 294-1330 Western Engineering Consultants, Inc LLC

Table with columns: No., Date, Revision, Comments. Includes contact info for Victor Joseph.

EROSION CONTROL DETAILS 1853 MONROE ST MINOR SUBDIVISION 1853 MONROE STREET TOWN OF STRASBURG, ADAMS COUNTY, COLORADO

Dig Safely. CALL UNCC THREE WORKING DAYS BEFORE YOU DIG 1-800-922-1987 www.uncc.org UTILITY NOTIFICATION CENTER OF COLORADO

FOR REVIEW

ONLY VALID FOR CONSTRUCTION OF THIS PROJECT AND NOT FOR ANY OTHER PROJECT.

INITIAL PLAN RELEASE: 05/27/22 DESIGNED BY: CFC DRAWN BY: CFC CHECKED BY: CFC

PROJECT NO. 01-0408.001.00 DOC CON # 0010-GECS DTL SHEET 10 OF 13

Good Housekeeping Practices (GH)

MM-3

Description

Implement construction site good housekeeping practices to prevent pollution associated with solid, liquid and hazardous construction-related materials and wastes. Stormwater Management Plans (SWMPs) should clearly specify BMPs including these good housekeeping practices:

- Provide for waste management.
Establish proper building material staging areas.
Designate paint and concrete washout areas.
Establish proper equipment/vehicle fueling and maintenance practices.
Control equipment/vehicle washing and allowable non-stormwater discharges.
Develop a spill prevention and response plan.



Photographs GH-1 and GH-2. Proper materials storage and secondary containment for fuel tanks are important good housekeeping practices. Photos courtesy of CDOT and City of Aurora.

Acknowledgement: This Fact Sheet is based directly on EPA guidance provided in Developing Your Stormwater Pollution Prevention Plan (EPA 2007).

Appropriate Uses

Good housekeeping practices are necessary at all construction sites.

Design and Installation

The following principles and actions should be addressed in SWMPs:

- Provide for Waste Management. Implement management procedures and practices to prevent or reduce the exposure and transport of pollutants in stormwater from solid, liquid and sanitary wastes that will be generated at the site. Practices such as trash disposal, recycling, proper material handling, and cleanup measures can reduce the potential for stormwater runoff to pick up construction site wastes and discharge them to surface waters. Implement a comprehensive set of waste-management practices for hazardous or toxic materials, such as paints, solvents, petroleum products, pesticides, wood preservatives, acids, roofing tar, and other materials. Practices should include storage, handling, inventory, and cleanup procedures, in case of spills. Specific practices that should be considered include:

Table with 2 columns: Functions, Good Housekeeping. Rows include Erosion Control, Sediment Control, Site/Material Management.

November 2010 Urban Drainage and Flood Control District GH-1
Urban Storm Drainage Criteria Manual Volume 3

MM-3 Good Housekeeping Practices (GH)

- Recycle materials whenever possible (e.g., paper, wood, concrete, oil).
Segregate and provide proper disposal options for hazardous material wastes.
Clean up litter and debris from the construction site daily.
Locate waste-collection areas away from streets, gutters, watercourses, and storm drains.
Empty waste containers before they are full and overflowing.

Sanitary and Septic Waste

- Provide convenient, well-maintained, and properly located toilet facilities on-site.
Locate toilet facilities away from storm drain inlets and waterways to prevent accidental spills and contamination of stormwater.
Maintain clean restroom facilities and empty portable toilets regularly.
Where possible, provide secondary containment pans under portable toilets.
Provide tie-downs or stake-downs for portable toilets.
Educate employees, subcontractors, and suppliers on locations of facilities.
Treat or dispose of sanitary and septic waste in accordance with state or local regulations.
Inspect facilities for leaks.
Special care is necessary during maintenance (pump out) to ensure that waste and/or biocide are not spilled on the ground.

Hazardous Materials and Wastes

- Develop and implement employee and subcontractor education, as needed, on hazardous and toxic waste handling, storage, disposal, and cleanup.
Designate hazardous waste-collection areas on-site.
Place all hazardous and toxic material wastes in secondary containment.



Photograph GH-3. Locate portable toilet facilities on level surfaces away from waterways and storm drains. Photo courtesy of WVE.

GH-2 Urban Drainage and Flood Control District November 2010
Urban Storm Drainage Criteria Manual Volume 3

Good Housekeeping Practices (GH) MM-3

- Hazardous waste containers should be inspected to ensure that all containers are labeled properly and that no leaks are present.
Establish Proper Building Material Handling and Staging Areas.
Train employees and subcontractors in proper handling and storage practices.
Clearly designate site areas for staging and storage with signs and on construction drawings.
Provide storage in accordance with Spill Protection, Control and Countermeasures (SPCC) requirements and plans.
Ensure that storage containers are regularly inspected for leaks, corrosion, support or foundation failure.
Reuse and recycle construction materials when possible.

- Designate Concrete Washout Areas. Concrete contractors should be encouraged to use the washout facilities at their own plants or dispatch facilities when feasible; however, concrete washout commonly occurs on construction sites.
Both self-constructed and prefabricated washout containers can fill up quickly when concrete, paint, and stucco work are occurring on large portions of the site.

When concrete, paint, or stucco is part of the construction process, consider these practices which will help prevent contamination of stormwater.

November 2010 Urban Drainage and Flood Control District GH-3
Urban Storm Drainage Criteria Manual Volume 3

MM-3 Good Housekeeping Practices (GH)

- Do not washout concrete trucks or equipment into storm drains, streets, gutters, uncontained areas, or streams.
Establish washout areas and advertise their locations with signs.
Provide adequate containment for the amount of wash water that will be used.
Inspect washout structures daily to detect leaks or tears and to identify when materials need to be removed.
Dispose of materials properly.
Establish Proper Equipment/Vehicle Fueling and Maintenance Practices.
Train employees and subcontractors in proper fueling procedures.
Inspect on-site vehicles and equipment regularly for leaks, equipment damage, and other service problems.
Clearly designate vehicle/equipment service areas away from drainage facilities and watercourses.
Collect all spent fluids, store in appropriate labeled containers in the proper storage areas, and recycle fluids whenever possible.
Control Equipment/Vehicle Washing and Allowable Non-Stormwater Discharges.

GH-4 Urban Drainage and Flood Control District November 2010
Urban Storm Drainage Criteria Manual Volume 3

Good Housekeeping Practices (GH) MM-3

- Use high-pressure water spray at vehicle washing facilities without detergents.
Do not conduct other activities, such as vehicle repairs, in the wash area.
Include the location of the washing facilities and the inspection and maintenance procedures in the SWMP.
Develop a Spill Prevention and Response Plan.
Note the locations of chemical storage areas, storm drains, tributary drainage areas, surface waterbodies on or near the site.
Provide proper handling and safety procedures for each type of waste.
Establish an education program for employees and subcontractors on the potential hazards to humans and the environment from spills and leaks.
Specify how to notify appropriate authorities, such as police and fire departments, hospitals, or municipal sewage treatment facilities to request assistance.
Describe the procedures, equipment and materials for immediate cleanup of spills and proper disposal.
Identify personnel responsible for implementing the plan in the event of a spill.

November 2010 Urban Drainage and Flood Control District GH-5
Urban Storm Drainage Criteria Manual Volume 3

MM-3 Good Housekeeping Practices (GH)

Spill Prevention, Control, and Countermeasure (SPCC) Plan
Construction sites may be subject to 40 CFR Part 112 regulations that require the preparation and implementation of a SPCC Plan to prevent oil spills from aboveground and underground storage tanks.
Furthermore, if the facility is subject to 40 CFR Part 112, the SWMP should reference the SPCC Plan.
Reporting Oil Spills
In the event of an oil spill, contact the National Response Center toll free at 1-800-424- 8802 for assistance.

Maintenance and Removal
Effective implementation of good housekeeping practices is dependent on clear designation of personnel responsible for supervising and implementing good housekeeping programs, such as site cleanup and disposal of trash and debris, hazardous material management and disposal, vehicle and equipment maintenance, and other practices.
Checklists may be helpful in good housekeeping efforts.
Staging and storage areas require permanent stabilization when the areas are no longer being used for construction-related activities.
Construction-related materials, debris and waste must be removed from the construction site once construction is complete.
Design Details
See the following Fact Sheets for related Design Details:
MM-1 Concrete Washout Area
MM-2 Stockpile Management
SM-4 Vehicle Tracking Control
Design details are not necessary for other good housekeeping practices; however, be sure to designate where specific practices will occur on the appropriate construction drawings.

GH-6 Urban Drainage and Flood Control District November 2010
Urban Storm Drainage Criteria Manual Volume 3

Street Sweeping and Vacuuming (SS) SM-7

Description
Street sweeping and vacuuming remove sediment that has been tracked onto roadways to reduce sediment transport into storm drain systems or a surface waterway.
Appropriate Uses
Use this practice at construction sites where vehicles may track sediment offsite onto paved roadways.
Design and Installation
Street sweeping or vacuuming should be conducted when there is noticeable sediment accumulation on roadways adjacent to the construction site.
On smaller construction sites, street sweeping can be conducted manually using a shovel and broom.
Maintenance and Removal
Inspect paved roads around the perimeter of the construction site on a daily basis and more frequently, as needed.
Following street sweeping, check inlet protection that may have been displaced during street sweeping.
Inspect area to be swept for materials that may be hazardous prior to beginning sweeping operations.



Photograph SS-1. A street sweeper removes sediment and potential pollutants along the curb line at a construction site. Photo courtesy of Tom Gove.

Table with 2 columns: Functions, Street Sweeping/ Vacuuming. Rows include Erosion Control, Sediment Control, Site/Material Management.

November 2010 Urban Drainage and Flood Control District SS-1
Urban Storm Drainage Criteria Manual Volume 3

Western Engineering Consultants, Inc LLC
127 S. DENVER AVE. FT. LUITON, CO 80621
www.westerneci.com
email@westerneci.com
(720) 885-8951
FAX (720) 294-1330

EROSION CONTROL DETAILS
1853 MONROE ST MINOR SUBDIVISION
1853 MONROE STREET
TOWN OF STRASBURG, ADAMS COUNTY, COLORADO

Dig Safely. CALL UNCC
THREE WORKING DAYS BEFORE YOU DIG
1-800-922-1987
www.uncc.org
UTILITY NOTIFICATION CENTER OF COLORADO

FOR REVIEW
ONLY VALID FOR CONSTRUCTION
INITIAL PLAN
RELEASE: 05/27/22
DESIGNED BY: CFC
DRAWN BY: CFC
CHECKED BY: CFC
PROJECT NO. 01-0408.001.00
DOC CON # 0012-GESC_DTL
SHEET 12 OF 13



LAND TITLE GUARANTEE COMPANY

Date: November 14, 2023

Subject: Attached Title Policy/Guarantee

Enclosed please find your product relating to the property located at 1853 MONROE ST., STRASBURG, CO 80136.

If you have any inquiries or require further assistance, please contact SCOTT CIESLEWICZ at (303) 850-4189 or scieslewicz@ltgc.com

Chain of Title Documents:

[Adams county recorded 02/08/2018 under reception no. 2018000011536](#)

Property Information Binder

CONDITIONS AND STIPULATIONS

1. Definition of Terms

The following terms when used in this Binder mean:

- (a) "Land": The land described, specifically or by reference, in this Binder and improvements affixed thereto which by law constitute real property;
- (b) "Public Records"; those records which impart constructive notice of matters relating to said land;
- (c) "Date": the effective date;
- (d) "the Assured": the party or parties named as the Assured in this Binder, or in a supplemental writing executed by the Company;
- (e) "the Company" means Old Republic National Title Insurance Company, a Minnesota stock company.

2. Exclusions from Coverage of this Binder

The company assumes no liability including cost of defense by reason of the following:

- (a) Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; taxes and assessments not yet due or payable and special assessments not yet certified to the Treasurer's office.
- (b) Unpatented mining claims; reservations or exceptions in patents or in Acts authorizing the issuance thereof; water rights, claims or title to water.
- (c) Title to any property beyond the lines of the Land, or title to streets, roads, avenues, lanes, ways or waterways on which such land abuts, or the right to maintain therein vaults, tunnels, ramps, or any other structure or improvement; or any rights or easements therein unless such property, rights or easements are expressly and specifically set forth in said description.
- (d) Mechanic's lien(s), judgment(s) or other lien(s).
- (e) Defects, liens, encumbrances, adverse claims or other matters: (a) created, suffered or agreed to by the Assured;(b) not known to the Company, not recorded in the Public Records as of the Date, but known to the Assured as of the Date; or (c) attaching or creating subsequent to the Date.

3. Prosecution of Actions

1. The Company shall have the right at its own costs to institute and prosecute any action or proceeding or do any other act which in its opinion may be necessary or desirable to establish or confirm the matters herein assured; and the Company may take any appropriate action under the terms of this Binder, whether or not it shall be liable thereunder and shall not thereby concede liability or waive any provision hereof.
2. In all cases where the Company does not institute and prosecute any action or proceeding, the Assured shall permit the Company to use, at its option, the name of the Assured for this purpose. Whenever requested by the Company, the Assured shall give the Company all reasonable aid in prosecuting such action or proceeding, and the Company shall reimburse the Assured for any expense so incurred.

4. Notice of Loss - Limitation of Action

A statement in writing of any loss or damage for which it is claimed the Company is liable under this Binder shall be furnished to the Company within sixty days after such loss or damage shall have been determined, and no right of action shall accrue to the Assured under this Binder until thirty days after such statement shall have been furnished, and no recovery shall be had by the Assured under this Binder unless action shall be commenced thereon with two years after expiration of the thirty day period. Failure to furnish the statement of loss or damage or to commence the action within the time hereinbefore specified, shall be conclusive bar against maintenance by the Assured of any action under this Binder.

5. Option to Pay, Settle or Compromise Claims

The Company shall have the option to pay, settle or compromise for or in the name of the Assured any claim which could result in loss to the Assured within the coverage of this Binder, or to pay the full amount of this Binder. Such payment or tender of payment of the full amount of the Binder shall terminate all liability of the Company hereunder.

6. Limitation of Liability - Payment of Loss

- (a) The liability of the Company under this Binder shall be limited to the amount of actual loss sustained by the Assured because of reliance upon the assurances herein set forth, but in no event shall the liability exceed the amount of the liability stated on the face page hereof.
- (b) The Company will pay all costs imposed upon the Assured in litigation carried on by the Company for the Assured, and all costs and attorneys' fees in litigation carried on by the Assured with the written authorization of the Company.
- (c) No claim for loss or damages shall arise or be maintainable under this Binder (1) if the Company after having received notice of any alleged defect, lien or encumbrance not shown as an Exception or excluded herein removes such defect, lien or encumbrance within a reasonable time after receipt of such notice, or (2) for liability voluntarily assumed by the Assured in settling any claim or suit without written consent of the Company.
- (d) All payments under this Binder, except for attorney's fees as provided for in paragraph 6(b) thereof, shall reduce the amount of the liability hereunder pro tanto, and no payment shall be made without producing this Binder or an acceptable copy thereof for endorsement of the payment unless the Binder be lost or destroyed, in which case proof of the loss or destruction shall be furnished to the satisfaction of the Company.
- (e) When liability has been definitely fixed in accordance with the conditions of this Binder, the loss or damage shall be payable within thirty days thereafter.

7. Subrogation Upon Payment or Settlement

Whenever the Company shall have settled a claim under this Binder, all right of subrogation shall vest in the Company unaffected by any act of the Assured, and it shall be subrogated to and be entitled to all rights and remedies which the Assured would have had against any person or property in respect to the claim had this Binder not been issued. If the payment does not cover the loss of the Assured, the Company shall be subrogated to the rights and remedies in the proportion which the payment bears to the amount of said loss. The Assured, if requested by the Company, shall transfer to the Company all rights and remedies against any person or property necessary in order to perfect the right of subrogation, and shall permit the Company to use the name of the Assured in any transaction or litigation involving the rights or remedies.

8. Binder Entire Contract

Any action or actions or rights of action that the Assured may have or may bring against the Company arising out of the subject matter hereof must be based on the provisions of this Binder. No provision or condition of this Binder can be waived or changed except by a writing endorsed or attached hereto signed by the President, a Vice President, the Secretary, an Assistant Secretary or other validating officer of the Company.

9. Notices. Where Sent

All notices required to be given the Company and any statement in writing required to be furnished the Company shall be addressed to it at 400 Second Avenue South, Minneapolis, Minnesota 55401, (612) 371-1111.

10. Arbitration

Unless prohibited by applicable law, either the Company or the insured may demand arbitration pursuant to the Title Insurance Arbitration Rules of the American Arbitration Association.

ANTI-FRAUD STATEMENT: Pursuant to CRS 10-1-128(6)(a), it is unlawful to knowingly provide false, incomplete or misleading facts or information to an insurance company for the purpose of defrauding or attempting to defraud the company. Penalties may include imprisonment, fines, denial of insurance and civil damages. Any insurance company or agent of an insurance company who knowingly provides false, incomplete, or misleading facts or information to a policyholder or claimant for the purpose of defrauding or attempting to defraud the policyholder or claimant with regard to a settlement or award payable from insurance proceeds shall be reported to the Colorado division of insurance within the department of regulatory agencies.

This anti-fraud statement is affixed and made a part of this policy.

Issued by:
Land Title Guarantee Company
3033 East First Avenue Suite 600
Denver, Colorado 80206
303-321-1880



Craig B. Rants, Senior Vice President



OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
A Stock Company
400 Second Avenue South, Minneapolis, Minnesota 55401
(612) 371-1111

By  President
Attest  Secretary


AMERICAN
LAND TITLE
ASSOCIATION



Old Republic National Title Insurance Company
PROPERTY INFORMATION BINDER

Order Number: RND70822091

Policy No.: PIB70822091.25737791

Liability: \$50,000.00

Fee: \$500.00

Subject to the exclusions from coverage, the limits of liability and other provisions of the Conditions and Stipulations hereto annexed and made a part of this Binder,

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY a Corporation, herein called the Company,

GUARANTEES

WESTERN ENGINEERING CONSULTANTS, INC.
LLC

Herein called the Assured, against loss, not exceeding the liability amount stated above, which the assured shall sustain by reason of any incorrectness in the assurance which the Company hereby gives that, according to the public records as of

October 23, 2023 at 5:00 P.M.

1. Title to said estate or interest at the date hereof is vested in:

SUMIT JOSEPH

2. The estate or interest in the land hereinafter described or referred to covered by this Binder :

FEE SIMPLE

3. The Land referred to in this Binder is described as follows:

A TRACT OF LAND IN THE NE 1/4 OF THE SE 1/4 OF SECTION 33, TOWNSHIP 3 SOUTH, RANGE 62 WEST OF 6TH PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF SAID SECTION 33 WHICH IS 455.58 FEET, MORE OR LESS, DUE EAST OF THE NE CORNER OF A TRACT OF GROUND WHICH HAS BEEN HERETOFORE CONVEYED BY O.E. BRINEY TO JOINT SCHOOL DISTRICT NO. 31 IN WARRANTY DEED RECORDED SEPTEMBER 29, 1917 IN BOOK 64 AT PAGE [273](#), THENCE SOUTH ALONG SAID EAST SECTION LINE 198 FEET TO A POINT, THENCE WEST 220.00 FEET TO A POINT, THENCE NORTH 198 FEET TO A POINT, THENCE EAST 220.00 FEET TO THE POINT OF BEGINNING,

EXCEPT THOSE PORTIONS CONVEYED TO THE COUNTY OF ADAMS, STATE OF COLORADO IN DEEDS RECORDED NOVEMBER 13, 2006 UNDER RECEPTION NO. [2006000999548](#), AND RECORDED JULY 3, 2007 UNDER RECEPTION NO. [2007000063927](#),

COUNTY OF ADAMS, STATE OF COLORADO.

Old Republic National Title Insurance Company

PROPERTY INFORMATION BINDER

Order Number: RND70822091

Policy No.: PIB70822091.25737791

4. The following documents affect the land:

1. EXISTING LEASES AND TENANCIES, IF ANY.
2. RESERVATIONS BY THE UNION PACIFIC UNION RAIL ROAD COMPANY OF (1) OIL, COAL AND OTHER MINERALS UNDERLYING THE LAND, (2) THE EXCLUSIVE RIGHT TO PROSPECT FOR, MINE AND REMOVE OIL, COAL AND OTHER MINERALS, AND (3) THE RIGHT OF INGRESS AND EGRESS TO PROSPECT FOR, MINE AND REMOVE OIL, COAL AND OTHER MINERALS AS DESCRIBED IN DEED RECORDED DECEMBER 14, 1906 IN BOOK 25 AT PAGE [166](#), AND ANY AND ALL ASSIGNMENTS THEREOF OR INTERESTS THEREIN.

QUITCLAIM DEED IN CONNECTION THEREWITH RECORDED APRIL 14, 1971 IN BOOK 1684 AT PAGE [281](#).

MINERAL DEED BY AND BETWEEN UNION PACIFIC RAILROAD CORPORATION, A UTAH CORPORATION, GRANTOR, AND CHAMPLIN PETROLEUM COMPANY, A DELAWARE CORPORATION, GRANTEE, RECORDED MAY 20, 1976 IN BOOK 2064 AT PAGE [801](#).

QUITCLAIM DEED IN CONNECTION THEREWITH RECORDED DECEMBER 17, 1976 IN BOOK 2110 AT PAGE [453](#) AND RE-RECORDED JANUARY 24, 1977 IN BOOK 2543 AT PAGE [669](#).

QUITCLAIM DEED IN CONNECTION THEREWITH RECORDED JANUARY 8, 1996 IN BOOK 4659 AT PAGE [485](#).

RELEASE AND QUITCLAIM DEED IN CONNECTION THEREWITH RECORDED NOVEMBER 23, 1998 UNDER RECEPTION NO. [C0470914](#).

REQUEST FOR NOTIFICATION OF SURFACE DEVELOPMENT AS EVIDENCED BY INSTRUMENT RECORDED MAY 20, 2002 UNDER RECEPTION NO. [C0971872](#).

DEED RECORDED FEBRUARY 6, 2020 UNDER RECEPTION NO. [2020000011990](#).
3. OIL AND GAS LEASE BETWEEN CHAMPLIN PETROLEUM COMPANY, A DELAWARE CORPORATION AND AMOCO PRODUCTION COMPANY, A DELAWARE CORPORATION, RECORDED JUNE 02, 1976 IN BOOK 2067 AT PAGE [100](#); AND RE-RECORDED JUNE 11, 1976 IN BOOK 2457 AT PAGE [76](#) (ARAPAHOE COUNTY RECORDS) AND ANY AND ALL ASSIGNMENTS THEREOF, OR INTEREST THEREIN.
4. OIL AND GAS LEASE BETWEEN CHAMPLIN PETROLEUM COMPANY, A DELAWARE CORPORATION AND AMOCO PRODUCTION COMPANY, A DELAWARE CORPORATION, RECORDED AUGUST 12, 1976 IN BOOK 2082 AT PAGE [672](#); AND RE-RECORDED AUGUST 31, 1976 IN BOOK 2489 AT PAGE [42](#) (ARAPAHOE COUNTY RECORDS) AND ANY AND ALL ASSIGNMENTS THEREOF, OR INTEREST THEREIN.

RATIFICATION OF LEASES IN CONNECTION THEREWITH RECORDED DECEMBER 10, 1990 IN BOOK 3735 AT PAGE [141](#).

NOTE: THE PRESENT OWNERSHIP OF THE LEASEHOLD CREATED BY SAID LEASE AND OTHER MATTERS AFFECTING THE INTEREST OF THE LESSEE ARE NOT SHOWN HEREIN.
5. ANY ASSESSMENT OR LIEN OF STRASBURG SANITATION AND WATER DISTRICT, AS DISCLOSED BY RESOLUTION RECORDED MAY 20, 2002 UNDER RECEPTION NO. [C0971960](#).
6. RIGHTS OF OTHERS IN AND TO, OVER AND ACROSS ANY PORTION OF SUBJECT PROPERTY LYING WITHIN MONROE STREET, IF ANY, AS DISCLOSED ON MAP. THE REFERENCED DOCUMENT IS STORED IN OUR SYSTEM AS IMAGE [63229433](#).
7. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN ZONING HEARING DECISION - CASE #RCU2006-00033 RECORDED OCTOBER 20, 2006 UNDER RECEPTION NO. [2006000991794](#).

Old Republic National Title Insurance Company

PROPERTY INFORMATION BINDER

Order Number: RND70822091

Policy No.: PIB70822091.25737791

8. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN AGREEMENT FOR TEMPORARY EASEMENT ENCROACHMENT RECORDED MARCH 09, 2007 UNDER RECEPTION NO. [2007000024979](#); FIRST AMENDMENT TO AGREEMENT FOR TEMPORARY EASEMENT ENCROACHMENT RECORDED DECEMBER 18, 2008 UNDER RECEPTION NO. [2008000097648](#).

AMENDED AND RESTATED AGREEMENT FOR TEMPORARY EASEMENT ENCROACHMENT RECORDED FEBRUARY 18, 2018 UNDER RECEPTION NO. [2018000016944](#).

9. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN RESOLUTION 2015-347 RECORDED AUGUST 05, 2015 UNDER RECEPTION NO. [2015000064252](#).
10. TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN SEWER EASEMENT AGREEMENT GRANTED UNTON STRASBURG SANITATION AND WATER DISTRICT RECORDED FEBRUARY 28, 2018 UNDER RECEPTION NO. [2018000016941](#).
11. DEED OF TRUST DATED JUNE 10, 2020 FROM SUMIT JOSEPH TO THE PUBLIC TRUSTEE OF ADAMS COUNTY FOR THE USE OF COYOTE CREEK CAPITAL TO SECURE THE SUM OF \$213,000.00, AND ANY OTHER AMOUNTS PAYABLE UNDER THE TERMS THEREOF, RECORDED JUNE 25, 2019, UNDER RECEPTION NO. [2019000049244](#).
12. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN Zoning resolution 2023-142 RECORDED JUNE 08, 2023 UNDER RECEPTION NO. [2023000032315](#).

NOTE: ADDITIONAL UPDATES TO THE EFFECTIVE DATE OF THE BINDER MAY BE REQUESTED BY THE PROPOSED INSURED. ONE UPDATE IS INCLUDED WITH THIS BINDER AT NO ADDITIONAL COST. ANY ADDITIONAL UPDATES WILL BE ISSUED AT THE COST OF \$135 PER UPDATE. FOR EACH UPDATE PROVIDED, A REVISED BINDER WILL BE ISSUED SHOWING A NEW EFFECTIVE DATE AND ANY MATTERS RECORDED SINCE THE EFFECTIVE DATE OF THE PREVIOUS BINDER.

THIS PRODUCT WILL ONLY BE UPDATED FOR 24 MONTHS FOLLOWING THE EFFECTIVE DATE OF THE ORIGINAL BINDER.

NOTE: THIS BINDER DOES NOT REFLECT THE STATUS OF TITLE TO WATER RIGHTS OR REPRESENTATION OF SAID RIGHTS, RECORDED OR NOT.

NOTE: THIS BINDER IS NOT A REPORT OR REPRESENTATION AS TO MINERAL INTERESTS, AND SHOULD NOT BE USED, OR RELIED UPON, IN CONNECTION WITH THE NOTICE REQUIREMENTS THAT ARE SET FORTH IN CRS 24-65.5-103.

From: Dickinson - DNR, Wenli <wenli.dickinson@state.co.us>
Sent: Thursday, September 21, 2023 6:33:00 AM
To: jrhall@adcogov.org <jrhall@adcogov.org>
Cc: LTart@adcogov.org <LTart@adcogov.org>; kunbob1@hotmail.com <kunbob1@hotmail.com>
Subject: Fwd: Request for Comments: PLT2022-00017 Joseph Minor Subdivision

Hello,

DWR provided comments on PLT2022-00017 (Joseph Minor Subdivision) on April 14, 2022, requesting information on the Strasburg Sanitation and Water District. We have received the requested information from the District. Does the county need an updated letter from DWR commenting on this subdivision's water supply? Please let me know.

Regards,

Wenli Dickinson, P.E.
Water Resource Engineer

P 303.866.3581 x8206
1313 Sherman St, Suite 821, Denver, CO 80203
wenli.dickinson@state.co.us | dwr.colorado.gov

STRASBURG SANITATION AND WATER DISTRICT
56829 Colorado Ave.
PO Box 596,
Strasburg, CO 80136
303-622-4443

July 24, 2023

Sumit Joseph
DAVID LLC
Renumonroe1@gmail.com

Re: Will Serve Letter for 1853 Monroe Street, Strasburg, CO 80136

Dear Ms. Joseph,

At the District's July 19, 2023 board meeting, the Board discussed your request that the District issue a letter confirming its willingness to provide water and sewer service for 1853 Monroe Street, Strasburg, CO 80136, in your attempt to change the property zoning from commercial to residential.

The District's board of directors has discussed the request for service to 1853 Monroe Street and provides this letter to confirm that the District will reserve capacity in its water and wastewater systems to serve the Property, as it already serves this property with two water taps and two sewer taps. The Property, and all tenants, owners, and users within the Property, must adhere to all Rules and Regulations of the District.

The District's commitment to reserve capacity in its water and wastewater systems to serve the Property expires on July 19, 2024, after which another request for service must be made by the owner of the Property.

Please feel free to contact our office if you have any questions.

Regards,



Tracy Griffin
District Manager

July 29, 2023

Joseph Sumit
23657 E Elsworth Ave
Auroa, CO 80018-1556

Re: 1853 Monroe Street Strasburg, CO 80136 – Parcel Number 018113334000011

Dear Mr. Sumit:

We are an electric utility operating under the rules and regulations approved by our Board of Directors. The above-referenced parcel of land in Section 33, Township 3 South, and Range 62 West of the 6th P.M., County of Adams, State of Colorado, is located within our service area.

We are willing to extend our facilities to the proposed project in accordance with our extension policies. When you submit an application for service, the designer assigned will be able to answer any questions concerning the location of electric facilities in relation to the project. Any attempt to identify facilities now may provide inaccurate information due to the phasing of your project and other developments in the vicinity, which may alter the location or type of facilities prior to your request for service.

If you have any further questions, please feel free to contact me.

Sincerely,



Brooks Kaufman
Lands and Rights-of-Way Manager



**TREASURER & PUBLIC TRUSTEE
ADAMS COUNTY, COLORADO
Certificate Of Taxes Due**

Account Number R0081742
Parcel 0181333400011
Assessed To
JOSEPH SUMIT
23657 E ELLSWORTH AVE
AURORA, CO 80018-1556

Certificate Number 2023-233284
Order Number
Vendor ID
VICTOR JOSEPH
23657 E ELLSWORTH AVE AURORA, CO 80018-1556

Legal Description **Situs Address**
SECT. TWN. RNG. 33-3-62 DESC. TRACT IN NE4 SE4 SEC 33 DESC BEG AT PT ON E LN SEC 33 WHICH IS 455/85 FT M/L DUE E 1853 MONROE ST
 OF NE COR OF TRACT CONVEYED TO SCHOOL DIST 31 TH S ALG E LN OF SD SEC 198 FT TO PT TH W 220 FT TH N 198 FT
 TH E 220 FT TO BEG EXC RD 0/7727A

Year	Tax	Interest	Fees	Payments	Balance
Tax Charge					
2022	\$10,217.58	\$206.45	\$0.00	(\$10,424.03)	\$0.00
Total Tax Charge					\$0.00
Grand Total Due as of 07/11/2023					\$0.00

Tax Billed at 2022 Rates for Tax Area 406 - 406

Authority	Mill Levy	Amount	Values	Actual	Assessed
RANGEVIEW LIBRARY DISTRICT	3.6150000*	\$383.30	COMM LND SPEC	\$74,052	\$21,480
FIRE DISTRICT 8 - STRASBURG	12.6140000	\$1,337.46	PURPOS		
ADAMS COUNTY	26.9670000	\$2,859.31	SPECIAL PURPOSE	\$291,548	\$84,550
NORTH KIOWA BIJOU GROUND WA	0.0230000	\$2.44	Total	\$365,600	\$106,030
SD 31	44.1360000	\$4,679.74			
STRASBURG PARK & RECREATION	5.0100000	\$531.21			
STRASBURG WATER & SANITATIO	4.0000000	\$424.12			
Taxes Billed 2022	96.3650000	\$10,217.58			
* Credit Levy					

ALL TAX SALE AMOUNTS ARE SUBJECT TO CHANGE DUE TO ENDORSEMENT OF CURRENT TAXES BY THE LIENHOLDER OR TO ADVERTISING AND DISTRAINT WARRANT FEES. CHANGES MAY OCCUR; PLEASE CONTACT THE TREASURY PRIOR TO MAKING A PAYMENT AFTER AUGUST 1. TAX LIEN SALE REDEMPTION AMOUNTS MUST BE PAID BY CASH OR CASHIER'S CHECK.

SPECIAL TAXING DISTRICTS AND THE BOUNDARIES OF SUCH DISTRICTS MAY BE ON FILE WITH THE BOARD OF COUNTY COMMISSIONERS, THE COUNTY CLERK, OR, THE COUNTY ASSESSOR.

This certificate does not include land or improvements assessed under a separate account number, personal property taxes, transfer tax, or, miscellaneous tax collected on behalf of other entities, special or local improvement district assessments, or mobile homes, unless specifically mentioned.

I, the undersigned, do hereby certify that the entire amount of taxes due upon the above described parcels of real property and all outstanding lien sales for unpaid taxes as shown by the records in my office from which the same may still be redeemed with the amount required for redemption on this date are as noted herein. In witness whereof, I have hereunto set my hand and seal.

TREASURER & PUBLIC TRUSTEE, ADAMS COUNTY,

Alexander L Villagran

4430 S. Adams County Parkway
Brighton, CO 80601





Colorado Geological Survey Payment Portal

Receipt Number: 798818

Colorado Geological Survey

Current Date: 11/22/2023

Description	Amount Tax
Pre-Pay the Colorado Geological Survey Land Use Review Fee Must select project size to calculate a price: Very Small Residential Subdivision - Project Name: 1853 Monroe Street Minor Sub County of Project: Adams Applicant's Name: Sumit Joseph Applicant's Address (line 1): 23657 E Ellsworth Avenue Applicant's City: Aurora Applicant's State: CO Applicant's Zip Code: 80018 Applicant's Phone: 303-746-1914 Applicant's Email: kunbob1@hotmail.com Section: 33 Township: 3 South Range: 62 W Latitude: 39.743538 Longitude: -104.321751	\$600.00
Pre-Pay the Colorado Geological Survey Land Use Review Fee	
Total	\$600.00

Payments Received	Amount
CC MasterCard XXXXXXXXXXXXX0159 Authorization # 42627P	\$600.00
Total	\$600.00

Thank you for the payment.

LEGAL DESCRIPTION

According to Land Title Guaranty document

A TRACT OF LAND IN THE NE 1/4 OF THE SE 1/4 OF SECTION 33, TOWNSHIP 3 SOUTH, RANGE 62 WEST OF SIXTH PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF SAID SECTION 33 WHICH IS 455.58 FEET, MORE OR LESS, DUE EAST OF THE NE CORNER OF A TRACT OF GROUND WHICH HAS BEEN HERETOFORE CONVEYED BY O.E. BRINEY TO JOINT SCHOOL DISTRICT NO. 31, THENCE SOUTH ALONG SAID EAST SECTION LINE 198 FEET TO A POINT, THENCE WEST 220 FEET TO A POINT, THENCE NORTH 198 FEET TO A POINT, THENCE EAST 220 FEET TO THE POINT OF BEGINNING,

EXCEPT THOSE PORTIONS CONVEYED TO THE COUNTY OF ADAMS, STATE OF COLORADO IN DEEDS RECORDED NOVEMBER 13, 2006 UNDER RECEPTION NO. 2006000999548, AND RECORDED JULY 3, 2007 UNDER RECEPTION NO. 2007000063927,

COUNTY OF ADAMS, STATE OF COLORADO.

Fwd: 'School impact analysis"

victor Joseph <kunbob1@hotmail.com>

Fri 7/21/2023 9:14 AM

To:Leticia Maldonado <leticia.maldonado@westerneci.com>

Get [Outlook for iOS](#)

From: Sumit Joseph <renumonroe1@gmail.com>

Sent: Thursday, July 20, 2023 2:34:46 PM

To: victor Joseph <kunbob1@hotmail.com>

Subject: Fwd: 'School impact analysis"

----- Forwarded message -----

From: **Brooke Kartus** <bkartus@strasburg31j.com>

Date: Thu, Jul 20, 2023 at 2:07 PM

Subject: Re: 'School impact analysis"

To: Sumit Joseph <renumonroe1@gmail.com>

Hi Sumit,

I spoke to my Superintendent and CFO regarding this request. Neither of them are familiar with this request or letter nor can we find any history of such a letter being drafted by the district in the past. I am not sure the school district is the appropriate entity to do this for you. It sounds to me as though maybe you would pay an engineer or third party to produce this for you.

Sorry this is not much help.

Brooke Kartus

Executive Administrative Assistant

[Strasburg School District 31J](#)

[2102 Wagner St. | Strasburg, CO. 80136](#)

Phone: 303.622.9211 x 899

bkartus@strasburg31j.com | www.Strasburg31J.com



From: Sumit Joseph <renumonroe1@gmail.com>

Sent: Monday, July 17, 2023 1:12 PM

To: Brooke Kartus <bkartus@strasburg31j.com>

Subject: 'School impact analysis"

Hi Ms Brooke,

My name is Sumit.Joseph, owner of [1853 Monroe St, Strasburg, CO 80136](#). We are trying to change the title of our property from commercial to residential, for that purposes Adam county has requested, School impact analysis letter. Can you please help me out in this regard.

Thanks

Sumit Joseph

3032617374



WAIVER FROM SUBDIVISION DESIGN STANDARDS

Application submittals must include all documents on this checklist as well as this page. Please use the reference guide (pg. 2) included in this packet for more information on each submittal item.

All submittals shall include one (1) hard copy of all documents and one (1) electronic copy with all documents combined in a single PDF. For hard copies, each document shall be labeled or tabbed with the corresponding checklist number.

1. Development Application Form (pg. 7)
2. Application Fees of \$500
3. Written Explanation of the Project
4. Site Plan Showing Proposed Development
5. Copy of Plat Prepared by Registered Land Surveyor (see guide pg. 4)
6. Proof of Ownership (title policy dated within 30 days of submittal)
7. Proof of Water and Sewer Services
8. Proof of Utilities (e.g. electric, gas)
9. Neighborhood Meeting Summary
10. Legal Description
11. Certificate of Taxes Paid
12. Certificate of Notice to Mineral Estate Owners/and Lessees (pg. 9)
13. Certificate of Surface Development (pg. 10)



DEVELOPMENT APPLICATION FORM

Application Type:

<input type="checkbox"/> Conceptual Review	<input type="checkbox"/> Preliminary PUD	<input type="checkbox"/> Temporary Use
<input type="checkbox"/> Subdivision, Preliminary	<input type="checkbox"/> Final PUD	<input type="checkbox"/> Variance
<input type="checkbox"/> Subdivision, Final	<input type="checkbox"/> Rezone	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Plat Correction/ Vacation	<input type="checkbox"/> Special Use	<input type="checkbox"/> Other: _____

PROJECT NAME:

APPLICANT

Name(s): Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

OWNER

Name(s): Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

TECHNICAL REPRESENTATIVE (Consultant, Engineer, Surveyor, Architect, etc.)

Name: Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

DESCRIPTION OF SITE

Address: 1853 Monroe Street

City, State, Zip: Strasburg, CO, 80136

Area (acres or square feet): 0.78 acres

Tax Assessor Parcel Number: 0181333400011

Existing Zoning: R-1-C

Existing Land Use: Commercial

Proposed Land Use: Commercial

Have you attended a Conceptual Review? YES NO

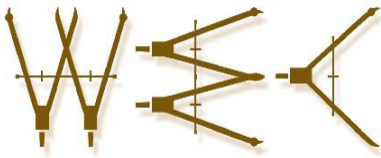
If Yes, please list PRE#:

I hereby certify that I am making this application as owner of the above described property or acting under the authority of the owner (attached authorization, if not owner). I am familiar with all pertinent requirements, procedures, and fees of the County. I understand that the Application Review Fee is non-refundable. All statements made on this form and additional application materials are true to the best of my knowledge and belief.

Name: Sumit Joseph
Owner's Printed Name

Date: 9-07-2023

Name: *Sumit Joseph*
Owner's Signature



WESTERN ENGINEERING CONSULTANTS,

127 S. Denver Avenue, Ft. Lupton CO 80621
2501 Mill St. Brush, CO 80723
Ph. 303-913-7341, Fax 720-294-1330
Email: chadwin.cox@westerneci.com

Inc LLC

November 22, 2023

Adams County Community and Economic Development
4430 South Adams County Parkway
1st Floor, Suite W2000
Brighton, CO 80601-8216

RE: 1853 Monroe Minor Subdivision Waiver from Subdivision Design Standards

Adams County Community and Economic Development:

Western Engineering Consultants Inc. LLC (WEC) has prepared this letter to briefly summarize the proposed “Joseph Minor Subdivision” Waiver from Subdivision Design Standards.

This Waiver has been provided because Monroe Street is classified as a “Regional Arterial/ Major Arterial (Rural)” roadway with 140 ft Right-of-Way as shown in the cross-section in Fig. 1

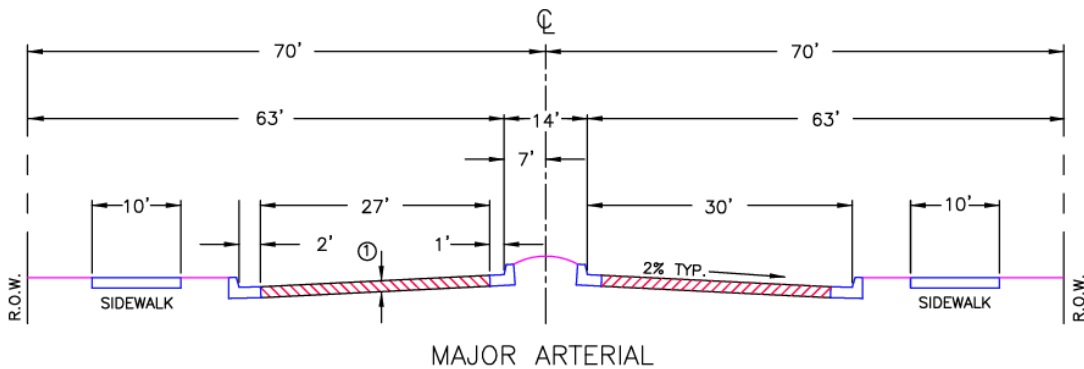


Fig. 1 Major Arterial Cross-Section

According to the Subdivision Design Standards, the developer is required to construct roadway improvements adjacent to the proposed site. However, the existing road at both the site / north and south of this site, is +/- 42 ft wide with houses and backyards that will have to be removed for the build-out of the 140 ft ROW dedication (see Fig 2 in next page), showing it is not possible to meet this requirement without major/expensive demolition of existing homes and yards, see enclosed Future ROW Exhibit.

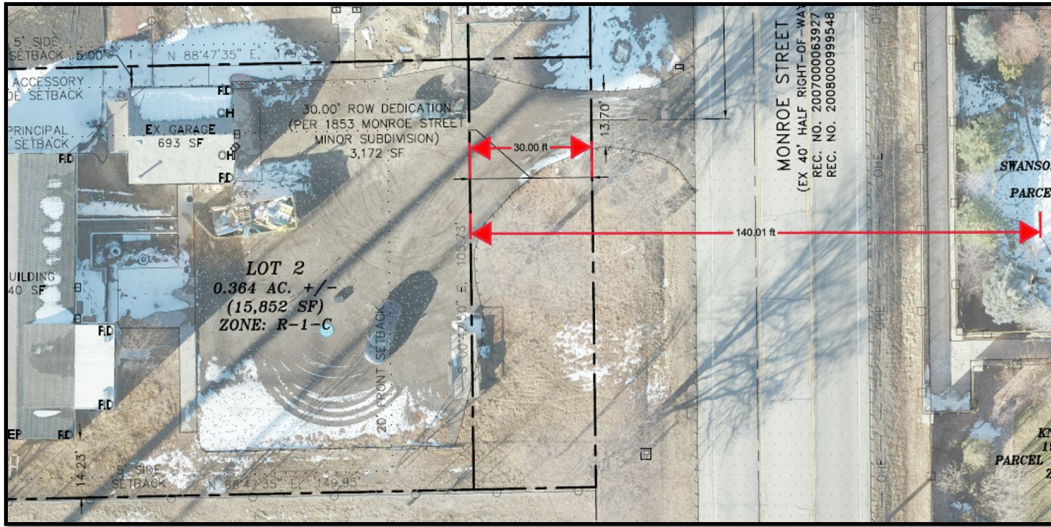


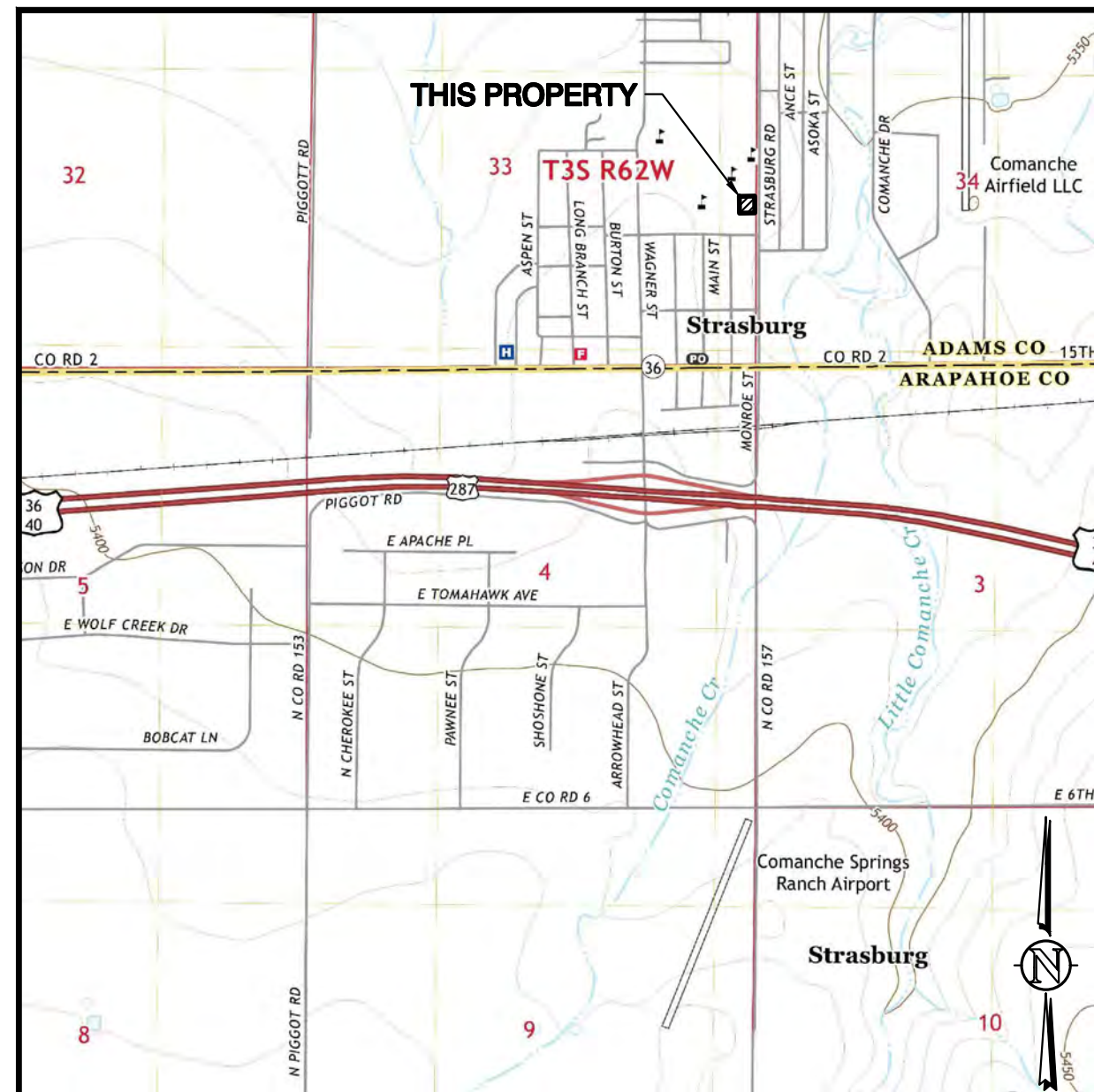
Fig 2 Existing conditions

Please contact me with any questions or comments you may have on our proposal for this project!

Sincerely,

Western Engineering Consultants inc., LLC
Chadwin F. Cox, P.E.
Senior Project Manager

Encl. Waiver from Minor Subdivision Standards submittal plans, and documents.



VICINITY MAP SCALE: 1" = 2,000'
 SE 1/4, S33, T3S, R62W, 6th P.M.
 SHOWN VICINITY MAP TAKEN FROM USGS QUAD MAP - STRASBURG 7.5 MIN

CIVIL SITE PLANS

Located in the Southeast 1/4 of Section 33,
 Township 3 South, Range 62 West of the 6th P.M.,
 County of Adams, State of Colorado

SITE CIVIL PLANS FOR:

1853 MONROE ST MINOR SUBDIVISION
1853 MONROE ST
STRASBURG, CO 80136

PREPARED FOR:

VICTOR JOSEPH
1853 MONROE ST
STRASBURG, CO 80136
(303)746-1914

APPROVED BY:

VICTOR JOSEPH

DATE

WESTERN ENGINEERING CONSULTANTS, INC. LLC
CHADWIN F. COX, P.E.

DATE

LEGAL DESCRIPTION

LEGAL DESCRIPTION PROVIDED BY: AMERICAN WEST LAND SURVEYING CO.

KNOW ALL MEN BY THESE PRESENTS THAT JOSEPH SUMIT, BEING THE OWNER OF THAT PART OF THE SOUTHEAST 1/4 OF SECTION 33, TOWNSHIP 3 SOUTH, RANGE 62 WEST OF THE 6TH PRINCIPAL MERIDIAN BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

ALL OF THAT PROPERTY DESCRIBED IN DEED RECORDED FEBRUARY 8, 2018 AS RECEPTION NO. 2018000011536 IN THE RECORDS OF THE CLERK AND RECORDER FOR ADAMS COUNTY, COLORADO;

CONSIDERING THE EAST LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 33 TO BEAR SOUTH 00°42'50" EAST, COINCIDENT WITH THE EAST LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 33, A DISTANCE OF 594.61 FEET; THENCE SOUTH 88°47'35" WEST, COINCIDENT WITH THE EASTERLY EXTENSION OF THE NORTH LINE OF SAID PARCEL, A DISTANCE OF 40.001 FEET TO THE WEST RIGHT-OF-WAY LINE OF MONROE STREET AS DESCRIBED IN DEED RECORDED NOVEMBER 13, 2006 AS RECEPTION NO. 2007000063927 IN THE RECORDS OF THE CLERK AND RECORDER FOR ADAMS COUNTY, COLORADO, AND THE TRUE POINT OF BEGINNING; THENCE CONTINUING SOUTH 88°47'35" WEST, COINCIDENT WITH THE WEST LINE OF SAID PARCEL; A DISTANCE OF 179.92 FEET TO THE NORTHWEST CORNER OF SAID PARCEL; THENCE SOUTH 00°42'19" EAST, COINCIDENT WITH THE WEST LINE OF SAID PARCEL, A DISTANCE OF 198.02 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL; THENCE NORTH 88°47'35" EAST, COINCIDENT WITH THE SOUTH LINE OF SAID PARCEL, A DISTANCE OF 179.95 FEET TO THE WEST RIGHT-OF-WAY LINE OF MONROE STREET; THENCE NORTH 00°42'50" WEST, COINCIDENT WITH SAID WEST RIGHT-OF-WAY LINE, A DISTANCE OF 198.02 FEET TO THE TRUE POINT OF BEGINNING.

SAID PARCEL CONTAINS 35,630 SQUARE FEET OR 0.82 ACRES, MORE OR LESS

HAS BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF THOMPSON MINOR SUBDIVISION, AND DO HEREBY GRANT TO THE COUNTY OF ADAMS, STATE OF COLORADO, FOR USE OF THE PUBLIC UTILITY, CABLE TV, AND DETENTION POND AREAS, FLOODWAY AND FLOODPLAIN LIMITS, DRAINAGE, AND OTHER PUBLIC PURPOSES AS DETERMINED BY THE COUNTY OF ADAMS.

BASIS OF BEARING & PROJECT BENCHMARK

BASIS OF BEARING: THE EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 33, TOWNSHIP 3 SOUTH, RANGE 62 WEST OF THE 6TH P.M., IN ADAMS COUNTY, COLORADO, IS ASSUMED TO BEAR SOUTH 00°42'50" EAST, BEING MONUMENTED ON THE NORTH END BY A 3/4" REBAR WITH 3 1/4" ALUMINUM CAP, PLS 38064 IN MONUMENT BOX, AND ON THE SOUTH END BY A 3/4" REBAR WITH 3 1/4" ALUMINUM CAP, PLS 12330 IN MONUMENT BOX, AND WITH ALL BEARINGS SHOWN HEREON RELATIVE THERETO.

PROJECT BENCHMARK: ELEVATIONS ARE BASED UPON STATIC GPS OBSERVATIONS POST PROCESSED THROUGH THE NATIONAL GEODETIC SURVEY'S ONLINE POSITIONING USER SERVICE (OPUS) AND ARE REPORTED IN NAVD 88 (GEOID 18).

REVISIONS SHEET INDEX:

REVISIONS	SHEET INDEX:
0 1 2	1 COVER SHEET
0 1 2	2 EXISTING CONDITIONS & DEMO PLAN
0 1 2	3 SITE PLAN
0 1 2	4 UTILITY & GRADING PLAN
1 2	5 INITIAL EROSION CONTROL PLAN
1 2	6 INTERIM EROSION CONTROL PLAN
1 2	7 FINAL EROSION CONTROL PLAN
1	8 EROSION CONTROL DETAILS
1	9 EROSION CONTROL DETAILS
1	10 EROSION CONTROL DETAILS
1	11 EROSION CONTROL DETAILS
1	12 EROSION CONTROL DETAILS
1	13 EROSION CONTROL DETAILS

0	INITIAL RELEASE	MARCH 24, 2022
1	REV PER COUNTY COMMENTS 04/20/22	MAY 27, 2022
2	REV PER COUNTY COMMENTS 05/17/22	NOVEMBER 21, 2023

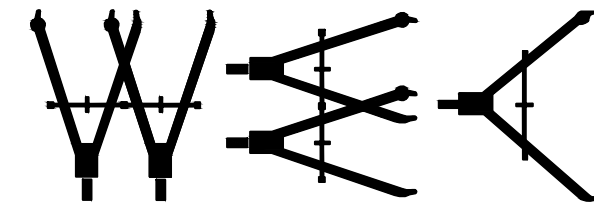


1-800-922-1987

Utility Notification
 Center of Colorado
 Administrative Office
 16361 Table Mountain Parkway Golden,
 Colorado 80403
 Office: 303-252-1987 Fax: 303-234-1112
 Toll-Free: 1-800-922-1987

CALL 2 BUSINESS DAYS IN ADVANCE
 BEFORE YOU DIG, GRADE, OR EXCAVATE
 FOR THE MARKING OF UNDERGROUND
 MEMBER UTILITIES.

PREPARED BY:



Western Engineering Consultants, Inc. LLC

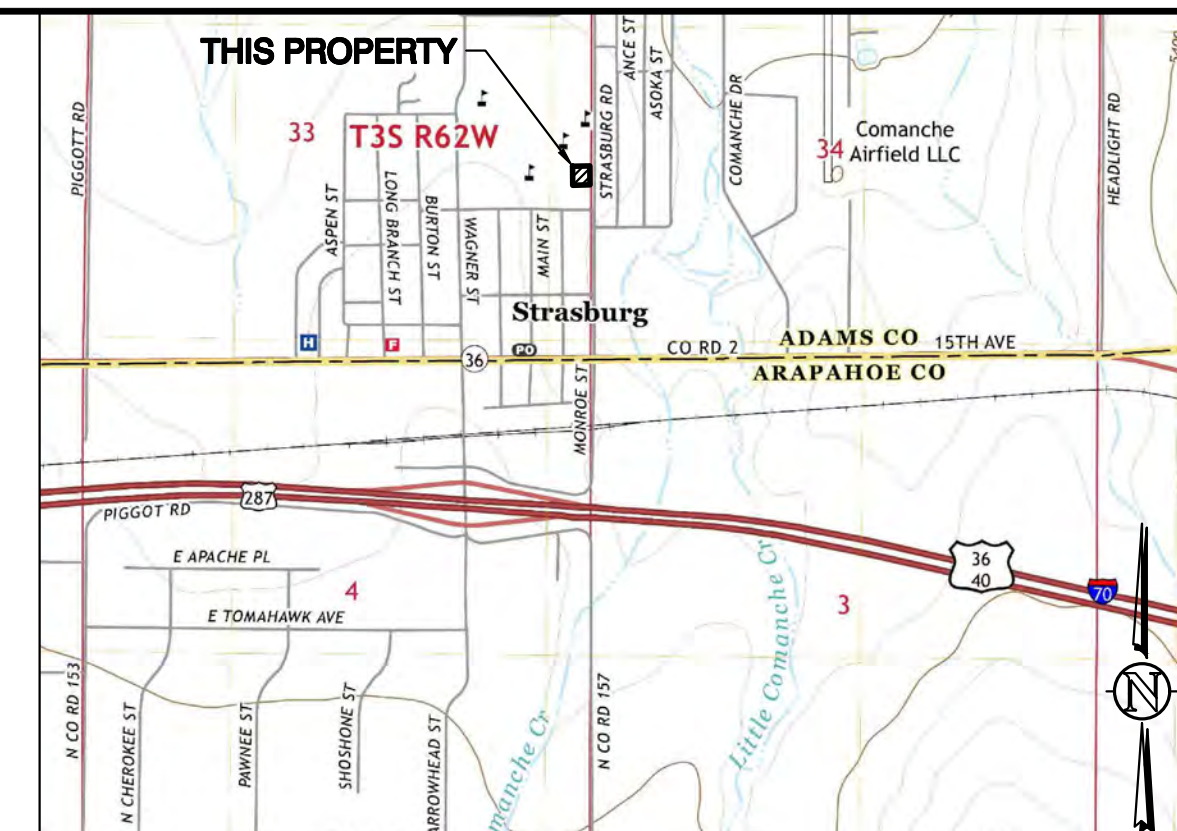
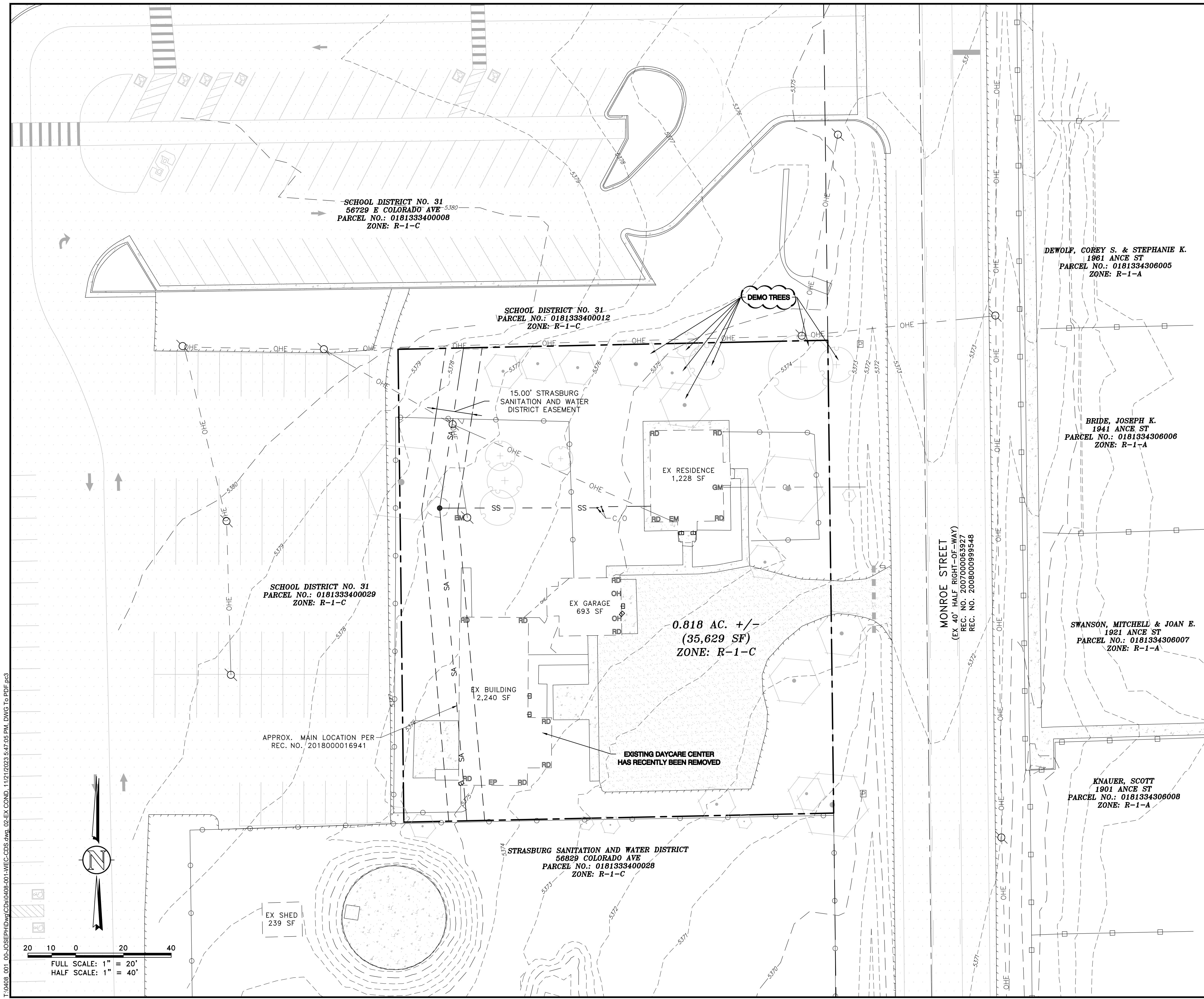
WESTERN ENGINEERING CONSULTANTS, INC. LLC

127 S. DENVER AVENUE, FORT LUPTON, CO 80621

720-685-9951 PH, 720-294-1330 FAX, email@westerneci.com

PROJECT NO: 01-0408.001.00
 INITIAL PLAN RELEASE: MARCH 24, 2022

SHEET: **1 of 13**



VICINITY MAP
 NE 1/4, SE 1/4, S33, T3S, R62W, 6th P.M.
 SHOWN VICINITY MAP TAKEN FROM USGS QUAD MAP - STRASBURG 7.5 MIN

127 S. DENVER AVE
 FT. LUTON, CO 80621
 www.westernci.com
 email@westernci.com
 (720) 885-8951
 FAX (720) 294-1330

DATE	BY	REVISION
10/29/22	CFC	INITIAL RELEASE
04/09/23	CFC	REV PER COUNTY COMMENTS
11/21/23	CFC	REV PER COUNTY COMMENTS

VICTOR JOSEPH
 CONTACT
 VICTOR JOSEPH
 1853 MONROE STREET
 STRASBURG, CO 80136
 victor@vjc.com

EXISTING CONDITIONS PLAN
EXISTING CONDITIONS PLAN
 1853 MONROE ST MINOR SUBDIVISION
 1853 MONROE STREET
 TOWN OF STRASBURG, ADAMS COUNTY, COLORADO

Dig Safely.
 CALL UNCC
 THREE WORKING DAYS
 BEFORE YOU DIG
 1-800-922-1987
 www.uncc.org
 UTILITY NOTIFICATION
 CENTER OF COLORADO

FOR REVIEW

ONLY VALID FOR CONSTRUCTION
 SCALE: AS SHOWN ON DRAWING
 & ON EACH SHEET

INITIAL PLAN
 RELEASE: 03/24/22
 DESIGNED BY: CFC
 DRAWN BY: CFC
 CHECKED BY: CFC

PROJECT NO.
 01-0408.001.00
 DOC CON #
 0002-EX COND
 SHEET
 02 OF 13

NOTES

THIS PLAN IS INTENDED AS THE EXISTING CONDITIONS PLAN FOR VICTOR JOSEPH MINOR SUBDIVISION.
 ALL IMPROVEMENTS ARE PROPOSED UNLESS NOTED AS EXISTING.
 IT IS THE OWNER AND/OR THE CONTRACTOR'S RESPONSIBILITY TO ATTAIN ALL APPROPRIATE PERMITS AND REVIEW APPROVALS FROM THE STATE OF COLORADO AND ADAMS COUNTY RESPECTIVELY.
 SEE COVER SHEET FOR BASIS OF BEARING & BENCHMARK.
 ANY REFERENCE TO EASEMENTS, SURVEY POINTS, OR EXISTING UTILITIES AND FEATURES ARE BASED SOLELY FROM SURVEY INFORMATION PROVIDED BY AMERICAN WEST LAND SURVEYING CO ON SURVEY, DATED JANUARY 25, 2022 AND AERIAL DRONE SURVEY BY WEC, DATED JANUARY 25, 2022 (HORIZONTAL & VERTICAL CONTROL PROVIDED BY AMERICAN WEST LAND SURVEYING CO).
 NOT ALL UNCC UTILITY LOCATES HAVE BEEN PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES ARE LOCATED AND SURVEY PROVIDED TO THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION DRAWING RELEASE.

SYMBOL LEGEND

41 45 DEG BEND	THRUST BLOCK TB
42 22.5 DEG BEND	GATE VALVE GV
43 RESTRAINED PLUG	CURB STOP
44 RESTRAINED TEE	PIPE CROSSING
45 WATER METER	MANHOLE
46 RESTRAINED CROSS	MANHOLE W/ FLOW DIRECTION
47 FIRE HYDRANT	RD ROOF DRAIN
48 RESTRAINED VALVE	EM ELECTRIC METER
49 UTILITY POLE	GM GAS METER
50 LIGHT POLE/BLDG LIGHT	OH OVERHEAD DOOR
51 EX TREES/SHRUBS	
52 EX ASPHALT MILLINGS	PROP ASPHALT MILLINGS
53 EXISTING CONC	PROPOSED CONC
54 EXISTING ASPHALT	PROPOSED ASPHALT

LINETYPE LEGEND

---	LOT / PROPERTY / SECTION LINE
---	RIGHT OF WAY LINE
---	EASEMENT
---	SETBACK
---	TO BE ABANDONED LOT LINE
---	EXISTING BUILDING, CURB
---	EDGE OF ASPHALT or GRAVEL RD
---	CHAINLINK FENCE
---	WIRE FENCE
---	POND WQ W/S
---	SWALE
---	EXISTING OVERHEAD ELEC
---	EXISTING ELECTRICAL LINE
---	EXISTING STORM LINE
---	EXISTING SANITARY LINE
---	EXISTING WATER LINE
---	EXISTING GAS LINE
---	EXISTING FIBER OPTIC LINE
---	EXISTING TELEPHONE LINE
---	PROPOSED SANITARY LINE
---	PROPOSED SANITARY SERVICE
---	PROPOSED STORM LINE
---	PROPOSED WATER LINE
---	PROPOSED WATER SERVICE
---	PROPOSED GAS LINE
---	PROPOSED ELECTRIC LINE
---	PROPOSED TELEPHONE LINE

T:\0408_001_00-JOSEPH.Dwg\CD\0408-001-MEC-CDS.dwg 05-EX COND. 11/21/2023 5:47:05 PM DWG To PDF.plt

20 10 0 20 40
 FULL SCALE: 1" = 20'
 HALF SCALE: 1" = 40'



SCHOOL DISTRICT NO. 31
56729 E COLORADO AVE
PARCEL NO.: 0181333400008
ZONE: R-1-C

SCHOOL DISTRICT NO. 31
1961 ANCE ST
PARCEL NO.: 01813343060012
ZONE: R-1-C

SCHOOL DISTRICT NO. 31
PARCEL NO.: 0181333400029
ZONE: R-1-C

0.818 AC +/-
(35,629 SF)
ZONE: R-1-C

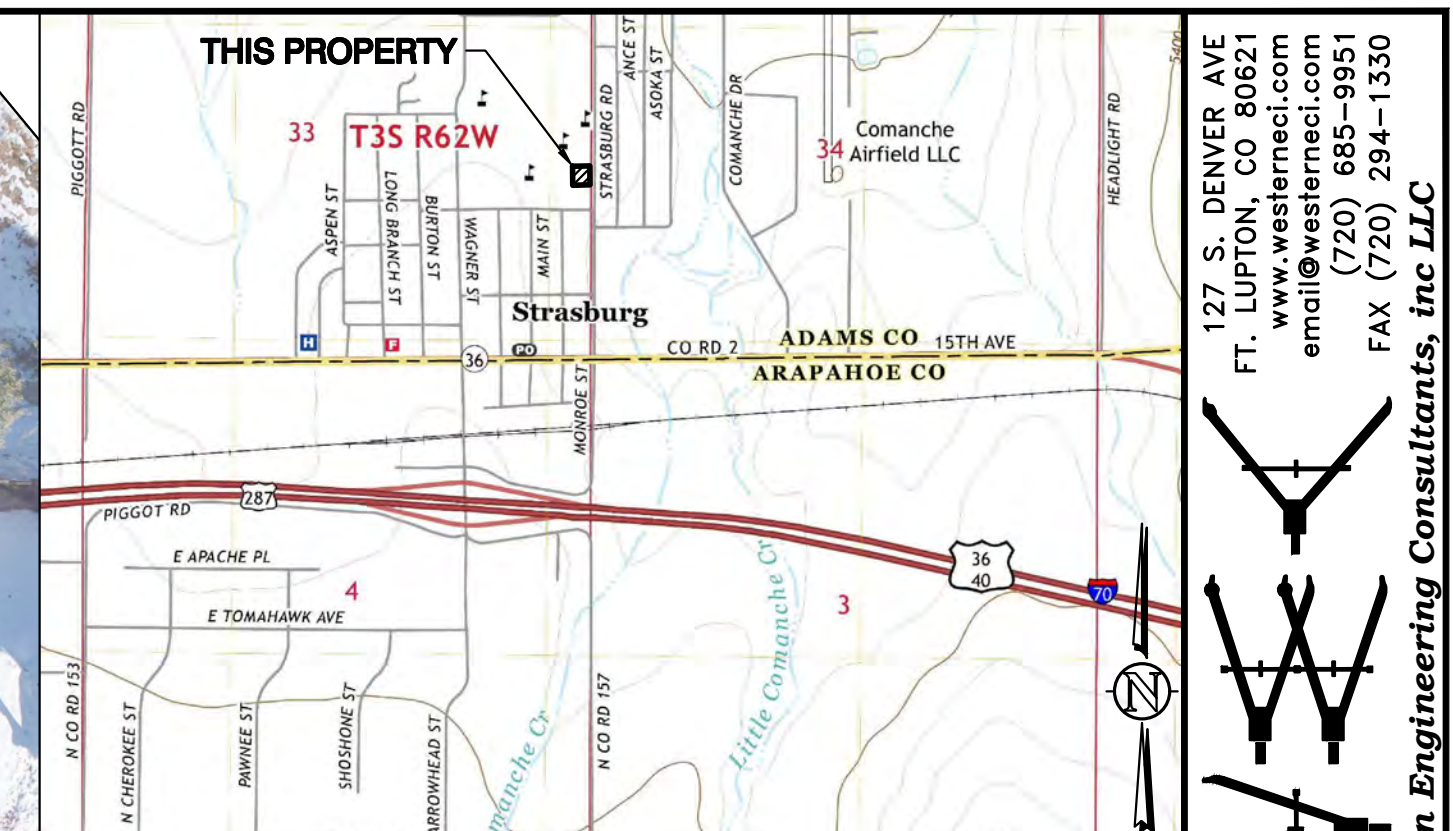
STRASBURG SANITATION AND WATER DISTRICT
56829 COLORADO AVE
PARCEL NO.: 0181333400028
ZONE: R-1-C

DEWOLF, COREY S. & STEPHANIE K.
1961 ANCE ST
PARCEL NO.: 01813343060005
ZONE: R-1-A

BRIDE, JOSEPH K.
1941 ANCE ST
PARCEL NO.: 01813343060006
ZONE: R-1-A

SWANSON, MITCHELL & JOAN E.
1921 ANCE ST
PARCEL NO.: 01813343060007
ZONE: R-1-A

KNAUER, SCOTT
1901 ANCE ST
PARCEL NO.: 01813343060008
ZONE: R-1-A



VICINITY MAP
NE 1/4, SE 1/4, S33, T3S, R62W, 6th P.M.
SHOWN VICINITY MAP TAKEN FROM USGS QUAD MAP - STRASBURG 7.5 MIN

NOTES

THIS PLAN IS INTENDED AS THE EXISTING CONDITIONS PLAN FOR VICTOR JOSEPH MINOR SUBDIVISION.
ALL IMPROVEMENTS ARE PROPOSED UNLESS NOTED AS EXISTING.
IT IS THE OWNER AND/OR THE CONTRACTOR'S RESPONSIBILITY TO ATTAIN ALL APPROPRIATE PERMITS AND REVIEW APPROVALS FROM THE STATE OF COLORADO AND ADAMS COUNTY RESPECTIVELY.
SEE COVER SHEET FOR BASIS OF BEARING & BENCHMARK.
ANY REFERENCE TO EASEMENTS, SURVEY POINTS, OR EXISTING UTILITIES AND FEATURES ARE BASED SOLELY FROM SURVEY INFORMATION PROVIDED BY AMERICAN WEST LAND SURVEYING CO ON SURVEY, DATED JANUARY 25, 2022 AND AERIAL DRONE SURVEY BY WEC, DATED JANUARY 25, 2022 (HORIZONTAL & VERTICAL CONTROL PROVIDED BY AMERICAN WEST LAND SURVEYING CO).
NOT ALL UNCC UTILITY LOCATES HAVE BEEN PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES ARE LOCATED AND SURVEY PROVIDED TO THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION DRAWING RELEASE.

SYMBOL LEGEND

41	45 DEG BEND	+	THRUST BLOCK	TB
42	22.5 DEG BEND	M	GATE VALVE	GV
43	RESTRAINED PLUG	•	CURB STOP	CV
44	RESTRAINED TEE	—	PIPE CROSSING	
45	WATER METER	○	MANHOLE	
46	RESTRAINED CROSS	○	MANHOLE W/ FLOW DIRECTION	
47	FIRE HYDRANT	RD	ROOF DRAIN	
48	RESTRAINED VALVE	EM	ELECTRIC METER	
49	UTILITY POLE	GM	GAS METER	
50	LIGHT POLE/BLDG LIGHT	OH	OVERHEAD DOOR	
51	EX TREES/SHRUBS			
	EX ASPHALT MILLINGS		PROP ASPHALT MILLINGS	
	EXISTING CONC		PROPOSED CONC	
	EXISTING ASPHALT		PROPOSED ASPHALT	

LINETYPE LEGEND

---	LOT / PROPERTY / SECTION LINE
---	RIGHT OF WAY LINE
---	EASEMENT
---	SETBACK
---	TO BE ABANDONED LOT LINE
---	EXISTING BUILDING, CURB
---	EDGE OF ASPHALT or GRAVEL RD
---	CHAINLINK FENCE
---	WIRE FENCE
---	POND WQ W/S
---	SWALE
---	EXISTING OVERHEAD ELEC
---	EXISTING ELECTRICAL LINE
---	EXISTING STORM LINE
---	EXISTING SANITARY LINE
---	EXISTING WATER LINE
---	EXISTING GAS LINE
---	EXISTING FIBER OPTIC LINE
---	EXISTING TELEPHONE LINE
---	PROPOSED SANITARY LINE
---	PROPOSED SANITARY SERVICE
---	PROPOSED STORM LINE
---	PROPOSED WATER LINE
---	PROPOSED WATER SERVICE
---	PROPOSED GAS LINE
---	PROPOSED ELECTRIC LINE
---	PROPOSED TELEPHONE LINE

127 S. DENVER AVE
FT. LUTON, CO 80621
www.westerneci.com
email@westerneci.com
(720) 885-8951
FAX (720) 294-1330

Western Engineering Consultants, Inc LLC

NO.	REVISION	DATE
0	INITIAL RELEASE	03/24/22
1	REV PER COUNTY COMMENTS	04/07/22
2	REV PER COUNTY COMMENTS	05/17/22
3		11/21/23

VICTOR JOSEPH
CONTACT: JOSEPH VICTOR
1853 MONROE STREET
STRASBURG, CO 80136
kurbob@westerneci.com

EX CONDITIONS W/ AERIAL
1853 MONROE ST MINOR SUBDIVISION
1853 MONROE STREET
TOWN OF STRASBURG, ADAMS COUNTY, COLORADO

Dig Safely.
CALL UNCC
THREE WORKING DAYS
BEFORE YOU DIG
1-800-922-1987
www.uncc.org
UTILITY NOTIFICATION
CENTER OF COLORADO

FOR REVIEW

ONLY VALID FOR CONSTRUCTION
SCALE & BEARING SHOWN
ON EACH SHEET

INITIAL PLAN
RELEASE: 03/24/22
DESIGNED BY: CFC
DRAWN BY: CFC
CHECKED BY: CFC

PROJECT NO.
01-0408.001.00
DOC CON #
002A-EXCOND02E
SHEET
02A OF 13

T:\0408_001_00-2A-EXCOND02E.dwg (2A-EX COND AE 11/21/2023 5:47:07 PM DWG to PDF) .pc3

DESCRIPTION	AREA	AREA (ac)	PERCENT %
EXISTING AREA	16,605 SF	0.38	
ROW DEDICATION	2,769 SF	0.06	
PROPOSED LOT 1	13,836 SF	0.32	100 %
EXISTING BUILDING	1,228 SF	0.03	8.88 %
PROPOSED BUILDING	625 SF	0.01	4.52 %
TOTAL BUILDINGS	1,853 SF	0.04	13.39 %
EXISTING CONCRETE	208 SF	0.00	1.50 %
EXISTING GRAVEL	0 SF	0.00	0.00 %
PROPOSED GRAVEL	500 SF	0.01	3.61 %
TOTAL GRAVEL	500 SF	0.01	3.61 %
EXISTING LANDSCAPE AREA	12,400 SF	0.28	89.62 %
PROPOSED LANDSCAPE AREA	11,275 SF	0.26	81.49 %
LOT COVERAGE	2,561 SF	0.06	18.51 %

DESCRIPTION	AREA	AREA (ac)	PERCENT %
EXISTING AREA	19,024 SF	0.44	
ROW DEDICATION	3,172 SF	0.07	
PROPOSED LOT 2	15,852 SF	0.36	100 %
EXISTING BUILDINGS	2,933 SF	0.07	18.50 %
REMOVED BUILDINGS	2,240 SF	0.05	14.13 %
REMAINING BUILDINGS	693 SF	0.02	4.37 %
EXISTING CONCRETE	1,241 SF	0.03	7.83 %
EXISTING GRAVEL	6,544 SF	0.15	41.28 %
EXISTING LANDSCAPE AREA	7,374 SF	0.17	46.52 %
LOT COVERAGE	8,478 SF	0.19	53.48 %

SCHOOL DISTRICT NO. 31
56729 E COLORADO AVE
PARCEL NO.: 0181333400008
ZONE: R-1-C

SCHOOL DISTRICT NO. 31
PARCEL NO.: 0181333400012
ZONE: R-1-C

SCHOOL DISTRICT NO. 31
PARCEL NO.: 0181333400029
ZONE: R-1-C

APPROX. MAIN LOCATION PER
REC. NO. 2018000016941

STRASBURG SANITATION AND WATER DISTRICT
56829 COLORADO AVE
PARCEL NO.: 0181333400028
ZONE: R-1-C

PROPERTY LINE	BUILDING SETBACK
PRIMARY FRONT	20.00'
PRIMARY REAR	15.00'
PRIMARY SIDE	5.00' ONE SIDE, 17.00' OTHER SIDE
ACCESSORY FRONT	20.00'
ACCESSORY REAR	5.00'
ACCESSORY SIDE	5.00'



VICINITY MAP SCALE 1" = 2,000'
NE 1/4, SE 1/4, S33, T3S, R62W, 6th P.M.
SHOWN VICINITY MAP TAKEN FROM USGS QUAD MAP - STRASBURG 7.5 MIN

DEWOLF, COREY S. & STEPHANIE K.
1961 ANCE ST
PARCEL NO.: 0181334306005
ZONE: R-1-A

BRIDE, JOSEPH K.
1941 ANCE ST
PARCEL NO.: 0181334306006
ZONE: R-1-A

SWANSON, MITCHELL & JOAN E.
1921 ANCE ST
PARCEL NO.: 0181334306007
ZONE: R-1-A

KNAUER, SCOTT
1901 ANCE ST
PARCEL NO.: 0181334306008
ZONE: R-1-A

NOTES

THIS PLAN IS INTENDED AS THE SITE PLAN FOR VICTOR JOSEPH MINOR SUBDIVISION.
ALL IMPROVEMENTS ARE PROPOSED UNLESS NOTED AS EXISTING.
IT IS THE OWNER AND/OR THE CONTRACTOR'S RESPONSIBILITY TO ATTAIN ALL APPROPRIATE PERMITS AND REVIEW APPROVALS FROM THE STATE OF COLORADO AND ADAMS COUNTY RESPECTIVELY.
SEE COVER SHEET FOR BASIS OF BEARING & BENCHMARK.
ANY REFERENCE TO EASEMENTS, SURVEY POINTS, OR EXISTING UTILITIES AND FEATURES ARE BASED SOLELY FROM SURVEY INFORMATION PROVIDED BY AMERICAN WEST LAND SURVEYING CO ON SURVEY, DATED JANUARY 25, 2022 AND AERIAL DRONE SURVEY BY WEC, DATED JANUARY 25, 2022 (HORIZONTAL & VERTICAL CONTROL PROVIDED BY AMERICAN WEST LAND SURVEYING CO).
NOT ALL UNCC UTILITY LOCATES HAVE BEEN PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES ARE LOCATED AND SURVEY PROVIDED TO THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION DRAWING RELEASE.

SYMBOL LEGEND

41 45 DEG BEND	THRUST BLOCK TB
42 22.5 DEG BEND	GATE VALVE GV
43 RESTRAINED PLUG	CURB STOP
44 RESTRAINED TEE	PIPE CROSSING
45 WATER METER	MANHOLE
46 RESTRAINED CROSS	MANHOLE W/ FLOW DIRECTION
47 FIRE HYDRANT	ROOF DRAIN
48 RESTRAINED VALVE	ELECTRIC METER
49 UTILITY POLE	GM GAS METER
50 LIGHT POLE/BLDG LIGHT	OH OVERHEAD DOOR
51 EX TREES/SHRUBS	
52 EX ASPHALT MILLINGS	PROP ASPHALT MILLINGS
53 EXISTING CONC	PROPOSED CONC
54 EXISTING ASPHALT	PROPOSED ASPHALT

LINETYPE LEGEND

---	LOT / PROPERTY / SECTION LINE
- - -	RIGHT OF WAY LINE
- · - · -	EASEMENT
- - - - -	SETBACK
- · - · - · -	TO BE ABANDONED LOT LINE
- - - - -	EXISTING BUILDING, CURB
- - - - -	EDGE OF ASPHALT or GRAVEL RD
- · - · - · -	CHAINLINK FENCE
- · - · - · -	WIRE FENCE
- · - · - · -	POND WQ W/S
- · - · - · -	SWALE
- · - · - · -	EXISTING OVERHEAD ELEC
- · - · - · -	EXISTING ELECTRICAL LINE
- · - · - · -	EXISTING STORM LINE
- · - · - · -	EXISTING SANITARY LINE
- · - · - · -	EXISTING WATER LINE
- · - · - · -	EXISTING GAS LINE
- · - · - · -	EXISTING FIBER OPTIC LINE
- · - · - · -	EXISTING TELEPHONE LINE
- · - · - · -	PROPOSED SANITARY LINE
- · - · - · -	PROPOSED SANITARY SERVICE
- · - · - · -	PROPOSED STORM LINE
- · - · - · -	PROPOSED WATER LINE
- · - · - · -	PROPOSED WATER SERVICE
- · - · - · -	PROPOSED GAS LINE
- · - · - · -	PROPOSED ELECTRIC LINE
- · - · - · -	PROPOSED TELEPHONE LINE

127 S. DENVER AVE
FT. LUTON, CO 80621
www.westernci.com
email@westernci.com
(720) 885-8951
FAX (720) 294-1330
Western Engineering Consultants, Inc LLC

NO.	REVISION	DATE	BY
1	INITIAL RELEASE	03/24/22	CFC
2	REV. PER. CO. COMMENTS	04/07/22	CFC
3	REV. PER. COUNTY COMMENTS	06/17/22	CFC
4			

VICTOR JOSEPH
CONTACT: VICTOR JOSEPH
1853 MONROE STREET
STRASBURG, CO 80136
kurbob@attmail.com

SITE PLAN
1853 MONROE ST MINOR SUBDIVISION
1853 MONROE STREET
TOWN OF STRASBURG, ADAMS COUNTY, COLORADO

Dig Safely.
CALL UNCC
THREE WORKING DAYS
BEFORE YOU DIG
1-800-922-1987
www.uncc.org
UTILITY NOTIFICATION
CENTER OF COLORADO
FOR REVIEW
ONLY VALID FOR CONSTRUCTION
SCALE: AS SHOWN, STRUCTURE
SCALE: AS SHOWN, SITE
INITIAL PLAN
RELEASE: 03/24/22
DESIGNED BY: CFC
DRAWN BY: CFC
CHECKED BY: CFC
PROJECT NO.
01-0408.001.00
DOC CON #
0003-SITE
SHEET
03 OF 13

T:\0408_001_00-JOSEPH.Dwg\CD\0408-001-WEC-CDS.dwg 05-SITE-11/21/2023 5:47:11 PM DWG To PDF.pc3

DESCRIPTION	AREA	AREA (ac)	PERCENT %
EXISTING AREA	16,605 SF	0.38	
ROW DEDICATION	2,769 SF	0.06	
PROPOSED LOT 1	13,836 SF	0.32	100 %
EXISTING BUILDING	1,228 SF	0.03	8.88 %
PROPOSED BUILDING	625 SF	0.01	4.52 %
TOTAL BUILDINGS	1,853 SF	0.04	13.39 %
EXISTING CONCRETE	208 SF	0.00	1.50 %
EXISTING GRAVEL	0 SF	0.00	0.00 %
PROPOSED GRAVEL	500 SF	0.01	3.61 %
TOTAL GRAVEL	500 SF	0.01	3.61 %
EXISTING LANDSCAPE AREA	12,400 SF	0.28	89.62 %
PROPOSED LANDSCAPE AREA	11,275 SF	0.26	81.49 %
LOT COVERAGE	2,561 SF	0.06	18.51 %

DESCRIPTION	AREA	AREA (ac)	PERCENT %
EXISTING AREA	19,024 SF	0.44	
ROW DEDICATION	3,172 SF	0.07	
PROPOSED LOT 2	15,852 SF	0.36	100 %
EXISTING BUILDINGS	2,933 SF	0.07	18.50 %
REMOVED BUILDINGS	2,240 SF	0.05	14.13 %
REMAINING BUILDINGS	693 SF	0.02	4.37 %
EXISTING CONCRETE	1,241 SF	0.03	7.83 %
EXISTING GRAVEL	6,544 SF	0.15	41.28 %
EXISTING LANDSCAPE AREA	7,374 SF	0.17	46.52 %
LOT COVERAGE	8,478 SF	0.19	53.48 %

SCHOOL DISTRICT NO. 31
56729 E COLORADO AVE
PARCEL NO.: 0181333400008
ZONE: R-1-C

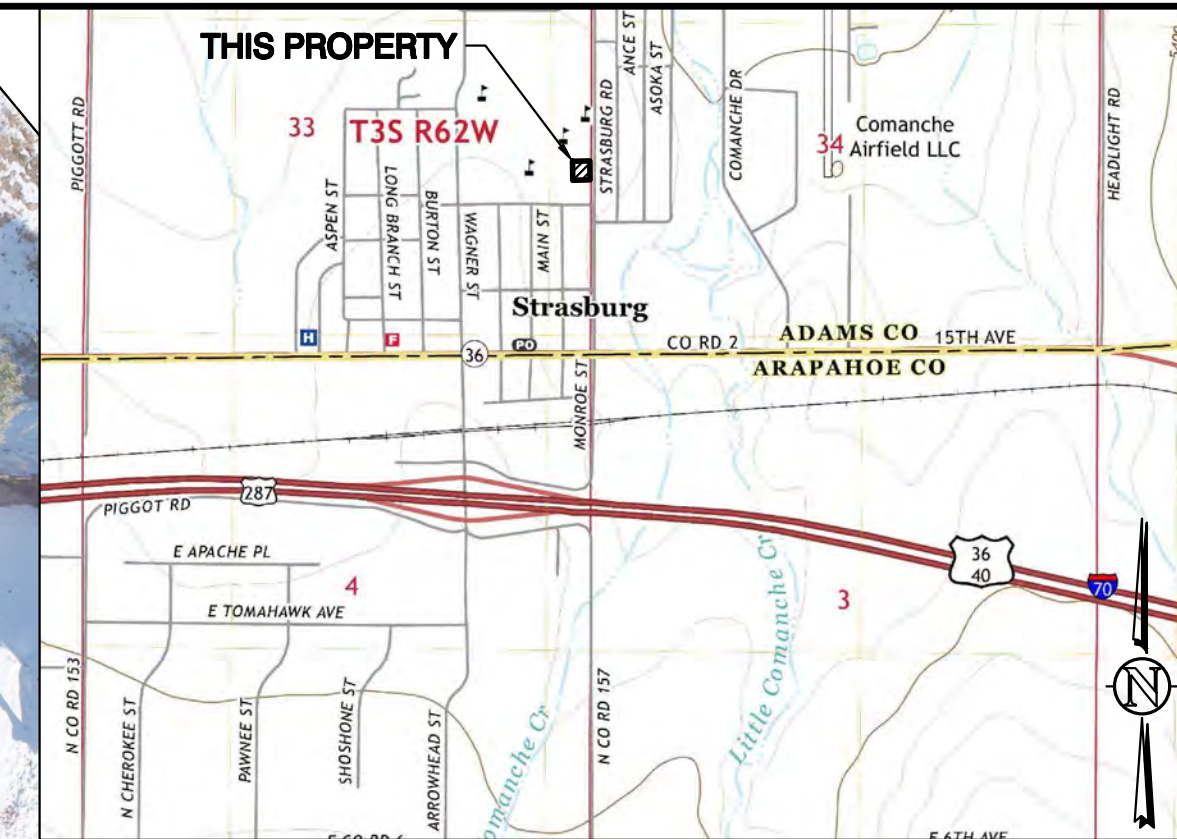
SCHOOL DISTRICT NO. 31
PARCEL NO.: 0181333400012
ZONE: R-1-C

SCHOOL DISTRICT NO. 31
PARCEL NO.: 0181333400029
ZONE: R-1-C

APPROX. MAIN LOCATION PER
REC. NO. 2018000016941

STRASBURG SANITATION AND WATER DISTRICT
56829 COLORADO AVE
PARCEL NO.: 0181333400028
ZONE: R-1-C

PROPERTY LINE	BUILDING SETBACK
PRIMARY FRONT	20.00'
PRIMARY REAR	15.00'
PRIMARY SIDE	5.00' ONE SIDE, 17.00' OTHER SIDE
ACCESSORY FRONT	20.00'
ACCESSORY REAR	5.00'
ACCESSORY SIDE	5.00'



VICINITY MAP
NE 1/4, SE 1/4, S33, T3S, R62W, 6th P.M.
SHOWN VICINITY MAP TAKEN FROM USGS QUAD MAP - STRASBURG 7.5 MIN

Western Engineering Consultants, Inc LLC
127 S. DENVER AVE
FT. LUTON, CO 80621
www.westerneci.com
email@westerneci.com
(720) 885-8951
FAX (720) 294-1330

DEWOLF, COREY S. & STEPHANIE K.
1961 ANCE ST
PARCEL NO.: 0181334306005
ZONE: R-1-A

BRIDE, JOSEPH K.
1941 ANCE ST
PARCEL NO.: 0181334306006
ZONE: R-1-A

SWANSON, MITCHELL & JOAN E.
1921 ANCE ST
PARCEL NO.: 0181334306007
ZONE: R-1-A

KNAUER, SCOTT
1901 ANCE ST
PARCEL NO.: 0181334306008
ZONE: R-1-A

NOTES

THIS PLAN IS INTENDED AS THE SITE PLAN FOR VICTOR JOSEPH MINOR SUBDIVISION.
ALL IMPROVEMENTS ARE PROPOSED UNLESS NOTED AS EXISTING.
IT IS THE OWNER AND/OR THE CONTRACTOR'S RESPONSIBILITY TO ATTAIN ALL APPROPRIATE PERMITS AND REVIEW APPROVALS FROM THE STATE OF COLORADO AND ADAMS COUNTY RESPECTIVELY.
SEE COVER SHEET FOR BASIS OF BEARING & BENCHMARK.
ANY REFERENCE TO EASEMENTS, SURVEY POINTS, OR EXISTING UTILITIES AND FEATURES ARE BASED SOLELY FROM SURVEY INFORMATION PROVIDED BY AMERICAN WEST LAND SURVEYING CO ON SURVEY, DATED JANUARY 25, 2022 AND AERIAL DRONE SURVEY BY WEC, DATED JANUARY 25, 2022 (HORIZONTAL & VERTICAL CONTROL PROVIDED BY AMERICAN WEST LAND SURVEYING CO).
NOT ALL UNCC UTILITY LOCATES HAVE BEEN PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES ARE LOCATED AND SURVEY PROVIDED TO THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION DRAWING RELEASE.

SYMBOL LEGEND

- 45 DEG BEND
- 22.5 DEG BEND
- RESTRAINED PLUG
- RESTRAINED TEE
- WATER METER
- RESTRAINED CROSS
- FIRE HYDRANT
- RESTRAINED VALVE
- UTILITY POLE
- LIGHT POLE/BLDG LIGHT
- EX TREES/SHRUBS
- THRUST BLOCK TB
- GATE VALVE GV
- CURB STOP
- PIPE CROSSING
- MANHOLE
- MANHOLE W/ FLOW DIRECTION
- ROOF DRAIN
- ELECTRIC METER
- GAS METER
- OVERHEAD DOOR
- EX ASPHALT MILLINGS
- EXISTING CONC
- EXISTING ASPHALT
- PROP ASPHALT MILLINGS
- PROPOSED CONC
- PROPOSED ASPHALT

LINETYPE LEGEND

- LOT / PROPERTY / SECTION LINE
- RIGHT OF WAY LINE
- EASEMENT
- SETBACK
- TO BE ABANDONED LOT LINE
- EXISTING BUILDING, CURB
- EDGE OF ASPHALT or GRAVEL RD
- CHAINLINK FENCE
- WIRE FENCE
- POND WQ W/S
- SWALE
- EXISTING OVERHEAD ELEC
- EXISTING ELECTRICAL LINE
- EXISTING STORM LINE
- EXISTING SANITARY LINE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING FIBER OPTIC LINE
- EXISTING TELEPHONE LINE
- PROPOSED SANITARY LINE
- PROPOSED SANITARY SERVICE
- PROPOSED STORM LINE
- PROPOSED WATER LINE
- PROPOSED WATER SERVICE
- PROPOSED GAS LINE
- PROPOSED ELECTRIC LINE
- PROPOSED TELEPHONE LINE

NO.	REVISION	DATE	BY	CHK.
0	INITIAL RELEASE	04/09/23		CFC
1	REV PER COUNTY COMMENTS	06/17/23		CFC
2	REV PER COUNTY COMMENTS	06/17/23		CFC

VICTOR JOSEPH
CONTACT
VICTOR JOSEPH
1853 MONROE STREET
STRASBURG, CO 80136
kurbob@westerneci.com

Dig Safely.
CALL UNCC
THREE WORKING DAYS
BEFORE YOU DIG
1-800-922-1987
www.uncc.org
UTILITY NOTIFICATION
CENTER OF COLORADO

FOR REVIEW

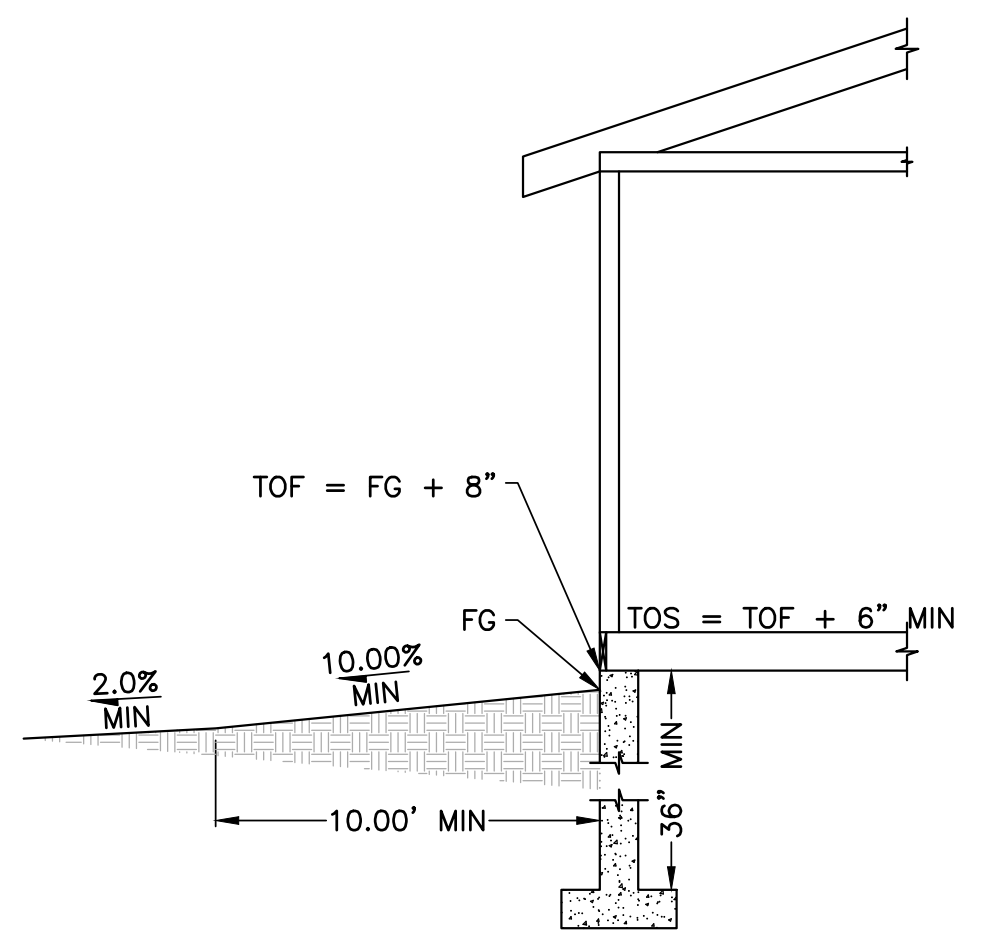
ONLY VALID FOR CONSTRUCTION
SCALE & BEARING SHOWN
ON EACH SHEET

INITIAL PLAN
RELEASE: 03/24/23
DESIGNED BY: CFC
DRAWN BY: CFC
CHECKED BY: CFC

PROJECT NO.
01-0408.001.00
DOC CON #
003A-SITE AE
SHEET
03A OF 13

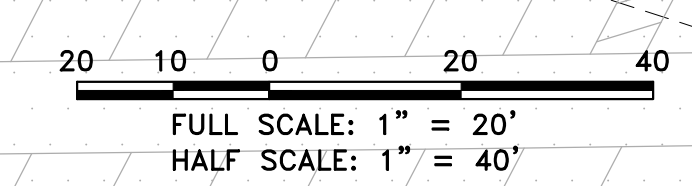
T:\0408_001_00-JOSEPH\DWG\CDS\0408-001-WEC-CDS.dwg 03A-SITE AE 11/21/2023 5:47:12 PM DWG To PDF.ppt3

T:\0408_001_00-JOSEPH.Dwg\CD\0408-001-MEC-CDS.dwg 04-UTIL GRD. 11/21/2023 5:47:16 PM DWG To PDF.pc3



TYPICAL BUILDING SIDE ELEVATION DETAIL
SCALE 1" = 5'

ALL SHOWN UTILITIES ARE EXISTING - NONE PROPOSED OTHER THAN CULVERT



SCHOOL DISTRICT NO. 31
56729 E COLORADO AVE
PARCEL NO.: 0181333400008
ZONE: R-1-C

SCHOOL DISTRICT NO. 31
PARCEL NO.: 0181333400012
ZONE: R-1-C

SCHOOL DISTRICT NO. 31
PARCEL NO.: 0181333400029
ZONE: R-1-C

APPROX. MAIN LOCATION PER
REC. NO. 2018000016941

STRASBURG SANITATION AND WATER DISTRICT
56829 COLORADO AVE
PARCEL NO.: 0181333400028
ZONE: R-1-C

DEWOLF, COREY S. & STEPHANIE K.
1961 ANCE ST
PARCEL NO.: 0181334306005
ZONE: R-1-A

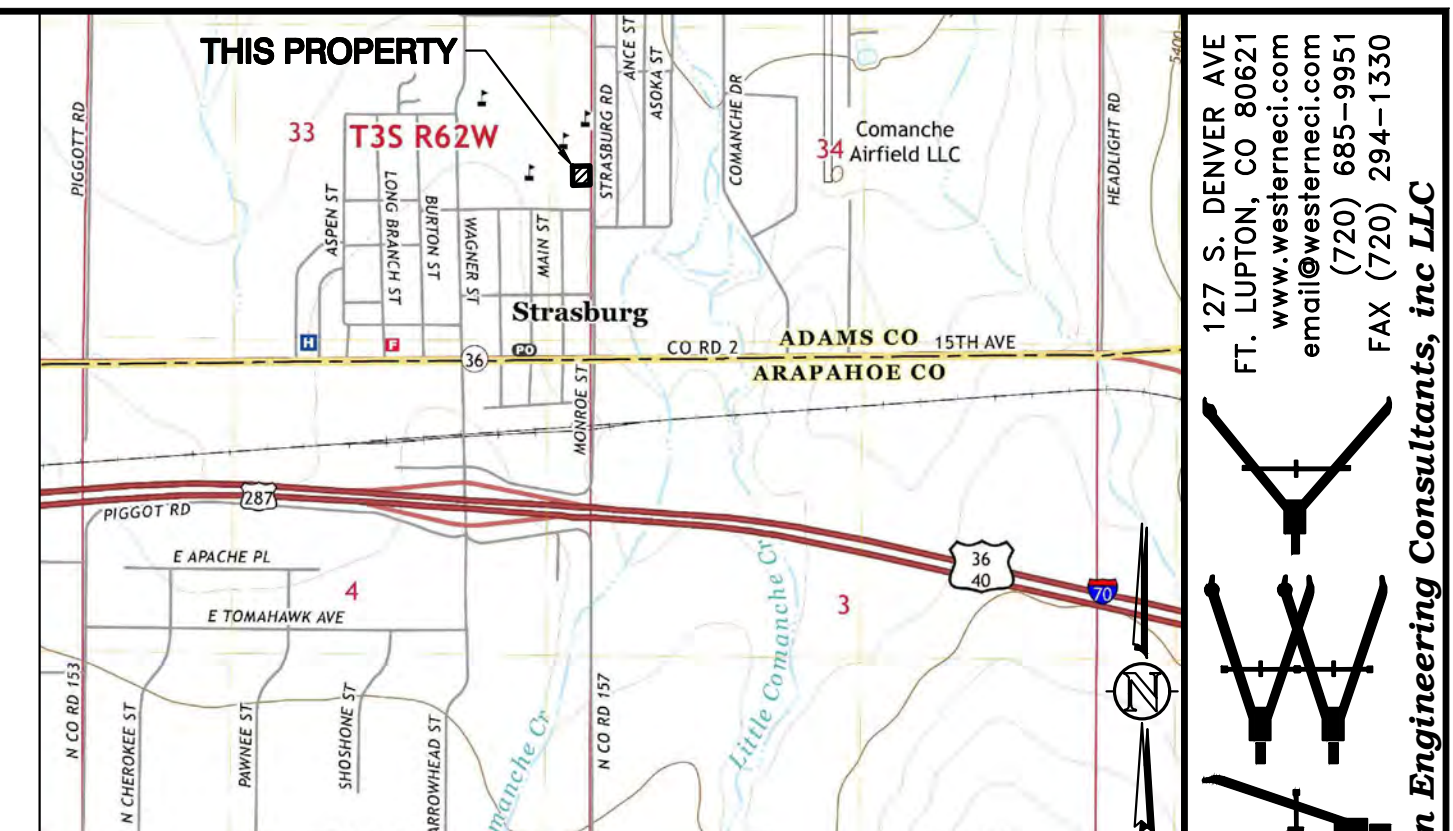
BRIDE, JOSEPH K.
1941 ANCE ST
PARCEL NO.: 0181334306006
ZONE: R-1-A

SWANSON, MITCHELL & JOAN E.
1921 ANCE ST
PARCEL NO.: 0181334306007
ZONE: R-1-A

KNAUER, SCOTT
1901 ANCE ST
PARCEL NO.: 0181334306008
ZONE: R-1-A

MONROE STREET
(EX. 40' HALF RIGHT-OF-WAY)
REC. NO. 2007000063927
REC. NO. 2008000099548

GRADING LEGEND table with columns for EXISTING and PROPOSED contours, spot elevations, slopes, and various symbols for finish grade, back of walk, edge of walk, edge of gravel, existing grade, flowline, high point, top of wall, edge of concrete, finish floor, match existing, and accessible parking.



VICINITY MAP
NE 1/4, SE 1/4, S33, T3S, R62W, 6th P.M.
SHOWN VICINITY MAP TAKEN FROM USGS QUAD MAP - STRASBURG 7.5 MIN

Western Engineering Consultants, Inc LLC
127 S. DENVER AVE
FT. LUTON, CO 80621
www.westerneci.com
email@westerneci.com
(720) 885-8951
FAX (720) 294-1330

NOTES

THIS PLAN IS INTENDED AS THE UTILITY & GRADING PLAN FOR VICTOR JOSEPH MINOR SUBDIVISION.
ALL IMPROVEMENTS ARE PROPOSED UNLESS NOTED AS EXISTING.
IT IS THE OWNER AND/OR THE CONTRACTOR'S RESPONSIBILITY TO ATTAIN ALL APPROPRIATE PERMITS AND REVIEW APPROVALS FROM THE STATE OF COLORADO AND ADAMS COUNTY RESPECTIVELY.
SEE COVER SHEET FOR BASIS OF BEARING & BENCHMARK.
ANY REFERENCE TO EASEMENTS, SURVEY POINTS, OR EXISTING UTILITIES AND FEATURES ARE BASED SOLELY FROM SURVEY INFORMATION PROVIDED BY AMERICAN WEST LAND SURVEYING CO ON SURVEY, DATED JANUARY 25, 2022 AND AERIAL DRONE SURVEY BY WEC, DATED JANUARY 25, 2022 (HORIZONTAL & VERTICAL CONTROL PROVIDED BY AMERICAN WEST LAND SURVEYING CO).
NOT ALL UNCC UTILITY LOCATES HAVE BEEN PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES ARE LOCATED AND SURVEY PROVIDED TO THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION DRAWING RELEASE.

SYMBOL LEGEND

SYMBOL LEGEND table listing symbols for various features like 45 DEG BEND, 22.5 DEG BEND, RESTRAINED PLUG, RESTRAINED TEE, WATER METER, RESTRAINED CROSS, FIRE HYDRANT, RESTRAINED VALVE, UTILITY POLE, LIGHT POLE/BLDG LIGHT, EX TREES/SHRUBS, THRUST BLOCK, GATE VALVE, CURB STOP, PIPE CROSSING, MANHOLE, MANHOLE W/ FLOW DIRECTION, ROOF DRAIN, ELECTRIC METER, GAS METER, OVERHEAD DOOR, EX ASPHALT MILLINGS, PROP ASPHALT MILLINGS, EXISTING CONC, PROPOSED CONC, EXISTING ASPHALT, PROPOSED ASPHALT.

LINETYPE LEGEND

LINETYPE LEGEND table listing line styles for LOT / PROPERTY / SECTION LINE, RIGHT OF WAY LINE, EASEMENT, SETBACK, TO BE ABANDONED LOT LINE, EXISTING BUILDING, CURB EDGE OF ASPHALT or GRAVEL RD, CHAINLINK FENCE, WIRE FENCE, POND WQ W/S, SWALE, EXISTING OVERHEAD ELEC, EXISTING ELECTRICAL LINE, EXISTING STORM LINE, EXISTING SANITARY LINE, EXISTING WATER LINE, EXISTING GAS LINE, EXISTING FIBER OPTIC LINE, EXISTING TELEPHONE LINE, PROPOSED SANITARY LINE, PROPOSED SANITARY SERVICE, PROPOSED STORM LINE, PROPOSED WATER LINE, PROPOSED WATER SERVICE, PROPOSED GAS LINE, PROPOSED ELECTRICAL LINE, PROPOSED TELEPHONE LINE.

Revision table with columns for NO., DATE, BY, and DESCRIPTION.

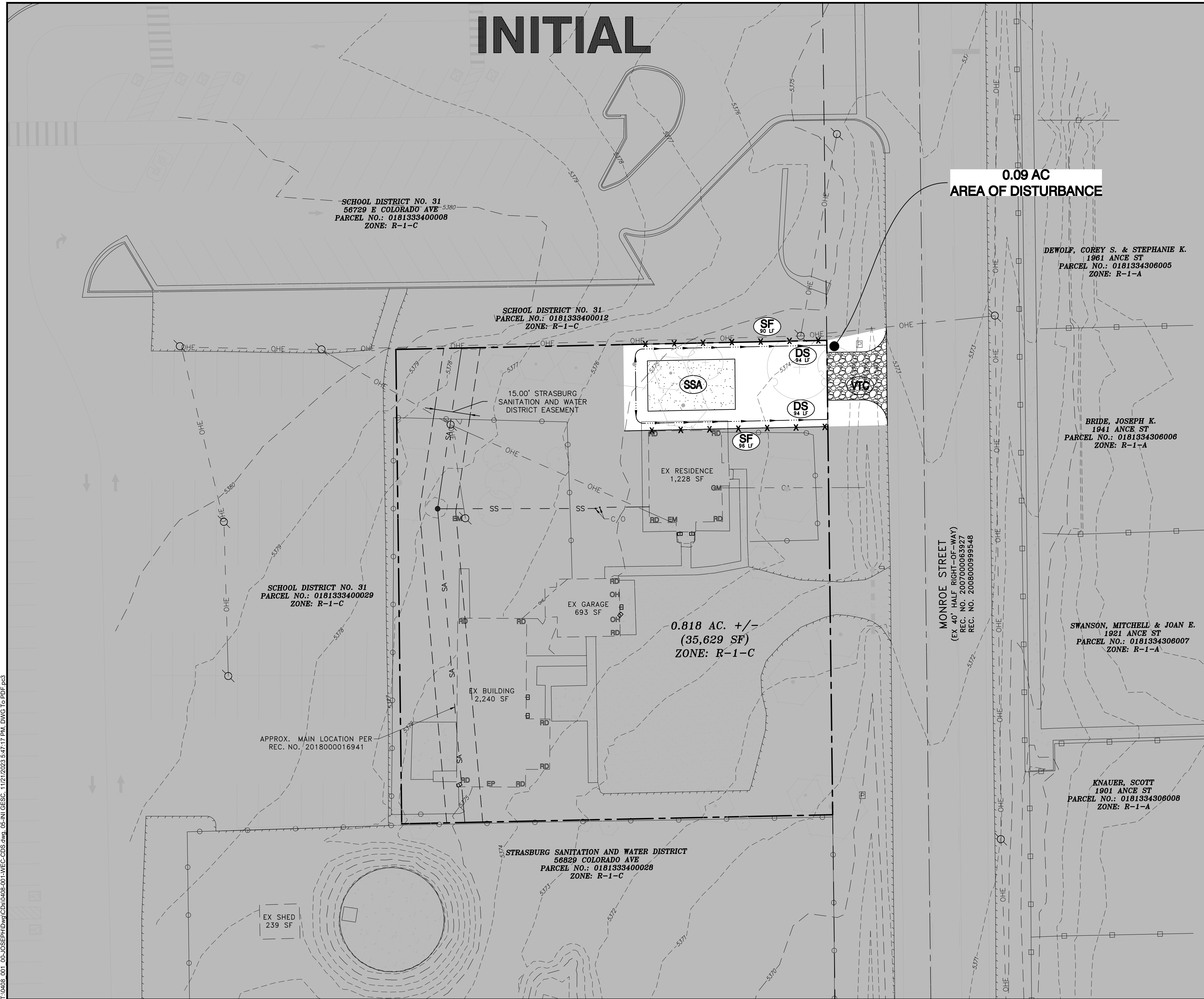
VICTOR JOSEPH
CONTACT: JOSEPH VICTOR
1853 MONROE STREET
STRASBURG, CO 80136
kurt@wjec.com

UTILITY & GRADING PLAN
1853 MONROE ST MINOR SUBDIVISION
1853 MONROE STREET
TOWN OF STRASBURG, ADAMS COUNTY, COLORADO

Dig Safely.
CALL UNCC
THREE WORKING DAYS
BEFORE YOU DIG
1-800-922-1987
www.uncc.org
UTILITY NOTIFICATION
CENTER OF COLORADO

FOR REVIEW
ONLY VALID FOR CONSTRUCTION
IF WORKING WITH UNCC
INITIAL PLAN
RELEASE: 03/24/22
DESIGNED BY: CFC
DRAWN BY: CFC
CHECKED BY: CFC
PROJECT NO.
01-0408.001.00
DOC CON #
0004-UTIL GRD
SHEET
04 OF 13

INITIAL



SCHOOL DISTRICT NO. 31
56729 E COLORADO AVE
PARCEL NO.: 0181333400008
ZONE: R-1-C

SCHOOL DISTRICT NO. 31
PARCEL NO.: 0181333400012
ZONE: R-1-C

SCHOOL DISTRICT NO. 31
PARCEL NO.: 0181333400029
ZONE: R-1-C

0.818 AC. +/-
(35,629 SF)
ZONE: R-1-C

0.09 AC
AREA OF DISTURBANCE

DEWOLF, COREY S. & STEPHANIE K.
1941 ANCE ST
PARCEL NO.: 0181334306005
ZONE: R-1-A

BRIDE, JOSEPH K.
1941 ANCE ST
PARCEL NO.: 0181334306006
ZONE: R-1-A

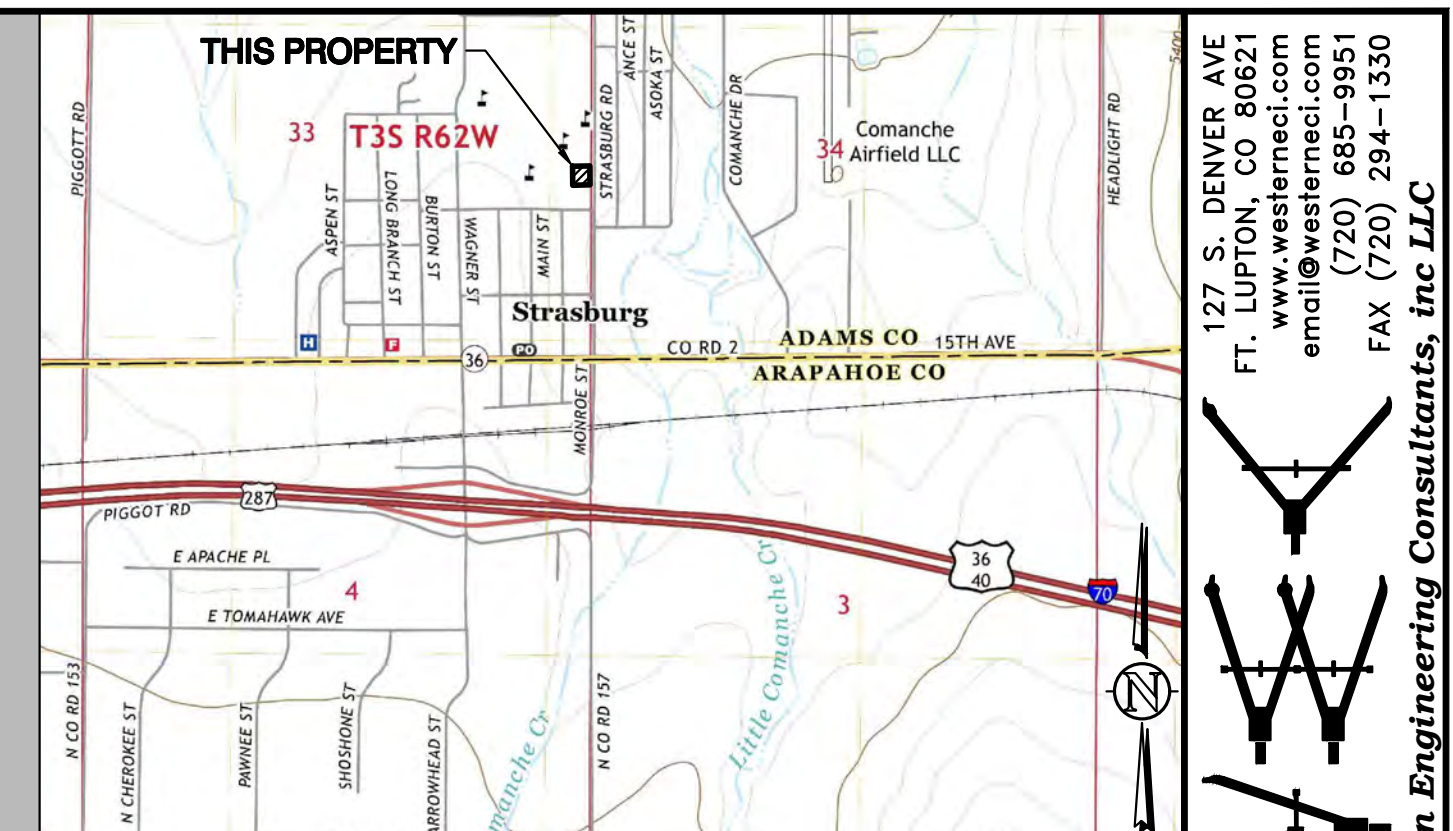
SWANSON, MITCHELL & JOAN E.
1921 ANCE ST
PARCEL NO.: 0181334306007
ZONE: R-1-A

KNAUER, SCOTT
1901 ANCE ST
PARCEL NO.: 0181334306008
ZONE: R-1-A

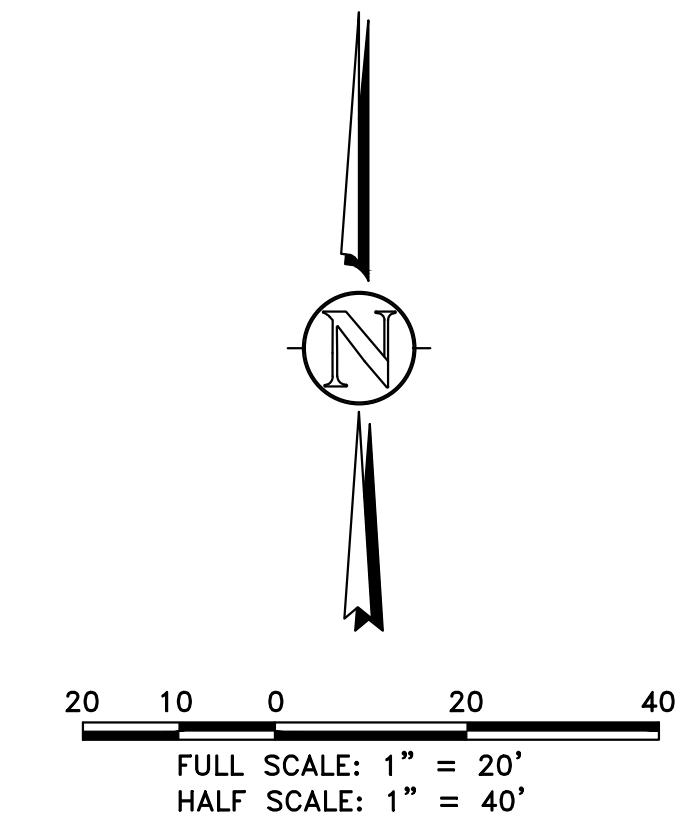
STRASBURG SANITATION AND WATER DISTRICT
56829 COLORADO AVE
PARCEL NO.: 0181333400028
ZONE: R-1-C

APPROX. MAIN LOCATION PER
REC. NO. 2018000016941

MONROE STREET
(EX. 40' HALF RIGHT-OF-WAY)
REC. NO. 2007000063927
REC. NO. 20080000999548



VICINITY MAP
NE 1/4, SE 1/4, S33, T3S, R62W, 6th P.M.
SHOWN VICINITY MAP TAKEN FROM USGS QUAD MAP - STRASBURG 7.5 MIN
SCALE 1" = 2,000'



BMP LEGEND	
	CWA CONCRETE WASHOUT AREA
	CF CONSTRUCTION FENCE
	CM CONSTRUCTION MARKER
	CIP CULVERT INLET PROTECTION
	DC WIND EROSION & DUST CONTROL
	DS DRAINAGE SWALE
	GH GOOD HOUSEKEEPING PRACTICE
	IP INLET PROTECTION
	PS PERMANENT SEEDING
	RS ROCK SOCK
	SB SEDIMENT BASIN
	SCL SEDIMENT CONTROL LOG
	SF SILT FENCE
	SM STOCKPILE MANAGEMENT
	SS STREET SWEEPING VACUUMING
	SSA STABILIZED STAGING AREA
	AP AGGREGATE (NON-SOIL) PILE
	TOP TEMPORARY OUTLET PROTECTION
	ECB EROSION CONTROL BLANKET
	VTC VEHICLE TRACKING CONTROL

127 S. DENVER AVE
FT. LUTON, CO 80621
www.westerneci.com
email@westerneci.com
(720) 885-8951
FAX (720) 294-1330

NO.	REVISION	DATE	BY	CHK.
1	REV. PER COUNTY COMMENTS 04/20/22	05/27/22	CFC	
2	REV. PER COUNTY COMMENTS 05/07/22	11/27/22	LFC	

VICTOR JOSEPH
CONTACT
VICTOR JOSEPH
1853 MONROE STREET
STRASBURG, CO 80136
victor@westerneci.com

INITIAL EROSION CONTROL PLAN
1853 MONROE ST MINOR SUBDIVISION
1853 MONROE STREET
TOWN OF STRASBURG, ADAMS COUNTY, COLORADO

Dig Safely.
CALL UNCC
THREE WORKING DAYS
BEFORE YOU DIG
1-800-922-1987
www.uncc.org
UTILITY NOTIFICATION
CENTER OF COLORADO

FOR REVIEW

ONLY VALID FOR CONSTRUCTION
IF SALES & WORKING STRUCTURE
ARE ON EACH SHEET

INITIAL PLAN
RELEASE: 05/27/22
DESIGNED BY: CFC
DRAWN BY: CFC
CHECKED BY: CFC

PROJECT NO.
01-0408.001.00
DOC CON #
0005-INI GESC

SHEET
05 OF 13

ALL SHOWN UTILITIES ARE
EXISTING - NONE PROPOSED
OTHER THAN CULVERT

INTERIM

0.09 AC
AREA OF DISTURBANCE

SCHOOL DISTRICT NO. 31
56729 E COLORADO AVE
PARCEL NO.: 0181333400008
ZONE: R-1-C

SCHOOL DISTRICT NO. 31
PARCEL NO.: 0181333400012
ZONE: R-1-C

SCHOOL DISTRICT NO. 31
PARCEL NO.: 0181333400029
ZONE: R-1-C

APPROX. MAIN LOCATION PER
REC. NO. 2018000016941

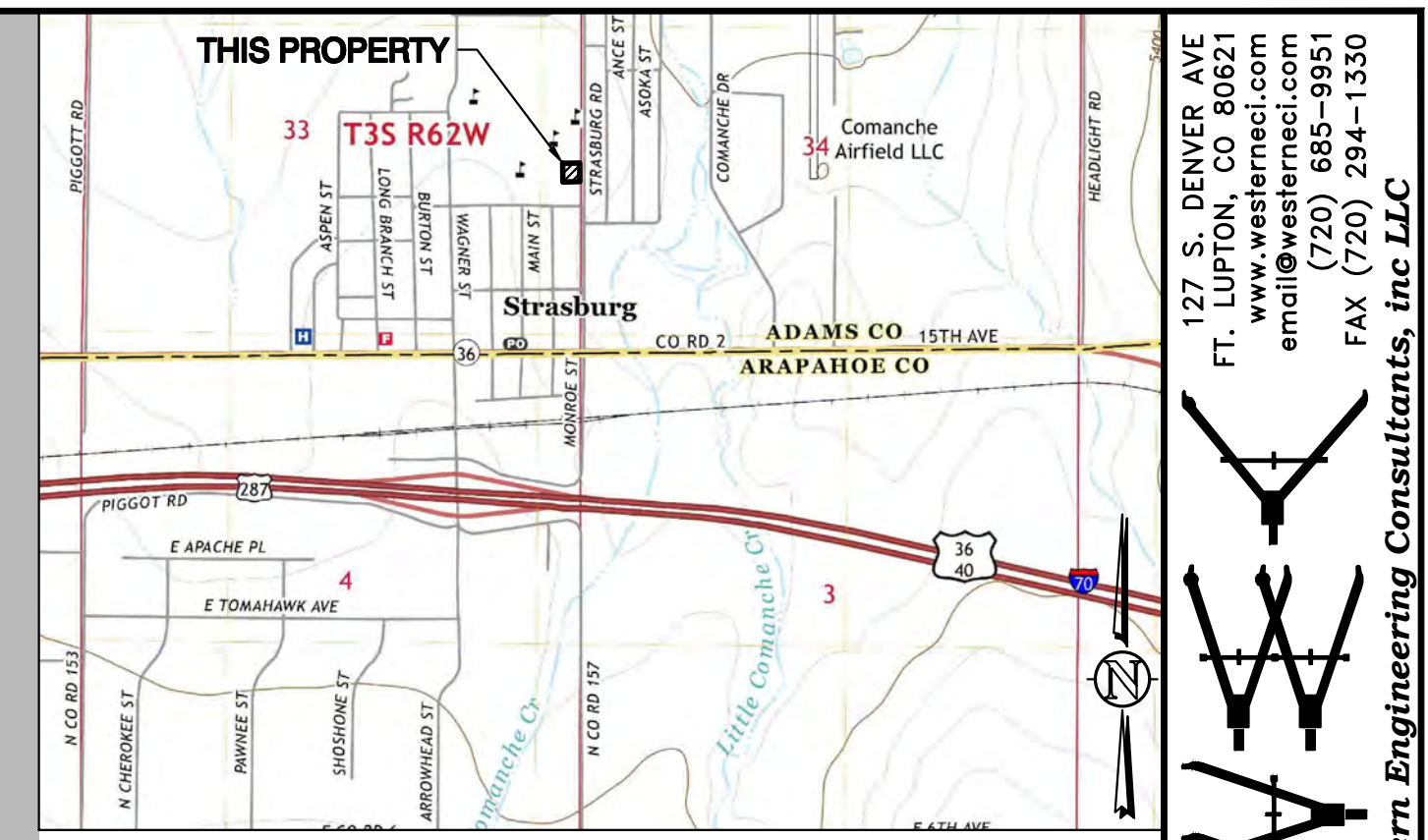
STRASBURG SANITATION AND WATER DISTRICT
56829 COLORADO AVE
PARCEL NO.: 0181333400028
ZONE: R-1-C

DEWOLF, COREY S. & STEPHANIE K.
1961 ANCE ST
PARCEL NO.: 0181334306005
ZONE: R-1-A

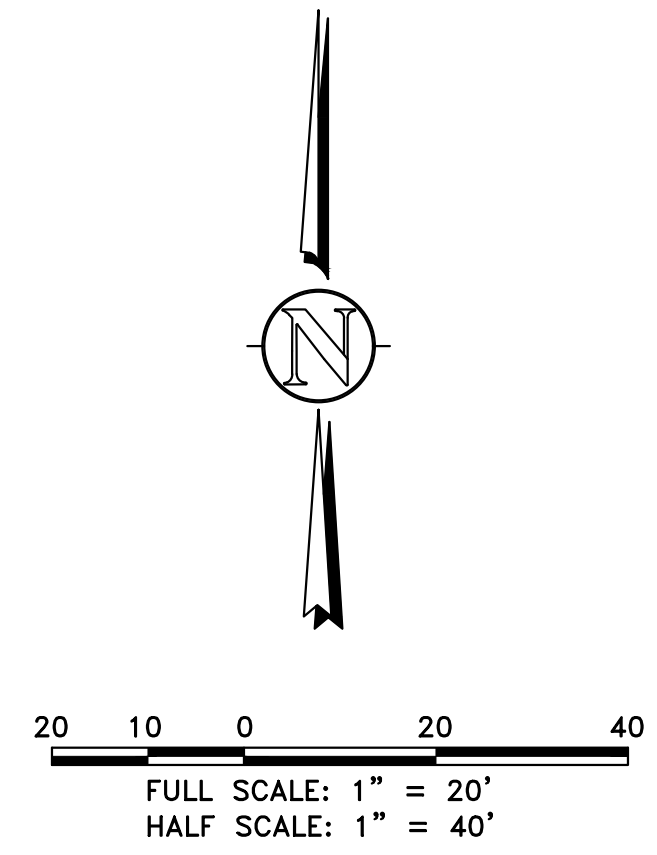
BRIDE, JOSEPH K.
1941 ANCE ST
PARCEL NO.: 0181334306006
ZONE: R-1-A

SWANSON, MITCHELL & JOAN E.
1921 ANCE ST
PARCEL NO.: 0181334306007
ZONE: R-1-A

KNAUER, SCOTT
1901 ANCE ST
PARCEL NO.: 0181334306008
ZONE: R-1-A



VICINITY MAP
NE 1/4, SE 1/4, S33, T3S, R62W, 6th P.M.
SHOWN VICINITY MAP TAKEN FROM USGS QUAD MAP - STRASBURG 7.5 MIN
SCALE 1" = 2,000'



BMP LEGEND	
	CWA CONCRETE WASHOUT AREA
	CF CONSTRUCTION FENCE
	CM CONSTRUCTION MARKER
	CIP CULVERT INLET PROTECTION
	DC WIND EROSION & DUST CONTROL
	DS DRAINAGE SWALE
	GH GOOD HOUSEKEEPING PRACTICE
	IP INLET PROTECTION
	PS PERMANENT SEEDING
	RS ROCK SOCK
	SB SEDIMENT BASIN
	SCL SEDIMENT CONTROL LOG
	SF SILT FENCE
	SM STOCKPILE MANAGEMENT
	SS STREET SWEEPING VACUUMING
	SSA STABILIZED STAGING AREA
	AP AGGREGATE (NON-SOIL) PILE
	TOP TEMPORARY OUTLET PROTECTION
	ECB EROSION CONTROL BLANKET
	VTC VEHICLE TRACKING CONTROL

127 S. DENVER AVE
FT. LUTON, CO 80621
www.westernci.com
email@westernci.com
(720) 885-9951
FAX (720) 294-1330

Western Engineering Consultants, Inc LLC

NO.	REVISION	DATE	BY
1	REV PER COUNTY COMMENTS 04/20/22	05/27/22	CFC
2	REV PER COUNTY COMMENTS 05/07/22	11/27/22	LPC

VICTOR JOSEPH
CONTACT
VICTOR JOSEPH
1853 MONROE STREET
STRASBURG, CO 80136
kurbob@protonmail.com

INTERIM EROSION CONTROL PLAN
1853 MONROE ST MINOR SUBDIVISION
1853 MONROE STREET
TOWN OF STRASBURG, ADAMS COUNTY, COLORADO

Dig Safely.
CALL UNCC
THREE WORKING DAYS
BEFORE YOU DIG
1-800-922-1987
www.uncc.org
UTILITY NOTIFICATION
CENTER OF COLORADO

FOR REVIEW

ONLY VALID FOR CONSTRUCTION
IF SA & EROSION CONTROL MEASURES
ARE ON EACH SHEET

INITIAL PLAN
RELEASE: 05/27/22
DESIGNED BY: CFC
DRAWN BY: CFC
CHECKED BY: CFC

PROJECT NO.
01-0408.001.00
DOC CON #
0006-INT GESC
SHEET
06 OF 13

ALL SHOWN UTILITIES ARE
EXISTING - NONE PROPOSED
OTHER THAN CULVERT

FINAL

0.09 AC
AREA OF DISTURBANCE

SCHOOL DISTRICT NO. 31
56729 E COLORADO AVE
PARCEL NO.: 0181333400008
ZONE: R-1-C

SCHOOL DISTRICT NO. 31
PARCEL NO.: 0181333400012
ZONE: R-1-C

DEWOLF, COREY S. & STEPHANIE K.
1961 ANCE ST
PARCEL NO.: 0181334306005
ZONE: R-1-A

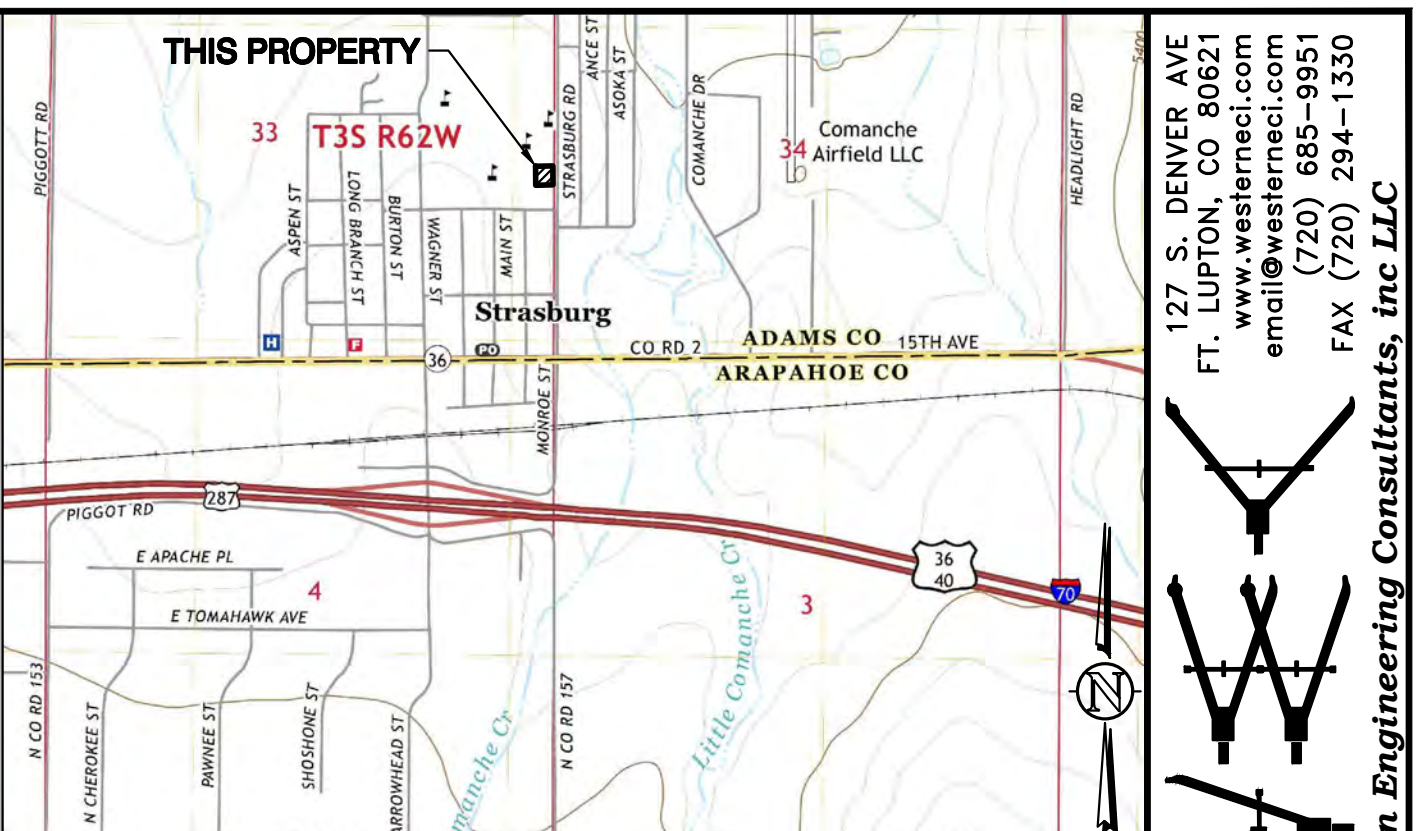
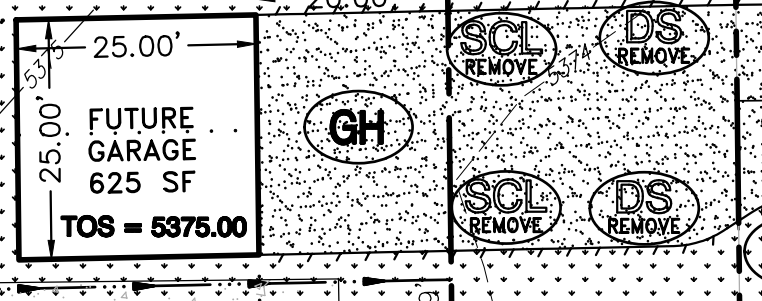
BRIDE, JOSEPH K.
1941 ANCE ST
PARCEL NO.: 0181334306006
ZONE: R-1-A

SWANSON, MITCHELL & JOAN E.
1921 ANCE ST
PARCEL NO.: 0181334306007
ZONE: R-1-A

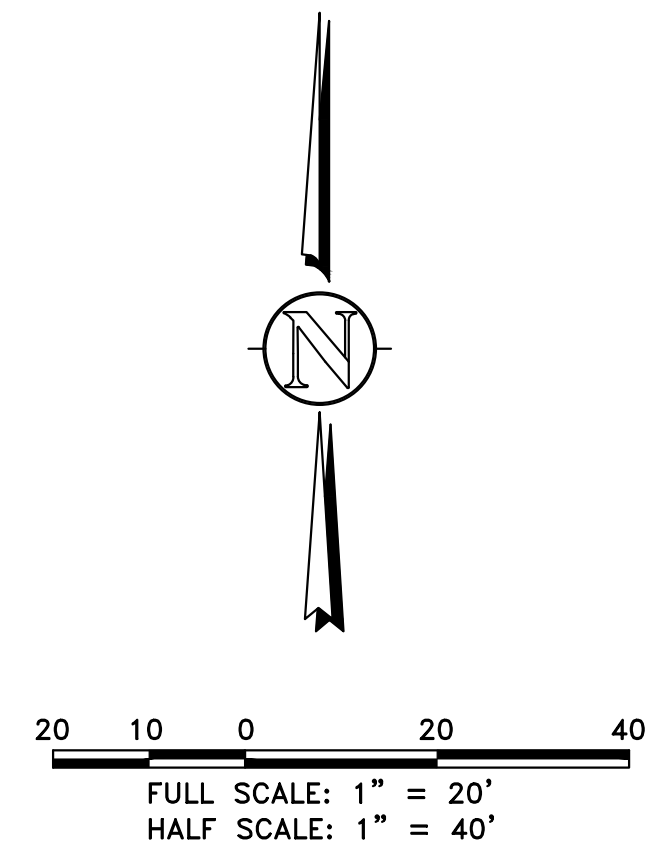
KNAUER, SCOTT
1901 ANCE ST
PARCEL NO.: 0181334306008
ZONE: R-1-A

STRASBURG SANITATION AND WATER DISTRICT
56829 COLORADO AVE
PARCEL NO.: 0181333400028
ZONE: R-1-C

APPROX. MAIN LOCATION PER
REC. NO. 2018000016941



VICINITY MAP
NE 1/4, SE 1/4, S33, T3S, R62W, 6th P.M.
SHOWN VICINITY MAP TAKEN FROM USGS QUAD MAP - STRASBURG 7.5 MIN



BMP LEGEND	
	CWA CONCRETE WASHOUT AREA
	CF CONSTRUCTION FENCE
	CM CONSTRUCTION MARKER
	CIP CULVERT INLET PROTECTION
	DC WIND EROSION & DUST CONTROL
	DS DRAINAGE SWALE
	GH GOOD HOUSEKEEPING PRACTICE
	IP INLET PROTECTION
	PS PERMANENT SEEDING
	RS ROCK SOCK
	SB SEDIMENT BASIN
	SCL SEDIMENT CONTROL LOG
	SF SILT FENCE
	SM STOCKPILE MANAGEMENT
	SS STREET SWEEPING VACUUMING
	SSA STABILIZED STAGING AREA
	AP AGGREGATE (NON-SOIL) PILE
	TOP TEMPORARY OUTLET PROTECTION
	ECB EROSION CONTROL BLANKET
	VTC VEHICLE TRACKING CONTROL

127 S. DENVER AVE
FT. LUPTON, CO 80621
www.westernci.com
email@westernci.com
(720) 885-9951
FAX (720) 294-1330

NO.	REVISION	DATE	BY
1	REV PER COUNTY COMMENTS 04/20/22	05/27/22	CFC
2	REV PER COUNTY COMMENTS 05/07/22	11/27/22	LPC

VICTOR JOSEPH
CONTACT
VICTOR JOSEPH
1853 MONROE STREET
STRASBURG, CO 80136
kurbob@att.net

FINAL EROSION CONTROL PLAN
1853 MONROE ST MINOR SUBDIVISION
1853 MONROE STREET
TOWN OF STRASBURG, ADAMS COUNTY, COLORADO

Dig Safely.
CALL UNCC
THREE WORKING DAYS
BEFORE YOU DIG
1-800-922-1987
www.uncc.org
UTILITY NOTIFICATION
CENTER OF COLORADO

FOR REVIEW

ONLY VALID FOR CONSTRUCTION
IF SAID WORKING DAYS
BEFORE YOU DIG

INITIAL PLAN
RELEASE: 05/27/22
DESIGNED BY: CFC
DRAWN BY: CFC
CHECKED BY: CFC

PROJECT NO.
01-0408.001.00
DOC CON #
0007-FNL GESC

SHEET
07 OF 13

SC-1 Silt Fence (SF)

Maintenance and Removal

Inspection of silt fence includes observing the material for tears or holes and checking for slumping fence and undercut areas bypassing flows. Repair of silt fence typically involves replacing the damaged section with a new section. Sediment accumulated behind silt fence should be removed, as needed to maintain BMP effectiveness, typically before it reaches a depth of 6 inches.

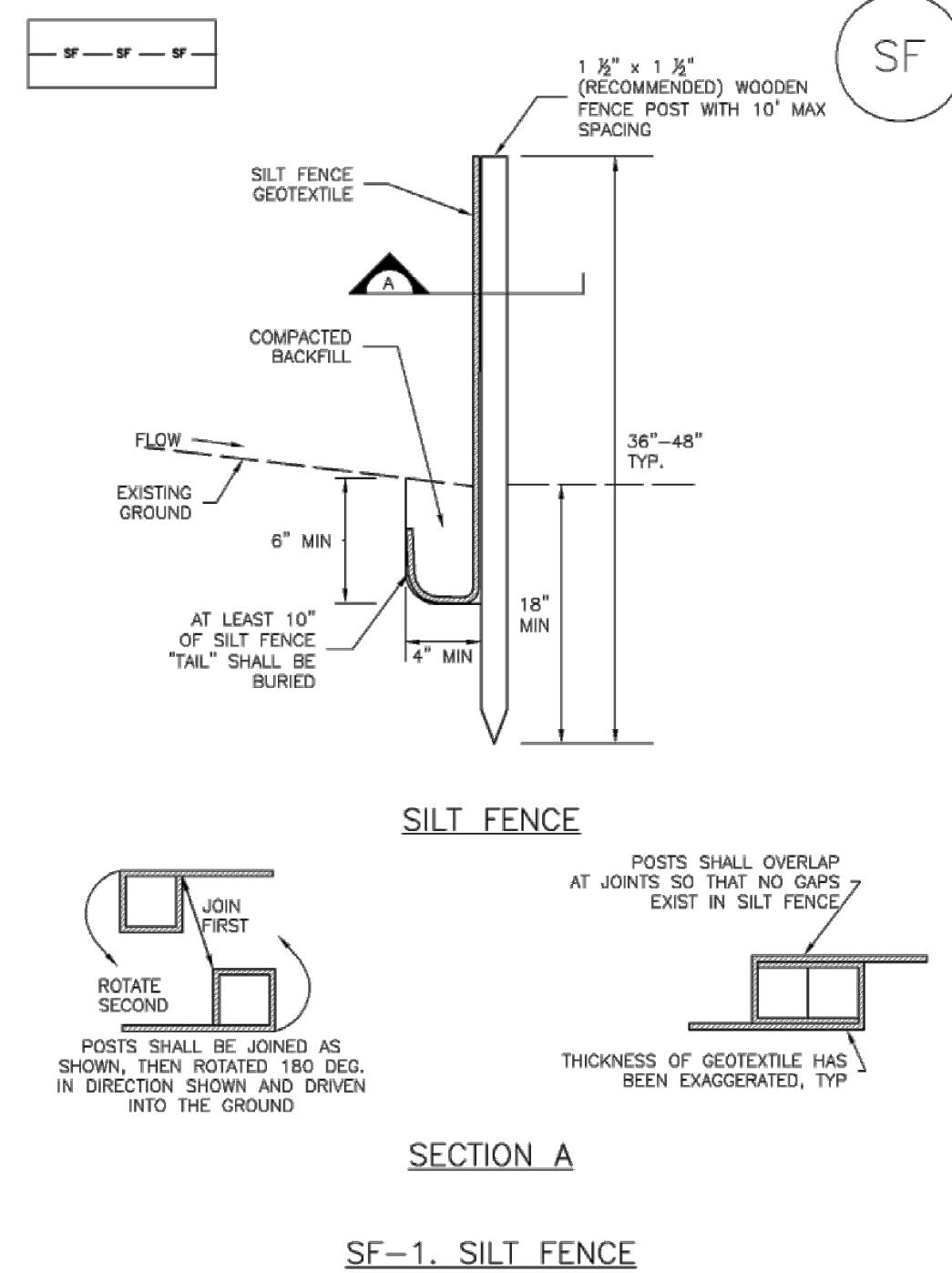


Photograph SF-2. When silt fence is not installed along the contour, a "J-hook" installation may be appropriate to ensure that the BMP does not create concentrated flow parallel to the silt fence. Photo courtesy of Tom Gore.

Silt fence may be removed when the upstream area has reached final stabilization.

SF-2 Urban Drainage and Flood Control District November 2010
Urban Storm Drainage Criteria Manual Volume 3

Silt Fence (SF) SC-1



November 2010 Urban Drainage and Flood Control District November 2010
Urban Storm Drainage Criteria Manual Volume 3 SF-3

SC-1 Silt Fence (SF)

SILT FENCE INSTALLATION NOTES

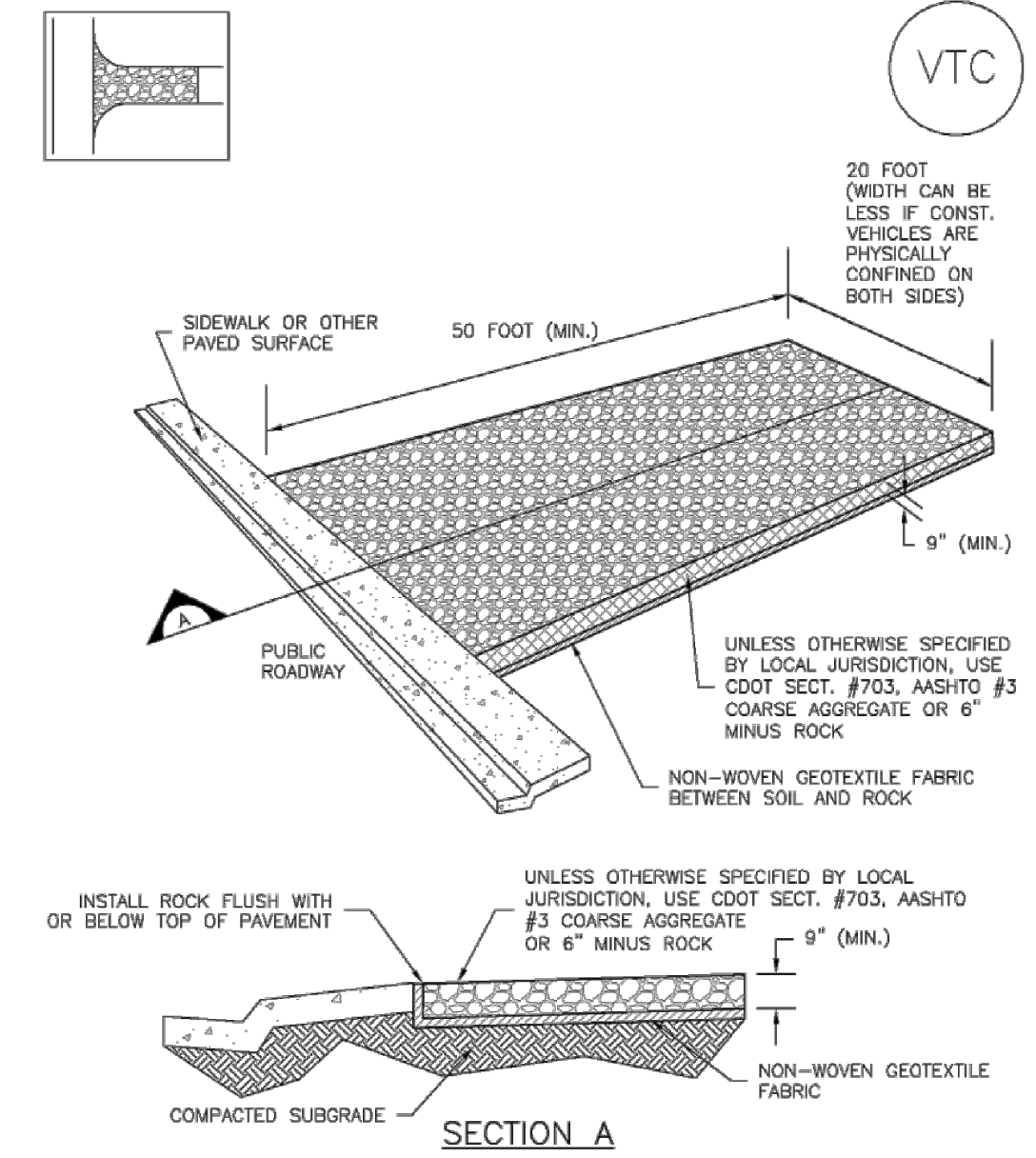
1. SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER PONDING. SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST SEVERAL FEET (2-5 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION.
2. A UNIFORM 6" X 4" ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCE INSTALLATION DEVICE. NO ROAD GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED.
3. COMPACT ANCHOR TRENCH BY HAND WITH A "JUMPING JACK" OR BY WHEEL ROLLING. COMPACTION SHALL BE SUCH THAT SILT FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND.
4. SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES.
5. SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS. STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC DOWN THE STAKE.
6. AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "J-HOOK." THE "J-HOOK" EXTENDING PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10' - 20').
7. SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

SILT FENCE MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROMPTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 4. SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENT IS APPROXIMATELY 6".
 5. REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE.
 6. SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION, OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT CONTROL BMP.
 7. WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.
- (NOTE: ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, NOT AVAILABLE IN AUTOCAD)
- NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

SF-4 Urban Drainage and Flood Control District November 2010
Urban Storm Drainage Criteria Manual Volume 3

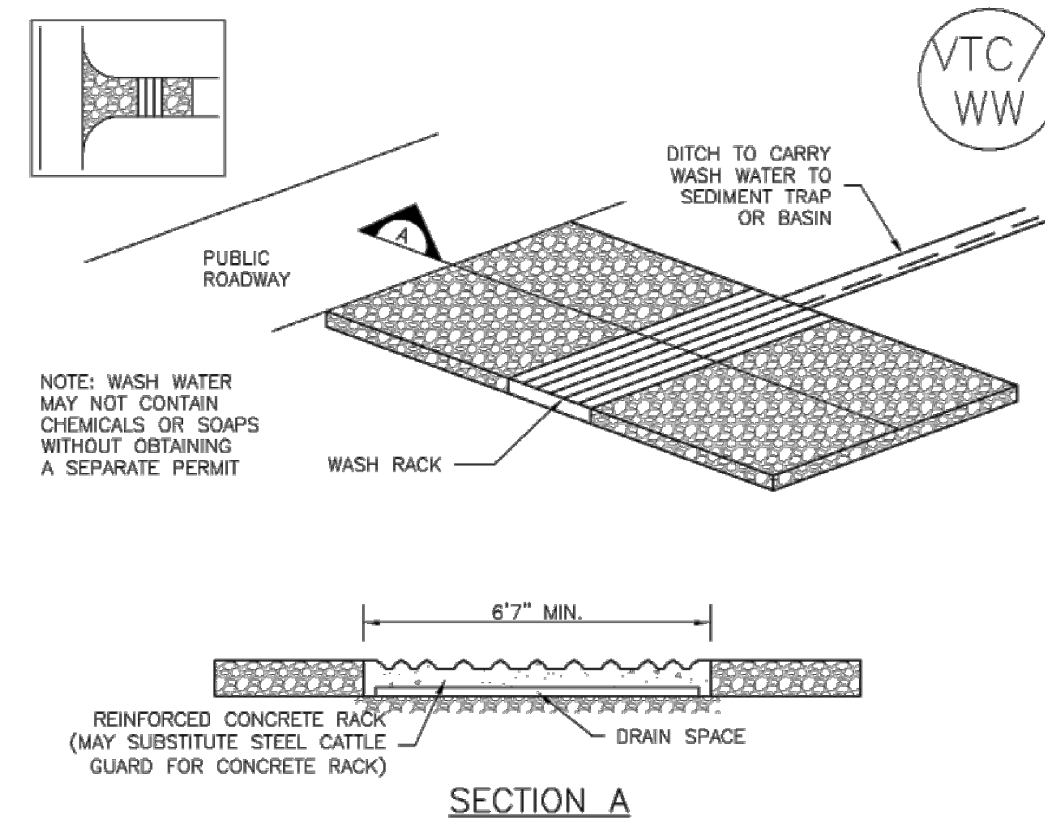
Vehicle Tracking Control (VTC) SM-4



VTC-1. AGGREGATE VEHICLE TRACKING CONTROL

November 2010 Urban Drainage and Flood Control District November 2010
Urban Storm Drainage Criteria Manual Volume 3 VTC-3

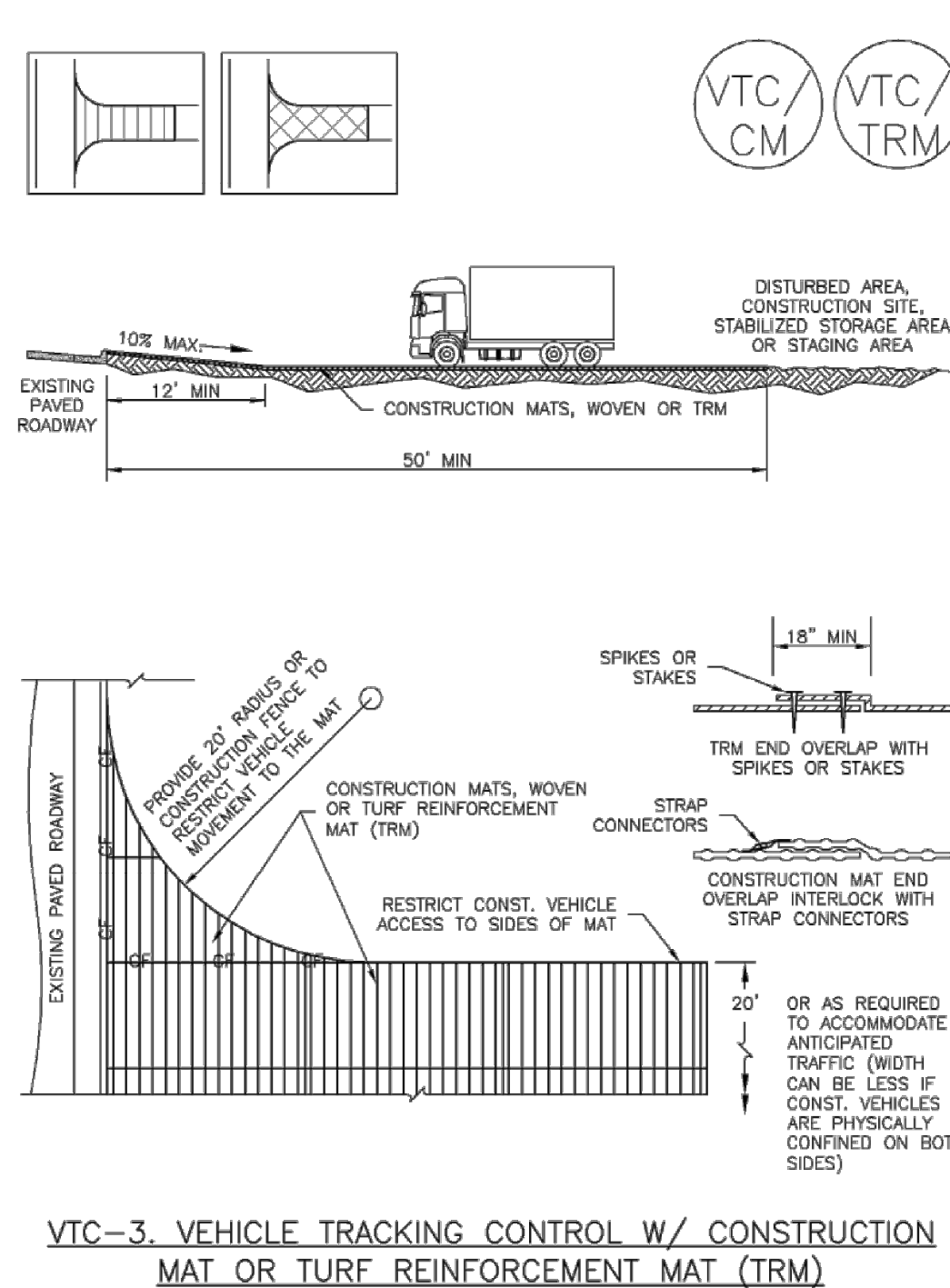
SM-4 Vehicle Tracking Control (VTC)



VTC-2. AGGREGATE VEHICLE TRACKING CONTROL WITH WASH RACK

VTC-4 Urban Drainage and Flood Control District November 2010
Urban Storm Drainage Criteria Manual Volume 3

Vehicle Tracking Control (VTC) SM-4



VTC-3. VEHICLE TRACKING CONTROL W/ CONSTRUCTION MAT OR TURF REINFORCEMENT MAT (TRM)

November 2010 Urban Drainage and Flood Control District November 2010
Urban Storm Drainage Criteria Manual Volume 3 VTC-5

SM-4 Vehicle Tracking Control (VTC)

STABILIZED CONSTRUCTION ENTRANCE/EXIT INSTALLATION NOTES

1. SEE PLAN VIEW FOR -LOCATION OF CONSTRUCTION ENTRANCE(S)/EXIT(S), -TYPE OF CONSTRUCTION ENTRANCE(S)/EXIT(S) (WITH/WITHOUT WHEEL WASH, CONSTRUCTION MAT OR TRM).
2. CONSTRUCTION MAT OR TRM STABILIZED CONSTRUCTION ENTRANCES ARE ONLY TO BE USED ON SHORT DURATION PROJECTS (TYPICALLY RANGING FROM A WEEK TO A MONTH) WHERE THERE WILL BE LIMITED VEHICULAR ACCESS.
3. A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED AT ALL ACCESS POINTS WHERE VEHICLES ACCESS THE CONSTRUCTION SITE FROM PAVED RIGHT-OF-WAYS.
4. STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
5. A NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT OF ROCK.
6. UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.

STABILIZED CONSTRUCTION ENTRANCE/EXIT MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROMPTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 4. ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY TO THE STABILIZED ENTRANCE/EXIT TO MAINTAIN A CONSISTENT DEPTH.
 5. SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED THROUGHOUT THE DAY AND AT THE END OF THE DAY BY SHOVELING OR SWEEPING. SEDIMENT MAY NOT BE WASHED DOWN STORM SEWER DRAINS.
- NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.
- (DETAILS ADAPTED FROM CITY OF BROOMFIELD, COLORADO, NOT AVAILABLE IN AUTOCAD)

VTC-6 Urban Drainage and Flood Control District November 2010
Urban Storm Drainage Criteria Manual Volume 3

Vehicle Tracking Control (VTC) SM-4

Description

Vehicle tracking controls provide stabilized construction site access where vehicles exit the site onto paved public roads. An effective vehicle tracking control helps remove sediment (mud or dirt) from vehicles, reducing tracking onto the paved surface.



Photograph VTC-1. A vehicle tracking control pad constructed with properly sized rock reduces off-site sediment tracking.

Appropriate Uses

Implement a stabilized construction entrance or vehicle tracking control where frequent heavy vehicle traffic exits the construction site onto a paved roadway. An effective vehicle tracking control is particularly important during the following conditions:

- Wet weather periods when mud is easily tracked off site.
- During dry weather periods where dust is a concern.
- When poorly drained, clayey soils are present on site.

Although wheel washes are not required in designs of vehicle tracking controls, they may be needed at particularly muddy sites.

Design and Installation

Construct the vehicle tracking control on a level surface. Where feasible, grade the tracking control towards the construction site to reduce off-site runoff. Place signage, as needed, to direct construction vehicles to the designated exit through the vehicle tracking control. There are several different types of stabilized construction entrances including:

VTC-1. Aggregate Vehicle Tracking Control. This is a coarse-aggregate surfaced pad underlain by a geotextile. This is the most common vehicle tracking control, and when properly maintained can be effective at removing sediment from vehicle tires.

VTC-2. Vehicle Tracking Control with Construction Mat or Turf Reinforcement Mat. This type of control may be appropriate for site access at very small construction sites with low traffic volume over vegetated areas. Although this application does not typically remove sediment from vehicles, it helps protect existing vegetation and provides a stabilized entrance.

Vehicle Tracking Control	
Functions	
Erosion Control	Moderate
Sediment Control	Yes
Site/Material Management	Yes

November 2010 Urban Drainage and Flood Control District November 2010
Urban Storm Drainage Criteria Manual Volume 3 VTC-1

T:\0408_001_00-JOSEPH\DWG\CDS\0408-001-VEIC-CDS.dwg 09-GESC.DTL 11/21/2023 5:47:25 PM DWG TO PDF PLOT

127 S. DENVER AVE.
FT. LUITON, CO 80621
www.westernci.com
email@westernci.com
(720) 885-8951
FAX (720) 294-1330

Western Engineering Consultants, Inc LLC

REVISION
DATE
BY
1
REV PER COUNTY COMMENTS 04/20/12
15/27/12 CFC

VICTOR JOSEPH
CONTACT
VICTOR JOSEPH
1853 MONROE STREET
STRASBURG, CO 80136
vjo@westernci.com
vjo@westernci.com

EROSION CONTROL DETAILS
1853 MONROE ST MINOR SUBDIVISION
1853 MONROE STREET
TOWN OF STRASBURG, ADAMS COUNTY, COLORADO

Dig Safely.
CALL UNCC
THREE WORKING DAYS
BEFORE YOU DIG
1-800-922-1987
www.uncc.org
UTILITY NOTIFICATION
CENTER OF COLORADO

FOR REVIEW

ONLY VALID FOR CONSTRUCTION
SCALE & ORIGIN SIGNATURE
DATE ON EACH SHEET

INITIAL PLAN
RELEASE: 05/27/22
DESIGNED BY: CFC
DRAWN BY: CFC
CHECKED BY: CFC

PROJECT NO.
01-0408.001.00
DOC CON #
0009-GESC.DTL

SHEET
09 OF 13

SM-4 Vehicle Tracking Control (VTC)

VTC-3. Stabilized Construction Entrance/Exit with Wheel Wash. This is an aggregate pad, similar to VTC-1, but includes equipment for tire washing. The wheel wash equipment may be as simple as hand-held power washing equipment to more advance proprietary systems. When a wheel wash is provided, it is important to direct wash water to a sediment trap prior to discharge from the site.

Vehicle tracking controls are sometimes installed in combination with a sediment trap to treat runoff.

Maintenance and Removal

Inspect the area for degradation and replace aggregate or material used for a stabilized entrance/exit as needed. If the area becomes clogged and ponds water, remove and dispose of excess sediment or replace material with a fresh layer of aggregate as necessary.



Photograph VTC-2. A vehicle tracking control pad with wheel wash facility. Photo courtesy of Tom Gore.

With aggregate vehicle tracking controls, ensure rock and debris from this area do not enter the public right-of-way.

Remove sediment that is tracked onto the public right of way daily or more frequently as needed. Excess sediment in the roadway indicates that the stabilized construction entrance needs maintenance.

Ensure that drainage ditches at the entrance/exit area remain clear.

A stabilized entrance should be removed only when there is no longer the potential for vehicle tracking to occur. This is typically after the site has been stabilized.

When wheel wash equipment is used, be sure that the wash water is discharged to a sediment trap prior to discharge. Also inspect channels conveying the water from the wash area to the sediment trap and stabilize areas that may be eroding.

When a construction entrance/exit is removed, excess sediment from the aggregate should be removed and disposed of appropriately. The entrance should be promptly stabilized with a permanent surface following removal, typically by paving.

Temporary Outlet Protection (TOP) EC-8

TEMPORARY OUTLET PROTECTION INSTALLATION NOTES

- SEE PLAN VIEW FOR LOCATION OF OUTLET PROTECTION - DIMENSIONS OF OUTLET PROTECTION.
- DETAIL IS INTENDED FOR PIPES WITH SLOPE $\leq 10\%$. ADDITIONAL EVALUATION OF RIPRAP SIZING AND OUTLET PROTECTION DIMENSIONS REQUIRED FOR STEEPER SLOPES.
- TEMPORARY OUTLET PROTECTION INFORMATION IS FOR OUTLETS INTENDED TO BE UTILIZED LESS THAN 2 YEARS.

TEMPORARY OUTLET PROTECTION INSPECTION AND MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAILS ADAPTED FROM AURORA, COLORADO AND PREVIOUS VERSION OF VOLUME 3, NOT AVAILABLE IN AUTOCAD)

Sediment Control Log (SCL) SC-2

Description

A sediment control log is a linear roll made of natural materials such as straw, coconut fiber, or compost. The most common type of sediment control log has straw filling and is often referred to as a "straw wattle." All sediment control logs are used as a sediment barrier to intercept sheet flow runoff from disturbed areas.

Appropriate Uses

Sediment control logs can be used in the following applications to trap sediment:

- As perimeter control for stockpiles and the site.
- As part of inlet protection designs.
- As check dams in small drainage ditches. (Sediment control logs are not intended for use in channels with high flow velocities.)
- On disturbed slopes to shorten flow lengths (as an erosion control).
- As part of multi-layered perimeter control along a receiving water such as a stream, pond or wetland.

Sediment control logs work well in combination with other layers of erosion and sediment controls.

Design and Installation

Sediment control logs should be installed along the contour to avoid concentrating flows. The maximum allowable tributary drainage area per 100 linear feet of sediment control log, installed along the contour, is approximately 0.25 acres with a disturbed slope length of up to 150 feet and a tributary slope gradient no steeper than 3:1. Longer and steeper slopes require additional measures. This recommendation only applies to sediment control logs installed along the contour. When installed for other uses, such as perimeter control, it should be installed in a way that will not produce concentrated flows. For example, a "J-hook" installation may be appropriate to force runoff to pond and evaporate or infiltrate in multiple areas rather than concentrate and cause erosive conditions parallel to the BMP.



Photographs SCL-1 and SCL-2. Sediment control logs used as 1) a perimeter control around a soil stockpile; and, 2) as a "J-hook" perimeter control at the corner of a construction site.

Sediment Control Log	
Functions	
Erosion Control	Moderate
Sediment Control	Yes
Site/Material Management	No

SC-2 Sediment Control Log (SCL)

Although sediment control logs initially allow runoff to flow through the BMP, they can quickly become a barrier and should be installed as if they are impermeable.

Design details and notes for sediment control logs are provided in the following details. Sediment logs must be properly installed per the detail to prevent undercutting, bypassing and displacement. When installed on slopes, sediment control logs should be installed along the contours (i.e., perpendicular to flow).

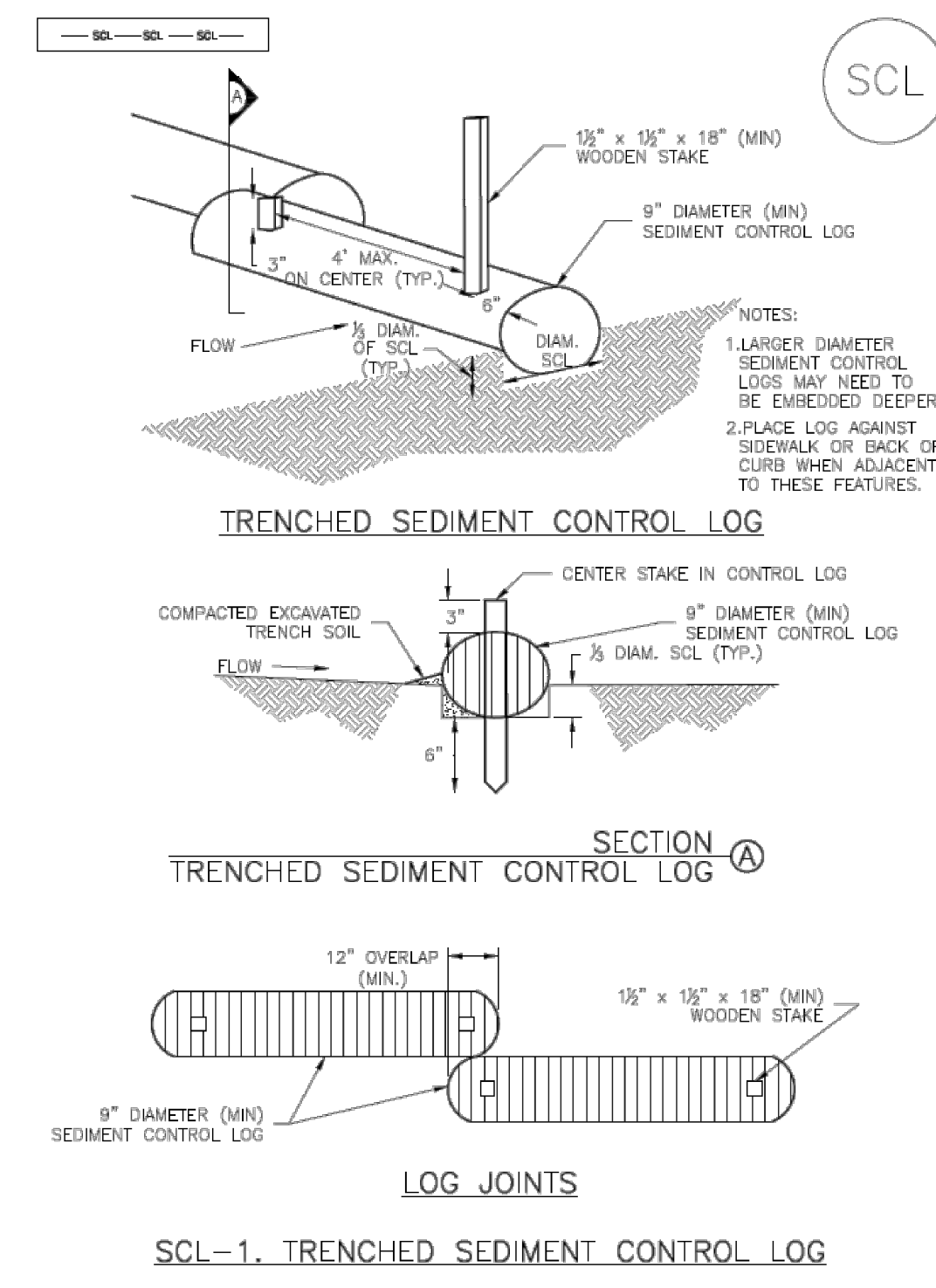
Improper installation can lead to poor performance. Be sure that sediment control logs are properly trenched (if lighter than 8 lb/foot), anchored and tightly joined.

Maintenance and Removal

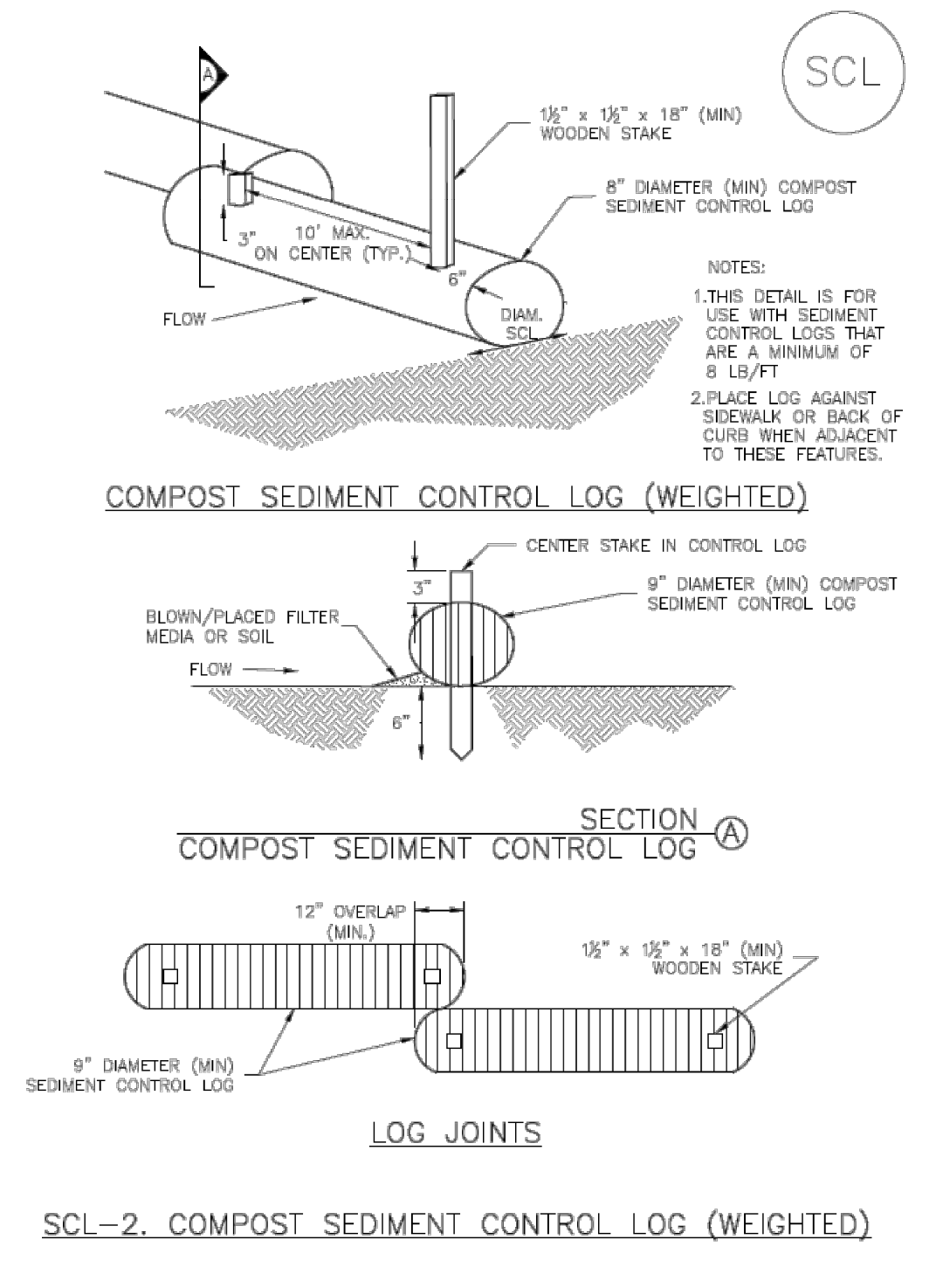
Be aware that sediment control logs will eventually degrade. Remove accumulated sediment before the depth is one-half the height of the sediment log and repair damage to the sediment log, typically by replacing the damaged section.

Once the upstream area is stabilized, remove and properly dispose of the logs. Areas disturbed beneath the logs may need to be seeded and mulched. Sediment control logs that are biodegradable may occasionally be left in place (e.g., when logs are used in conjunction with erosion control blankets as permanent slope breaks). However, removal of sediment control logs after final stabilization is typically appropriate when used in perimeter control, inlet protection and check dam applications. Compost from compost sediment control logs may be spread over the area and seeded as long as this does not cover newly established vegetation.

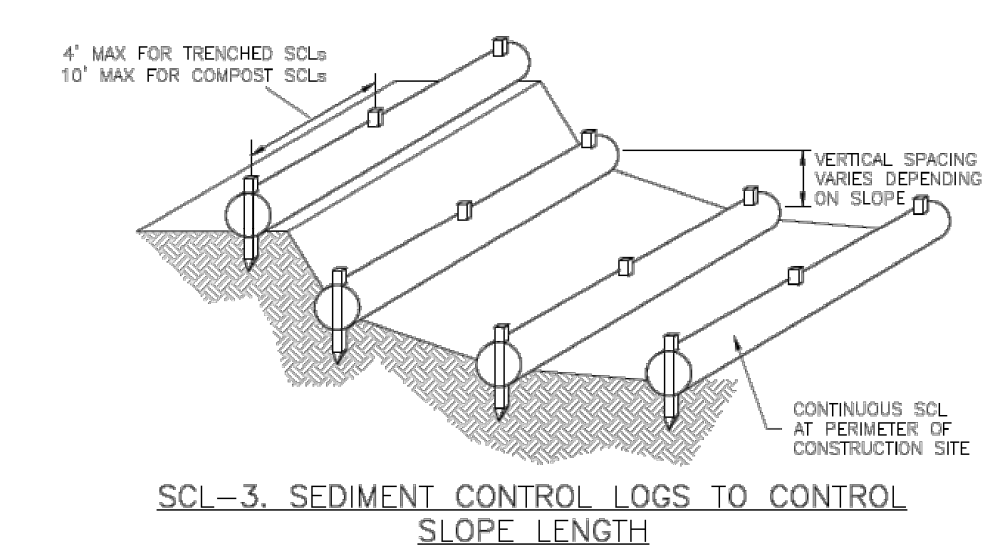
Sediment Control Log (SCL) SC-2



SC-2 Sediment Control Log (SCL)



Sediment Control Log (SCL) SC-2



SC-2 Sediment Control Log (SCL)

SEDIMENT CONTROL LOG INSTALLATION NOTES

- SEE PLAN VIEW FOR LOCATION AND LENGTH OF SEDIMENT CONTROL LOGS.
- SEDIMENT CONTROL LOGS THAT ACT AS A PERIMETER CONTROL SHALL BE INSTALLED PRIOR TO ANY UPGRADING LAND-DISTURBING ACTIVITIES.
- SEDIMENT CONTROL LOGS SHALL CONSIST OF STRAW, COMPOST, EXCELSIOR OR COCONUT FIBER, AND SHALL BE FREE OF ANY NOXIOUS WEED SEEDS OR DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR.
- SEDIMENT CONTROL LOGS MAY BE USED AS SMALL CHECK DAMS IN DITCHES AND SWALES. HOWEVER, THEY SHOULD NOT BE USED IN PERENNIAL STREAMS.
- IT IS RECOMMENDED THAT SEDIMENT CONTROL LOGS BE TRENCHED INTO THE GROUND TO A DEPTH OF APPROXIMATELY 1/3 OF THE DIAMETER OF THE LOG. IF TRENCHING TO THIS DEPTH IS NOT FEASIBLE AND/OR DESIRABLE (SHORT TERM INSTALLATION WITH DESIRE NOT TO DAMAGE LANDSCAPE) A LESSER TRENCHING DEPTH MAY BE ACCEPTABLE WITH MORE ROBUST STAKING. COMPOST LOGS THAT ARE 8 LB/FT DO NOT NEED TO BE TRENCHED.
- THE UPHILL SIDE OF THE SEDIMENT CONTROL LOG SHALL BE BACKFILLED WITH SOIL OR FILTER MATERIAL THAT IS FREE OF ROCKS AND DEBRIS. THE SOIL SHALL BE TIGHTLY COMPACTED INTO THE SHAPE OF A RIGHT TRIANGLE USING A SHOVEL OR WEIGHTED LAWN ROLLER OR BLOWN IN PLACE.
- FOLLOW MANUFACTURERS' GUIDANCE FOR STAKING. IF MANUFACTURERS' INSTRUCTIONS DO NOT SPECIFY SPACING, STAKES SHALL BE PLACED ON 4' CENTERS AND EMBEDDED A MINIMUM OF 6" INTO THE GROUND. 3" OF THE STAKE SHALL PROTRUDE FROM THE TOP OF THE LOG. STAKES THAT ARE BROKEN PRIOR TO INSTALLATION SHALL BE REPLACED. COMPOST LOGS SHOULD BE STAKED 10' ON CENTER.

SEDIMENT CONTROL LOG MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- SEDIMENT ACCUMULATED UPSTREAM OF SEDIMENT CONTROL LOG SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 1/2 OF THE HEIGHT OF THE SEDIMENT CONTROL LOG.
- SEDIMENT CONTROL LOG SHALL BE REMOVED AT THE END OF CONSTRUCTION. COMPOST FROM COMPOST LOGS MAY BE LEFT IN PLACE AS LONG AS BAGS ARE REMOVED AND THE AREA SEEDED. IF DISTURBED AREAS EXIST AFTER REMOVAL, THEY SHALL BE COVERED WITH TOP SOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

(DETAILS ADAPTED FROM TOWN OF PARKER, COLORADO, JEFFERSON COUNTY, COLORADO, DOUGLAS COUNTY, COLORADO, AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

127 S. DENVER AVE.
FT. LUPTON, CO 80621
www.westerneci.com
email@westerneci.com
(720) 885-8951
(720) 294-1350

Western Engineering Consultants, Inc LLC

VICTOR JOSEPH
CONTACT
VICTOR JOSEPH
1853 MONROE STREET
STRASBURG, CO 80136
kurbob@westerneci.com

REV. PER COUNTY COMMENTS 04/20/12 15/27/12 CFC

NO.	REVISION	DATE
1		

EROSION CONTROL DETAILS
1853 MONROE ST MINOR SUBDIVISION
1853 MONROE STREET
TOWN OF STRASBURG, ADAMS COUNTY, COLORADO

Dig Safely.
CALL UNCC
THREE WORKING DAYS
BEFORE YOU DIG
1-800-922-1987
www.uncc.org
UTILITY NOTIFICATION
CENTER OF COLORADO

FOR REVIEW

ONLY VALID FOR CONSTRUCTION
9' SCALE & WORKING SIGNATURE & SEAL ONLY

INITIAL PLAN
RELEASE: 05/22/22
DESIGNED BY: CFC
DRAWN BY: CFC
CHECKED BY: CFC
PROJECT NO.
01-0408.001.00
DOC CON #
0010-GESC DTL
SHEET
10 OF 13

Inlet Protection (IP)

SC-6

Description

Inlet protection consists of permeable barriers installed around an inlet to filter runoff and remove sediment prior to entering a storm drain inlet.



Photograph IP-1. Inlet protection for a curb opening inlet.

Appropriate Uses

Install protection at storm sewer inlets that are operable during construction. Consider the potential for tracked-out sediment or temporary stockpile areas to contribute sediment to inlets when determining which inlets must be protected.

Design and Installation

To function effectively, inlet protection measures must be installed to ensure that flows do not bypass the inlet protection and enter the storm drain without treatment.

Several inlet protection designs are provided in the Design Details. Additionally, a variety of proprietary products are available for inlet protection that may be approved for use by local governments.

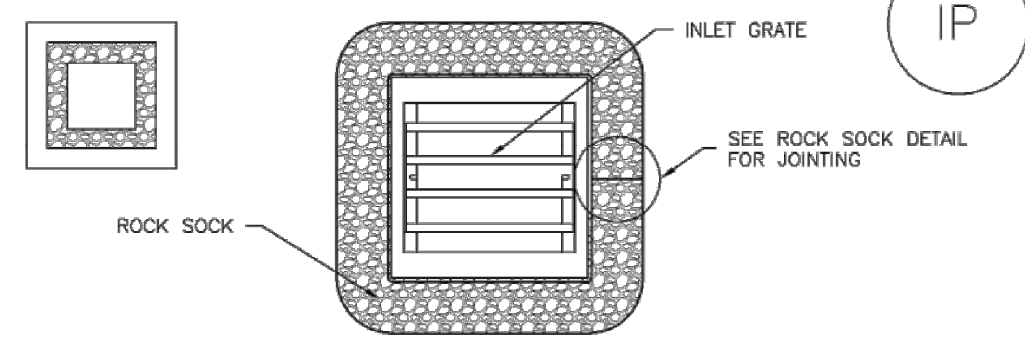
Design details with notes are provided for these forms of inlet protection:

- IP-1. Block and Rock Sock Inlet Protection for Sump or On-grade Inlets
IP-2. Curb (Rock) Socks Upstream of Inlet Protection, On-grade Inlets

Table with 2 columns: Functions, Inlet Protection (various forms). Rows include Erosion Control, Sediment Control, and Site/Material Management.

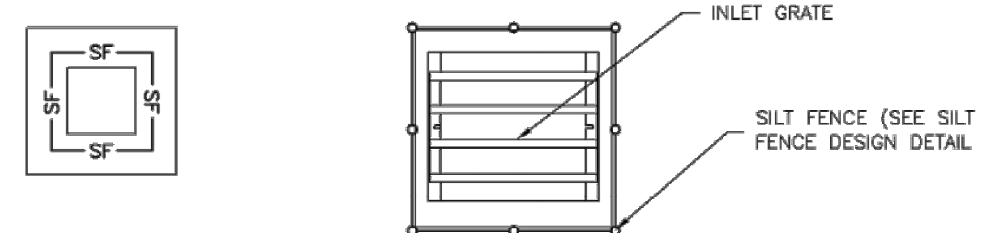
Inlet Protection (IP)

SC-6



IP-3. ROCK SOCK SUMP/AREA INLET PROTECTION

- ROCK SOCK SUMP/AREA INLET PROTECTION INSTALLATION NOTES
1. SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. STRAW WATTLES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF ROCK SOCKS FOR INLETS IN PEROUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.



IP-4. SILT FENCE FOR SUMP INLET PROTECTION

- SILT FENCE INLET PROTECTION INSTALLATION NOTES
1. SEE SILT FENCE DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. POSTS SHALL BE PLACED AT EACH CORNER OF THE INLET AND AROUND THE EDGES AT A MAXIMUM SPACING OF 3 FEET.
3. STRAW WATTLES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF SILT FENCE FOR INLETS IN PEROUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.

SC-6

Inlet Protection (IP)

- IP-3. Rock Sock Inlet Protection for Sump/Area Inlet
IP-4. Silt Fence Inlet Protection for Sump/Area Inlet
IP-5. Over-excavation Inlet Protection
IP-6. Straw Bale Inlet Protection for Sump/Area Inlet
CIP-1. Culvert Inlet Protection

Proprietary inlet protection devices should be installed in accordance with manufacturer specifications. More information is provided below on selecting inlet protection for sump and on-grade locations.

Inlets Located in a Sump

When applying inlet protection in sump conditions, it is important that the inlet continue to function during larger runoff events.

Area inlets located in a sump setting can be protected through the use of silt fence, concrete block and rock socks (on paved surfaces), sediment control logs/straw wattles embedded in the adjacent soil and stacked around the area inlet (on pervious surfaces), over-excavation around the inlet, and proprietary products providing equivalent functions.

Inlets Located on a Slope

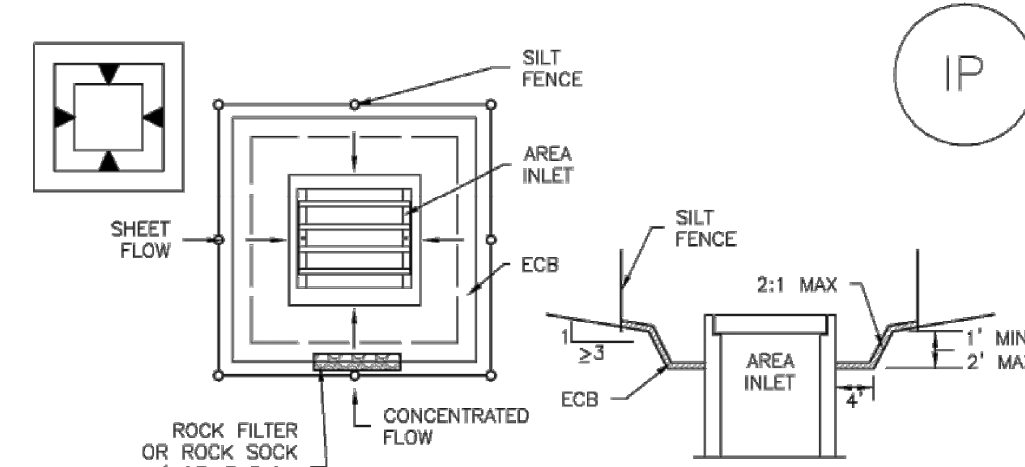
For curb and gutter inlets on paved sloping streets, block and rock sock inlet protection is recommended in conjunction with curb socks in the gutter leading to the inlet.

Maintenance and Removal

- Inspect inlet protection frequently. Inspection and maintenance guidance includes:
- Inspect for tears that can result in sediment directly entering the inlet...
- Check for improper installation resulting in untreated flows bypassing the BMP...
- Look for displaced BMPs that are no longer protecting the inlet...
- Monitor sediment accumulation upgradient of the inlet protection.

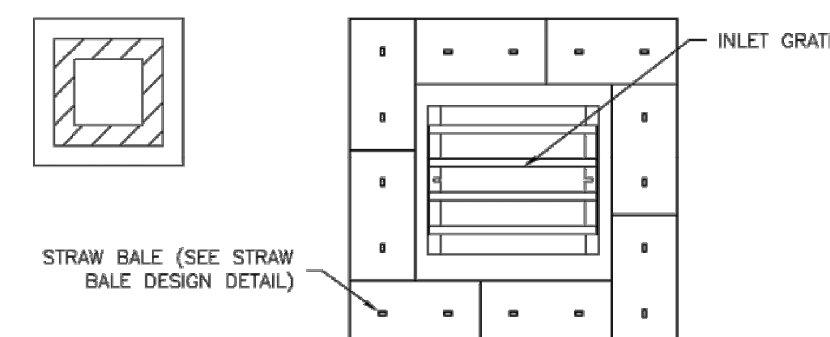
SC-6

Inlet Protection (IP)



IP-5. OVEREXCAVATION INLET PROTECTION

- OVEREXCAVATION INLET PROTECTION INSTALLATION NOTES
1. THIS FORM OF INLET PROTECTION IS PRIMARILY APPLICABLE FOR SITES THAT HAVE NOT YET REACHED FINAL GRADE...
2. WHEN USING FOR CONCENTRATED FLOWS, SHAPE BASIN IN 2:1 RATIO WITH LENGTH ORIENTED TOWARDS DIRECTION OF FLOW.
3. SEDIMENT MUST BE PERIODICALLY REMOVED FROM THE OVEREXCAVATED AREA.



IP-6. STRAW BALE FOR SUMP INLET PROTECTION

- STRAW BALE BARRIER INLET PROTECTION INSTALLATION NOTES
1. SEE STRAW BALE DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. BALES SHALL BE PLACED IN A SINGLE ROW AROUND THE INLET WITH ENDS OF BALES TIGHTLY ABUTTING ONE ANOTHER.

Inlet Protection (IP)

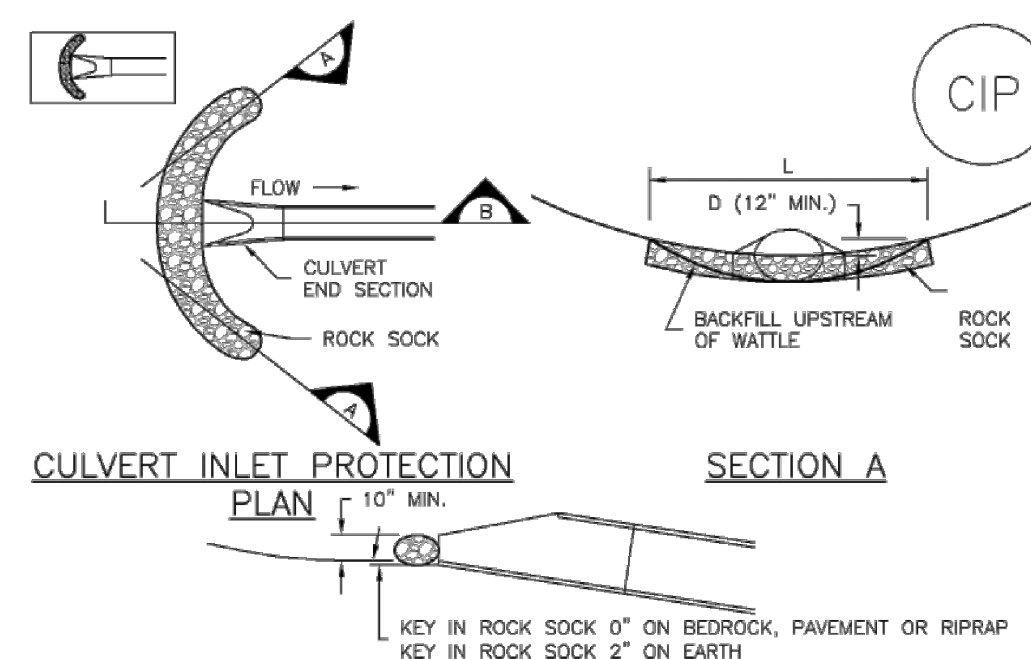
SC-6

- Remove sediment accumulation from the area upstream of the inlet protection, as needed to maintain BMP effectiveness...
Proprietary inlet protection devices should be inspected and maintained in accordance with manufacturer specifications.

Inlet protection must be removed and properly disposed of when the drainage area for the inlet has reached final stabilization.

Inlet Protection (IP)

SC-6

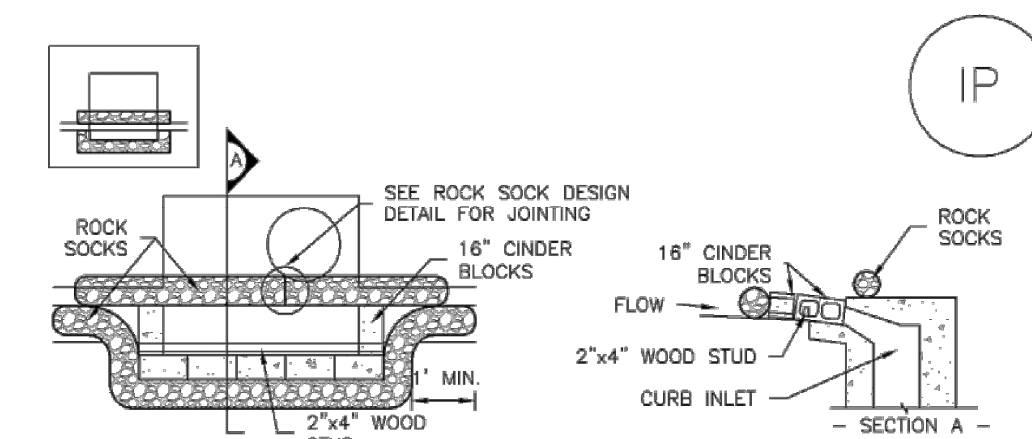


CIP-1. CULVERT INLET PROTECTION

- CULVERT INLET PROTECTION INSTALLATION NOTES
1. SEE PLAN VIEW FOR -LOCATION OF INLET PROTECTION.
2. SEE ROCK SOCK DESIGN DETAIL FOR ROCK GRADATION REQUIREMENTS AND JOINING DETAIL.
CULVERT INLET PROTECTION MAINTENANCE NOTES
1. INSPECT BMPs EACH WORKDAY...
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs...
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED UPSTREAM OF THE CULVERT SHALL BE REMOVED WHEN THE SEDIMENT DEPTH IS 1/2 THE HEIGHT OF THE ROCK SOCK.
5. CULVERT INLET PROTECTION SHALL REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS PERMANENTLY STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.

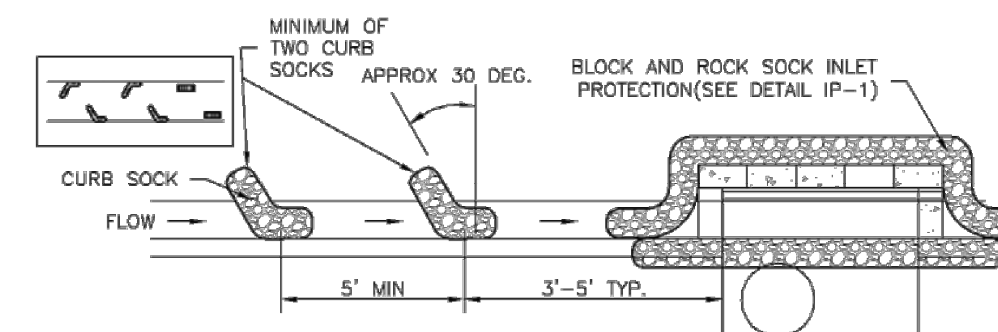
SC-6

Inlet Protection (IP)



IP-1. BLOCK AND ROCK SOCK SUMP OR ON GRADE INLET PROTECTION

- BLOCK AND CURB SOCK INLET PROTECTION INSTALLATION NOTES
1. SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. CONCRETE 'CINDER' BLOCKS SHALL BE LAID ON THEIR SIDES AROUND THE INLET...
3. GRAVEL BAGS SHALL BE PLACED AROUND CONCRETE BLOCKS, CLOSELY ABUTTING ONE ANOTHER AND JOINED TOGETHER IN ACCORDANCE WITH ROCK SOCK DESIGN DETAIL.



IP-2. CURB ROCK SOCKS UPSTREAM OF INLET PROTECTION

- CURB ROCK SOCK INLET PROTECTION INSTALLATION NOTES
1. SEE ROCK SOCK DESIGN DETAIL INSTALLATION REQUIREMENTS.
2. PLACEMENT OF THE SOCK SHALL BE APPROXIMATELY 30 DEGREES FROM PERPENDICULAR IN THE OPPOSITE DIRECTION OF FLOW.
3. SOCKS ARE TO BE FLUSH WITH THE CURB AND SPACED A MINIMUM OF 5 FEET APART.
4. AT LEAST TWO CURB SOCKS IN SERIES ARE REQUIRED UPSTREAM OF ON-GRADE INLETS.

Contact information for Western Engineering Consultants, Inc. LLC, including address, phone, and email.

Erosion Control Details information for 1853 Monroe St. Minor Subdivision, including project details, dates, and drawing information.

Good Housekeeping Practices (GH)

MM-3

Description

Implement construction site good housekeeping practices to prevent pollution associated with solid, liquid and hazardous construction-related materials and wastes.

- Provide for waste management.
Establish proper building material staging areas.
Designate paint and concrete washout areas.
Establish proper equipment/vehicle fueling and maintenance practices.
Control equipment/vehicle washing and allowable non-stormwater discharges.
Develop a spill prevention and response plan.



Photographs GH-1 and GH-2. Proper materials storage and secondary containment for fuel tanks are important good housekeeping practices.

Acknowledgement: This Fact Sheet is based directly on EPA guidance provided in Developing Your Stormwater Pollution Prevention Plan (EPA 2007).

Appropriate Uses

Good housekeeping practices are necessary at all construction sites.

Design and Installation

The following principles and actions should be addressed in SWMPs:

- Provide for Waste Management. Implement management procedures and practices to prevent or reduce the exposure and transport of pollutants in stormwater from solid, liquid and sanitary wastes that will be generated at the site.

Table with 2 columns: Functions, Good Housekeeping. Rows include Erosion Control, Sediment Control, and Site/Material Management.

November 2010 Urban Drainage and Flood Control District GH-1
Urban Storm Drainage Criteria Manual Volume 3

MM-3 Good Housekeeping Practices (GH)

- Recycle materials whenever possible (e.g., paper, wood, concrete, oil).
Segregate and provide proper disposal options for hazardous material wastes.
Clean up litter and debris from the construction site daily.
Locate waste-collection areas away from streets, gutters, watercourses, and storm drains.

Sanitary and Septic Waste

- Provide convenient, well-maintained, and properly located toilet facilities on-site.
Locate toilet facilities away from storm drain inlets and waterways to prevent accidental spills and contamination of stormwater.
Maintain clean restroom facilities and empty portable toilets regularly.
Where possible, provide secondary containment pans under portable toilets.
Provide tie-downs or stake-downs for portable toilets.
Educate employees, subcontractors, and suppliers on locations of facilities.
Treat or dispose of sanitary and septic waste in accordance with state or local regulations.

Hazardous Materials and Wastes

- Develop and implement employee and subcontractor education, as needed, on hazardous and toxic waste handling, storage, disposal, and cleanup.
Designate hazardous waste-collection areas on-site.
Place all hazardous and toxic material wastes in secondary containment.



Photograph GH-3. Locate portable toilet facilities on level surfaces away from waterways and storm drains.

GH-2 Urban Drainage and Flood Control District November 2010
Urban Storm Drainage Criteria Manual Volume 3

Good Housekeeping Practices (GH) MM-3

- Hazardous waste containers should be inspected to ensure that all containers are labeled properly and that no leaks are present.
Establish Proper Building Material Handling and Staging Areas. The SWMP should include comprehensive handling and management procedures for building materials, especially those that are hazardous or toxic.
Train employees and subcontractors in proper handling and storage practices.
Clearly designate site areas for staging and storage with signs and on construction drawings.
Provide storage in accordance with Spill Protection, Control and Countermeasures (SPCC) requirements and plans and provide cover and impermeable perimeter control, as necessary, for hazardous materials and contaminated soils that must be stored on site.
Reuse and recycle construction materials when possible.

- Designate Concrete Washout Areas. Concrete contractors should be encouraged to use the washout facilities at their own plants or dispatch facilities when feasible; however, concrete washout commonly occurs on construction sites.
Both self-constructed and prefabricated washout containers can fill up quickly when concrete, paint, and stucco work are occurring on large portions of the site.

When concrete, paint, or stucco is part of the construction process, consider these practices which will help prevent contamination of stormwater.

November 2010 Urban Drainage and Flood Control District GH-3
Urban Storm Drainage Criteria Manual Volume 3

MM-3 Good Housekeeping Practices (GH)

- Do not washout concrete trucks or equipment into storm drains, streets, gutters, uncontained areas, or streams. Only use designated washout areas.
Establish washout areas and advertise their locations with signs.
Provide adequate containment for the amount of wash water that will be used.
Inspect washout structures daily to detect leaks or tears and to identify when materials need to be removed.
Dispose of materials properly.
Establish Proper Equipment/Vehicle Fueling and Maintenance Practices.
Control Equipment/Vehicle Washing and Allowable Non-Stormwater Discharges.

GH-4 Urban Drainage and Flood Control District November 2010
Urban Storm Drainage Criteria Manual Volume 3

Good Housekeeping Practices (GH) MM-3

- Use high-pressure water spray at vehicle washing facilities without detergents.
Do not conduct other activities, such as vehicle repairs, in the wash area.
Include the location of the washing facilities and the inspection and maintenance procedures in the SWMP.
Develop a Spill Prevention and Response Plan.
Note the locations of chemical storage areas, storm drains, tributary drainage areas, surface waterbodies on or near the site, and measures to stop spills from leaving the site.
Provide proper handling and safety procedures for each type of waste.
Establish an education program for employees and subcontractors on the potential hazards to humans and the environment from spills and leaks.
Specify how to notify appropriate authorities, such as police and fire departments, hospitals, or municipal sewage treatment facilities to request assistance.
Describe the procedures, equipment and materials for immediate cleanup of spills and proper disposal.
Identify personnel responsible for implementing the plan in the event of a spill.

November 2010 Urban Drainage and Flood Control District GH-5
Urban Storm Drainage Criteria Manual Volume 3

MM-3 Good Housekeeping Practices (GH)

Spill Prevention, Control, and Countermeasure (SPCC) Plan
Construction sites may be subject to 40 CFR Part 112 regulations that require the preparation and implementation of a SPCC Plan to prevent oil spills from aboveground and underground storage tanks.
Furthermore, if the facility is subject to 40 CFR Part 112, the SWMP should reference the SPCC Plan.
Reporting Oil Spills
In the event of an oil spill, contact the National Response Center toll free at 1-800-424- 8802 for assistance, or for more details, visit their website: www.nrc.uscg.mil.

Maintenance and Removal
Effective implementation of good housekeeping practices is dependent on clear designation of personnel responsible for supervising and implementing good housekeeping programs, such as site cleanup and disposal of trash and debris, hazardous material management and disposal, vehicle and equipment maintenance, and other practices.
Checklists may be helpful in good housekeeping efforts.
Staging and storage areas require permanent stabilization when the areas are no longer being used for construction-related activities.
Construction-related materials, debris and waste must be removed from the construction site once construction is complete.
Design Details
See the following Fact Sheets for related Design Details:
MM-1 Concrete Washout Area
MM-2 Stockpile Management
SM-4 Vehicle Tracking Control
Design details are not necessary for other good housekeeping practices; however, be sure to designate where specific practices will occur on the appropriate construction drawings.

GH-6 Urban Drainage and Flood Control District November 2010
Urban Storm Drainage Criteria Manual Volume 3

Street Sweeping and Vacuuming (SS) SM-7

Description
Street sweeping and vacuuming remove sediment that has been tracked onto roadways to reduce sediment transport into storm drain systems or a surface waterway.
Appropriate Uses
Use this practice at construction sites where vehicles may track sediment offsite onto paved roadways.
Design and Installation
Street sweeping or vacuuming should be conducted when there is noticeable sediment accumulation on roadways adjacent to the construction site.
On smaller construction sites, street sweeping can be conducted manually using a shovel and broom.
Maintenance and Removal
Inspect paved roads around the perimeter of the construction site on a daily basis and more frequently, as needed.
Following street sweeping, check inlet protection that may have been displaced during street sweeping.
Inspect area to be swept for materials that may be hazardous prior to beginning sweeping operations.



Photograph SS-1. A street sweeper removes sediment and potential pollutants along the curb line at a construction site.

Table with 2 columns: Functions, Street Sweeping/ Vacuuming. Rows include Erosion Control, Sediment Control, and Site/Material Management.

November 2010 Urban Drainage and Flood Control District SS-1
Urban Storm Drainage Criteria Manual Volume 3

Western Engineering Consultants, Inc LLC
127 S. DENVER AVE. FT. LUITON, CO 80621
www.westerneci.com
email@westerneci.com
(720) 885-8951
FAX (720) 294-1330

EROSION CONTROL DETAILS
1853 MONROE ST MINOR SUBDIVISION
1853 MONROE STREET
TOWN OF STRASBURG, ADAMS COUNTY, COLORADO

Dig Safely. CALL UNCC
THREE WORKING DAYS BEFORE YOU DIG
1-800-922-1987
www.uncc.org
UTILITY NOTIFICATION CENTER OF COLORADO

FOR REVIEW
ONLY VALID FOR CONSTRUCTION
RELEASE: 05/27/22
DESIGNED BY: CFC
DRAWN BY: CFC
CHECKED BY: CFC
PROJECT NO. 01-0408.001.00
DOC CON # 0012-GESC_DTL
SHEET 12 OF 13

1853 MONROE STREET MINOR SUBDIVISION

CASE NO: PLT2022-00017

Part of the Southeast 1/4 of Section 33,
Township 3 South, Range 62 West of the 6th P.M.,
County of Adams, State of Colorado

Sheet 1 of 2

CERTIFICATE OF DEDICATION AND OWNERSHIP:

KNOW ALL MEN BY THESE PRESENTS THAT JOSEPH SUMIT, BEING THE OWNER OF THAT PART OF THE SOUTHEAST 1/4 OF SECTION 33, TOWNSHIP 3 SOUTH, RANGE 62 WEST OF THE 6TH PRINCIPAL MERIDIAN BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A TRACT OF LAND IN THE NE 1/4 OF THE SE 1/4 OF SECTION 33, TOWNSHIP 3 SOUTH, RANGE 62 WEST OF 6TH PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF SAID SECTION 33 WHICH IS 455.58 FEET, MORE OR LESS, DUE EAST OF THE NE CORNER OF A TRACT OF GROUND WHICH HAS BEEN HERETOFORE CONVEYED BY O.E. BRINEY TO JOINT SCHOOL DISTRICT NO. 31, THENCE SOUTH ALONG SAID EAST SECTION LINE 198 FEET TO A POINT, THENCE WEST 220.00 FEET TO A POINT, THENCE NORTH 198 FEET TO A POINT, THENCE EAST 220.00 FEET TO THE POINT OF BEGINNING,

EXCEPT THOSE PORTIONS CONVEYED TO THE COUNTY OF ADAMS, STATE OF COLORADO IN DEEDS RECORDED NOVEMBER 13, 2006 UNDER RECEPTION NO. 2006000999548, AND RECORDED JULY 3, 2007 UNDER RECEPTION NO. 2007000063927, COUNTY OF ADAMS, STATE OF COLORADO.

SAID PARCEL CONTAINS 35,630 SQUARE FEET OR 0.82 ACRES, MORE OR LESS

HAS BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF 1853 MONROE STREET MINOR SUBDIVISION, AND DO HEREBY GRANT TO THE COUNTY OF ADAMS, STATE OF COLORADO, FOR THE USE OF THE PUBLIC, THE EASEMENTS AND OTHER PUBLIC UTILITY, CABLE TV AND DETENTION POND AREAS, FLOODWAY AND FLOODPLAIN LIMITS, DRAINAGE AND OTHER PUBLIC PURPOSES AS DETERMINED BY THE COUNTY OF ADAMS.

JOSEPH SUMIT

ACKNOWLEDGEMENT

COLORADO }
ADAMS COUNTY } SS

THE FOREGOING PLAT AND DEDICATION WAS ACKNOWLEDGED BEFORE ME BY: JOSEPH SUMIT AS OWNER

THIS _____ DAY OF _____, 20____

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

MY ADDRESS IS: _____

SURVEYOR'S STATEMENT:

I, CURTIS D. HOOS, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY REPRESENTED BY THIS PLAT WAS MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND THIS PLAT ACCURATELY REPRESENTS SAID SURVEY TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY ME TO DETERMINE OWNERSHIP.

CURTIS D. HOOS, PLS 37971
FOR AND ON BEHALF OF:
AMERICAN WEST LAND SURVEYING CO.
A COLORADO CORPORATION

NOTES:

1) BASIS OF BEARINGS: THE EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 33, TOWNSHIP 3 SOUTH, RANGE 62 WEST OF THE 6TH P.M., IN ADAMS COUNTY, COLORADO, IS ASSUMED TO BEAR SOUTH 00°42'50" EAST, BEING MONUMENTED ON THE NORTH END BY A 3/4" REBAR WITH 3 1/4" ALUMINUM CAP, PLS 38064 IN MONUMENT BOX, AND ON THE SOUTH END BY A 3/4" REBAR WITH 3 1/4" ALUMINUM CAP, PLS 12330 IN MONUMENT BOX, AND WITH ALL BEARINGS SHOWN HEREON RELATIVE THERETO.

2) ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACTS ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.

3) CERTIFICATION DEFINED: THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" BY A REGISTERED PROFESSIONAL LAND SURVEYOR, IN THE PRACTICE OF LAND SURVEYING, CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OF FINDINGS WHICH ARE SUBJECT OF THE CERTIFICATION, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESS OR IMPLIED.

4) ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTIONS BASED UPON A DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

5) AMERICAN WEST LAND SURVEYING COMPANY RELIED UPON TITLE COMMITMENT PROVIDED BY LAND TITLE GUARANTEE COMPANY DATED JUNE 7, 2022, ORDER NO. RND70775384 FOR INFORMATION REGARDING EASEMENTS AND RIGHTS-OF-WAY OF RECORD

6) DISTANCES ON THIS DRAWING ARE EXPRESSED IN U.S. SURVEY FEET AND DECIMALS THEREOF. A U.S. SURVEY FOOT IS DEFINED AS EXACTLY 1200/3937 METERS.

7) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP DATED MARCH 5, 2007, MAP NO. 08001C1002H, THE SUBJECT PROPERTY SHOWN HEREON LIES WITHING FLOOD ZONE "X" (AREA OF MINIMAL FLOOD HAZARD).

PLANNING COMMISSION APPROVAL:

RECOMMENDED FOR APPROVAL BY THE ADAMS COUNTY PLANNING COMMISSION

THIS _____ DAY OF _____ A.D. 20____

CHAIR

BOARD OF COUNTY COMMISSIONERS APPROVAL:

APPROVED BY THE ADAMS COUNTY BOARD OF COUNTY COMMISSIONERS

THIS _____ DAY OF _____ A.D. 20____

CHAIR

ADAMS COUNTY ATTORNEY'S OFFICE:

APPROVED AS TO FORM

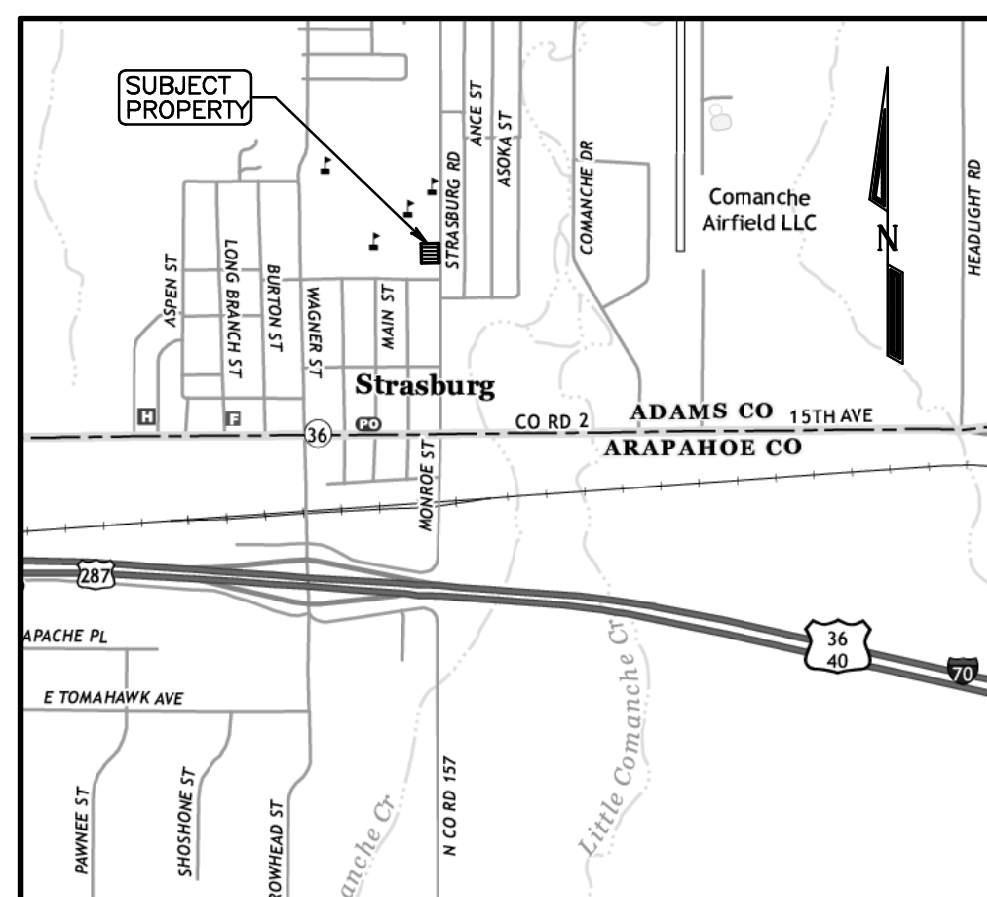
CLERK AND RECORDER'S CERTIFICATE:

THIS MAP WAS FILED FOR RECORD IN THE OFFICE OF ADAMS COUNTY CLERK AND RECORDER, IN THE STATE OF COLORADO,


AT _____ M. ON THE _____ DAY OF _____, A.D. 20____

BY: _____
DEPUTY _____ COUNTY CLERK AND RECORDER

RECEPTION NO. _____



VICINITY MAP: 1" = 2000'

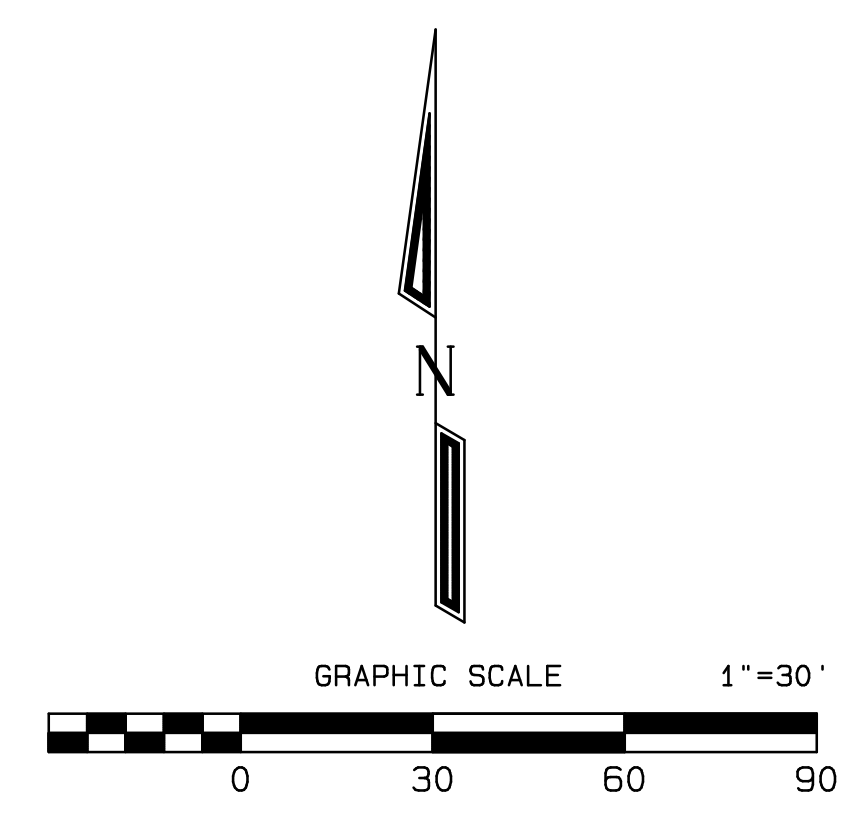
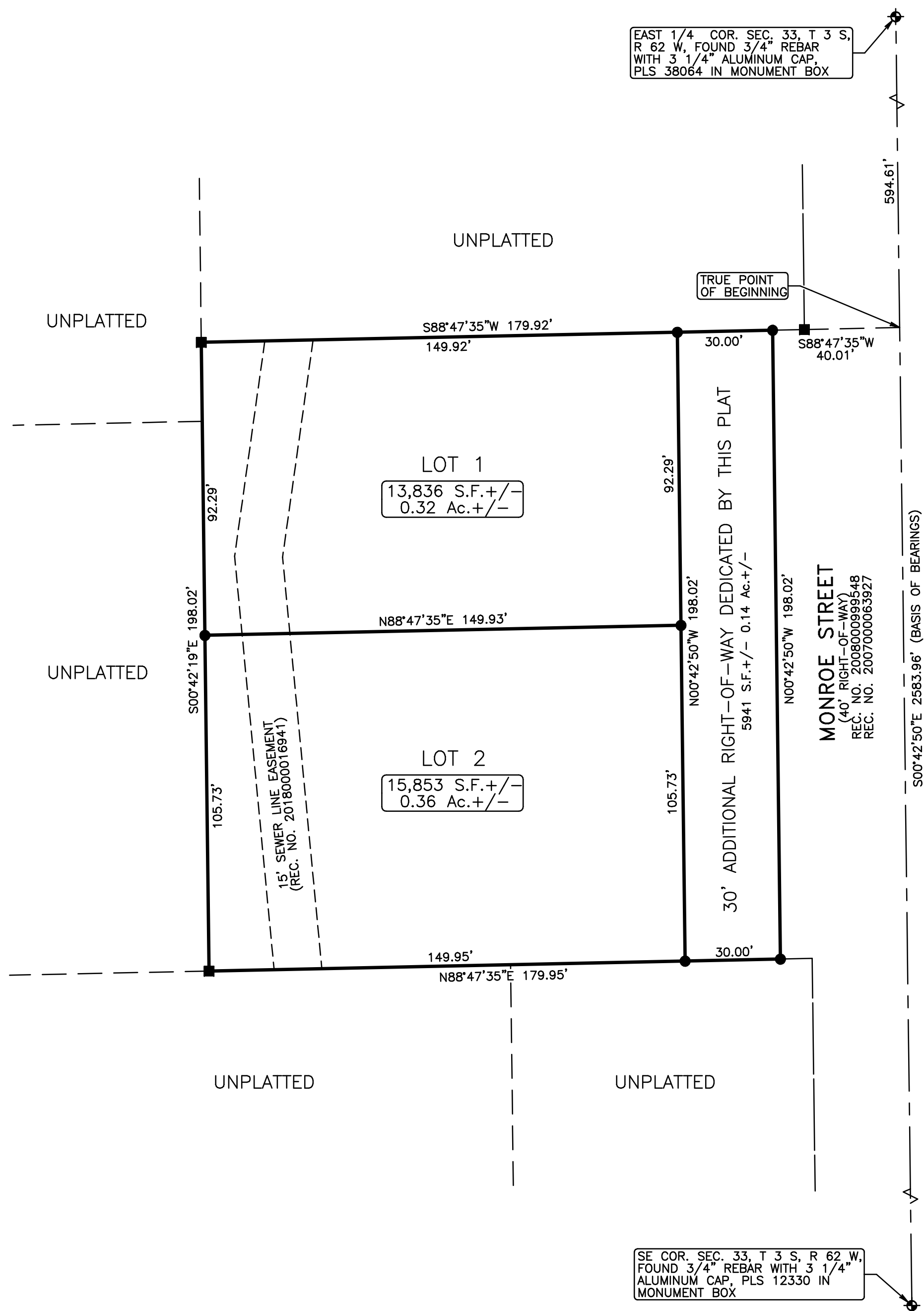
		
PO Box 129, Brighton, CO 80601 * P:303-659-1532 F:303-655-0575 * amwestls.com		
REVISION	DATE	SCALE 1" = 30'
		DATE: JUNE 27, 2022
		DRAWN BY: CDH
		CHECKED BY: MJH
		CLIENT: JOSEPH
		JOB NO: 22-
FILE: \\SERVER\Surveys\T_S\T3S_R62W\S33\S33\1853_MONROE_ST_SUB.pro		

1853 MONROE STREET MINOR SUBDIVISION

CASE NO: PLT2022-00017

Part of the Southeast 1/4 of Section 33,
Township 3 South, Range 62 West of the 6th P.M.,
County of Adams, State of Colorado

Sheet 2 of 2



LEGEND

- ⊕ = ALIQUOT MONUMENT, AS NOTED
- = SET 5/8" X 24" REBAR WITH 2" ALUMINUM CAP, PLS 37971
- = FOUND 5/8" REBAR WITH 1 1/4" RED PLASTIC CAP, PLS 38539

American West

Land Surveying Co.
A Colorado Corporation

PO Box 129, Brighton, CO 80601 * P:303-659-1532 F:303-655-0575 * amwestls.com

REVISION	DATE	SCALE 1" = 30'
		DATE: JUNE 27, 2022
		DRAWN BY: CDH
		CHECKED BY: MJH
		CLIENT: JOSEPH
		JOB NO: 22-

FILE: \\SERVER\Surveys\T_S\T3S_R62W\S33\S33\1853_MONROE_ST_SUB.pro



LAND TITLE GUARANTEE COMPANY

Date: November 14, 2023

Subject: Attached Title Policy/Guarantee

Enclosed please find your product relating to the property located at 1853 MONROE ST., STRASBURG, CO 80136.

If you have any inquiries or require further assistance, please contact SCOTT CIESLEWICZ at (303) 850-4189 or scieslewicz@ltgc.com

Chain of Title Documents:

[Adams county recorded 02/08/2018 under reception no. 2018000011536](#)

Property Information Binder

CONDITIONS AND STIPULATIONS

1. Definition of Terms

The following terms when used in this Binder mean:

- (a) "Land": The land described, specifically or by reference, in this Binder and improvements affixed thereto which by law constitute real property;
- (b) "Public Records"; those records which impart constructive notice of matters relating to said land;
- (c) "Date": the effective date;
- (d) "the Assured": the party or parties named as the Assured in this Binder, or in a supplemental writing executed by the Company;
- (e) "the Company" means Old Republic National Title Insurance Company, a Minnesota stock company.

2. Exclusions from Coverage of this Binder

The company assumes no liability including cost of defense by reason of the following:

- (a) Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; taxes and assessments not yet due or payable and special assessments not yet certified to the Treasurer's office.
- (b) Unpatented mining claims; reservations or exceptions in patents or in Acts authorizing the issuance thereof; water rights, claims or title to water.
- (c) Title to any property beyond the lines of the Land, or title to streets, roads, avenues, lanes, ways or waterways on which such land abuts, or the right to maintain therein vaults, tunnels, ramps, or any other structure or improvement; or any rights or easements therein unless such property, rights or easements are expressly and specifically set forth in said description.
- (d) Mechanic's lien(s), judgment(s) or other lien(s).
- (e) Defects, liens, encumbrances, adverse claims or other matters: (a) created, suffered or agreed to by the Assured;(b) not known to the Company, not recorded in the Public Records as of the Date, but known to the Assured as of the Date; or (c) attaching or creating subsequent to the Date.

3. Prosecution of Actions

- 1. The Company shall have the right at its own costs to institute and prosecute any action or proceeding or do any other act which in its opinion may be necessary or desirable to establish or confirm the matters herein assured; and the Company may take any appropriate action under the terms of this Binder, whether or not it shall be liable thereunder and shall not thereby concede liability or waive any provision hereof.
- 2. In all cases where the Company does not institute and prosecute any action or proceeding, the Assured shall permit the Company to use, at its option, the name of the Assured for this purpose. Whenever requested by the Company, the Assured shall give the Company all reasonable aid in prosecuting such action or proceeding, and the Company shall reimburse the Assured for any expense so incurred.

4. Notice of Loss - Limitation of Action

A statement in writing of any loss or damage for which it is claimed the Company is liable under this Binder shall be furnished to the Company within sixty days after such loss or damage shall have been determined, and no right of action shall accrue to the Assured under this Binder until thirty days after such statement shall have been furnished, and no recovery shall be had by the Assured under this Binder unless action shall be commenced thereon with two years after expiration of the thirty day period. Failure to furnish the statement of loss or damage or to commence the action within the time hereinbefore specified, shall be conclusive bar against maintenance by the Assured of any action under this Binder.

5. Option to Pay, Settle or Compromise Claims

The Company shall have the option to pay, settle or compromise for or in the name of the Assured any claim which could result in loss to the Assured within the coverage of this Binder, or to pay the full amount of this Binder. Such payment or tender of payment of the full amount of the Binder shall terminate all liability of the Company hereunder.

6. Limitation of Liability - Payment of Loss

- (a) The liability of the Company under this Binder shall be limited to the amount of actual loss sustained by the Assured because of reliance upon the assurances herein set forth, but in no event shall the liability exceed the amount of the liability stated on the face page hereof.
- (b) The Company will pay all costs imposed upon the Assured in litigation carried on by the Company for the Assured, and all costs and attorneys' fees in litigation carried on by the Assured with the written authorization of the Company.
- (c) No claim for loss or damages shall arise or be maintainable under this Binder (1) if the Company after having received notice of any alleged defect, lien or encumbrance not shown as an Exception or excluded herein removes such defect, lien or encumbrance within a reasonable time after receipt of such notice, or (2) for liability voluntarily assumed by the Assured in settling any claim or suit without written consent of the Company.
- (d) All payments under this Binder, except for attorney's fees as provided for in paragraph 6(b) thereof, shall reduce the amount of the liability hereunder pro tanto, and no payment shall be made without producing this Binder or an acceptable copy thereof for endorsement of the payment unless the Binder be lost or destroyed, in which case proof of the loss or destruction shall be furnished to the satisfaction of the Company.
- (e) When liability has been definitely fixed in accordance with the conditions of this Binder, the loss or damage shall be payable within thirty days thereafter.

7. Subrogation Upon Payment or Settlement

Whenever the Company shall have settled a claim under this Binder, all right of subrogation shall vest in the Company unaffected by any act of the Assured, and it shall be subrogated to and be entitled to all rights and remedies which the Assured would have had against any person or property in respect to the claim had this Binder not been issued. If the payment does not cover the loss of the Assured, the Company shall be subrogated to the rights and remedies in the proportion which the payment bears to the amount of said loss. The Assured, if requested by the Company, shall transfer to the Company all rights and remedies against any person or property necessary in order to perfect the right of subrogation, and shall permit the Company to use the name of the Assured in any transaction or litigation involving the rights or remedies.

8. Binder Entire Contract

Any action or actions or rights of action that the Assured may have or may bring against the Company arising out of the subject matter hereof must be based on the provisions of this Binder. No provision or condition of this Binder can be waived or changed except by a writing endorsed or attached hereto signed by the President, a Vice President, the Secretary, an Assistant Secretary or other validating officer of the Company.

9. Notices. Where Sent

All notices required to be given the Company and any statement in writing required to be furnished the Company shall be addressed to it at 400 Second Avenue South, Minneapolis, Minnesota 55401, (612) 371-1111.

10. Arbitration

Unless prohibited by applicable law, either the Company or the insured may demand arbitration pursuant to the Title Insurance Arbitration Rules of the American Arbitration Association.

ANTI-FRAUD STATEMENT: Pursuant to CRS 10-1-128(6)(a), it is unlawful to knowingly provide false, incomplete or misleading facts or information to an insurance company for the purpose of defrauding or attempting to defraud the company. Penalties may include imprisonment, fines, denial of insurance and civil damages. Any insurance company or agent of an insurance company who knowingly provides false, incomplete, or misleading facts or information to a policyholder or claimant for the purpose of defrauding or attempting to defraud the policyholder or claimant with regard to a settlement or award payable from insurance proceeds shall be reported to the Colorado division of insurance within the department of regulatory agencies.

This anti-fraud statement is affixed and made a part of this policy.

Issued by:
Land Title Guarantee Company
3033 East First Avenue Suite 600
Denver, Colorado 80206
303-321-1880



Craig B. Rants, Senior Vice President



OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
A Stock Company
400 Second Avenue South, Minneapolis, Minnesota 55401
(612) 371-1111

By  President
Attest  Secretary


AMERICAN
LAND TITLE
ASSOCIATION



Old Republic National Title Insurance Company
PROPERTY INFORMATION BINDER

Order Number: RND70822091

Policy No.: PIB70822091.25737791

Liability: \$50,000.00

Fee: \$500.00

Subject to the exclusions from coverage, the limits of liability and other provisions of the Conditions and Stipulations hereto annexed and made a part of this Binder,

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY a Corporation, herein called the Company,

GUARANTEES

WESTERN ENGINEERING CONSULTANTS, INC.
LLC

Herein called the Assured, against loss, not exceeding the liability amount stated above, which the assured shall sustain by reason of any incorrectness in the assurance which the Company hereby gives that, according to the public records as of

October 23, 2023 at 5:00 P.M.

1. Title to said estate or interest at the date hereof is vested in:

SUMIT JOSEPH

2. The estate or interest in the land hereinafter described or referred to covered by this Binder :

FEE SIMPLE

3. The Land referred to in this Binder is described as follows:

A TRACT OF LAND IN THE NE 1/4 OF THE SE 1/4 OF SECTION 33, TOWNSHIP 3 SOUTH, RANGE 62 WEST OF 6TH PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF SAID SECTION 33 WHICH IS 455.58 FEET, MORE OR LESS, DUE EAST OF THE NE CORNER OF A TRACT OF GROUND WHICH HAS BEEN HERETOFORE CONVEYED BY O.E. BRINEY TO JOINT SCHOOL DISTRICT NO. 31 IN WARRANTY DEED RECORDED SEPTEMBER 29, 1917 IN BOOK 64 AT PAGE [273](#), THENCE SOUTH ALONG SAID EAST SECTION LINE 198 FEET TO A POINT, THENCE WEST 220.00 FEET TO A POINT, THENCE NORTH 198 FEET TO A POINT, THENCE EAST 220.00 FEET TO THE POINT OF BEGINNING,

EXCEPT THOSE PORTIONS CONVEYED TO THE COUNTY OF ADAMS, STATE OF COLORADO IN DEEDS RECORDED NOVEMBER 13, 2006 UNDER RECEPTION NO. [2006000999548](#), AND RECORDED JULY 3, 2007 UNDER RECEPTION NO. [2007000063927](#),

COUNTY OF ADAMS, STATE OF COLORADO.

Old Republic National Title Insurance Company

PROPERTY INFORMATION BINDER

Order Number: RND70822091

Policy No.: PIB70822091.25737791

4. The following documents affect the land:

1. EXISTING LEASES AND TENANCIES, IF ANY.
2. RESERVATIONS BY THE UNION PACIFIC UNION RAIL ROAD COMPANY OF (1) OIL, COAL AND OTHER MINERALS UNDERLYING THE LAND, (2) THE EXCLUSIVE RIGHT TO PROSPECT FOR, MINE AND REMOVE OIL, COAL AND OTHER MINERALS, AND (3) THE RIGHT OF INGRESS AND EGRESS TO PROSPECT FOR, MINE AND REMOVE OIL, COAL AND OTHER MINERALS AS DESCRIBED IN DEED RECORDED DECEMBER 14, 1906 IN BOOK 25 AT PAGE [166](#), AND ANY AND ALL ASSIGNMENTS THEREOF OR INTERESTS THEREIN.

QUITCLAIM DEED IN CONNECTION THEREWITH RECORDED APRIL 14, 1971 IN BOOK 1684 AT PAGE [281](#).

MINERAL DEED BY AND BETWEEN UNION PACIFIC RAILROAD CORPORATION, A UTAH CORPORATION, GRANTOR, AND CHAMPLIN PETROLEUM COMPANY, A DELAWARE CORPORATION, GRANTEE, RECORDED MAY 20, 1976 IN BOOK 2064 AT PAGE [801](#).

QUITCLAIM DEED IN CONNECTION THEREWITH RECORDED DECEMBER 17, 1976 IN BOOK 2110 AT PAGE [453](#) AND RE-RECORDED JANUARY 24, 1977 IN BOOK 2543 AT PAGE [669](#).

QUITCLAIM DEED IN CONNECTION THEREWITH RECORDED JANUARY 8, 1996 IN BOOK 4659 AT PAGE [485](#).

RELEASE AND QUITCLAIM DEED IN CONNECTION THEREWITH RECORDED NOVEMBER 23, 1998 UNDER RECEPTION NO. [C0470914](#).

REQUEST FOR NOTIFICATION OF SURFACE DEVELOPMENT AS EVIDENCED BY INSTRUMENT RECORDED MAY 20, 2002 UNDER RECEPTION NO. [C0971872](#).

DEED RECORDED FEBRUARY 6, 2020 UNDER RECEPTION NO. [2020000011990](#).
3. OIL AND GAS LEASE BETWEEN CHAMPLIN PETROLEUM COMPANY, A DELAWARE CORPORATION AND AMOCO PRODUCTION COMPANY, A DELAWARE CORPORATION, RECORDED JUNE 02, 1976 IN BOOK 2067 AT PAGE [100](#); AND RE-RECORDED JUNE 11, 1976 IN BOOK 2457 AT PAGE [76](#) (ARAPAHOE COUNTY RECORDS) AND ANY AND ALL ASSIGNMENTS THEREOF, OR INTEREST THEREIN.
4. OIL AND GAS LEASE BETWEEN CHAMPLIN PETROLEUM COMPANY, A DELAWARE CORPORATION AND AMOCO PRODUCTION COMPANY, A DELAWARE CORPORATION, RECORDED AUGUST 12, 1976 IN BOOK 2082 AT PAGE [672](#); AND RE-RECORDED AUGUST 31, 1976 IN BOOK 2489 AT PAGE [42](#) (ARAPAHOE COUNTY RECORDS) AND ANY AND ALL ASSIGNMENTS THEREOF, OR INTEREST THEREIN.

RATIFICATION OF LEASES IN CONNECTION THEREWITH RECORDED DECEMBER 10, 1990 IN BOOK 3735 AT PAGE [141](#).

NOTE: THE PRESENT OWNERSHIP OF THE LEASEHOLD CREATED BY SAID LEASE AND OTHER MATTERS AFFECTING THE INTEREST OF THE LESSEE ARE NOT SHOWN HEREIN.
5. ANY ASSESSMENT OR LIEN OF STRASBURG SANITATION AND WATER DISTRICT, AS DISCLOSED BY RESOLUTION RECORDED MAY 20, 2002 UNDER RECEPTION NO. [C0971960](#).
6. RIGHTS OF OTHERS IN AND TO, OVER AND ACROSS ANY PORTION OF SUBJECT PROPERTY LYING WITHIN MONROE STREET, IF ANY, AS DISCLOSED ON MAP. THE REFERENCED DOCUMENT IS STORED IN OUR SYSTEM AS IMAGE [63229433](#).
7. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN ZONING HEARING DECISION - CASE #RCU2006-00033 RECORDED OCTOBER 20, 2006 UNDER RECEPTION NO. [2006000991794](#).

Old Republic National Title Insurance Company

PROPERTY INFORMATION BINDER

Order Number: RND70822091

Policy No.: PIB70822091.25737791

8. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN AGREEMENT FOR TEMPORARY EASEMENT ENCROACHMENT RECORDED MARCH 09, 2007 UNDER RECEPTION NO. [2007000024979](#); FIRST AMENDMENT TO AGREEMENT FOR TEMPORARY EASEMENT ENCROACHMENT RECORDED DECEMBER 18, 2008 UNDER RECEPTION NO. [2008000097648](#).

AMENDED AND RESTATED AGREEMENT FOR TEMPORARY EASEMENT ENCROACHMENT RECORDED FEBRUARY 18, 2018 UNDER RECEPTION NO. [2018000016944](#).

9. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN RESOLUTION 2015-347 RECORDED AUGUST 05, 2015 UNDER RECEPTION NO. [2015000064252](#).
10. TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN SEWER EASEMENT AGREEMENT GRANTED UNTON STRASBURG SANITATION AND WATER DISTRICT RECORDED FEBRUARY 28, 2018 UNDER RECEPTION NO. [2018000016941](#).
11. DEED OF TRUST DATED JUNE 10, 2020 FROM SUMIT JOSEPH TO THE PUBLIC TRUSTEE OF ADAMS COUNTY FOR THE USE OF COYOTE CREEK CAPITAL TO SECURE THE SUM OF \$213,000.00, AND ANY OTHER AMOUNTS PAYABLE UNDER THE TERMS THEREOF, RECORDED JUNE 25, 2019, UNDER RECEPTION NO. [2019000049244](#).
12. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN Zoning resolution 2023-142 RECORDED JUNE 08, 2023 UNDER RECEPTION NO. [2023000032315](#).

NOTE: ADDITIONAL UPDATES TO THE EFFECTIVE DATE OF THE BINDER MAY BE REQUESTED BY THE PROPOSED INSURED. ONE UPDATE IS INCLUDED WITH THIS BINDER AT NO ADDITIONAL COST. ANY ADDITIONAL UPDATES WILL BE ISSUED AT THE COST OF \$135 PER UPDATE. FOR EACH UPDATE PROVIDED, A REVISED BINDER WILL BE ISSUED SHOWING A NEW EFFECTIVE DATE AND ANY MATTERS RECORDED SINCE THE EFFECTIVE DATE OF THE PREVIOUS BINDER.

THIS PRODUCT WILL ONLY BE UPDATED FOR 24 MONTHS FOLLOWING THE EFFECTIVE DATE OF THE ORIGINAL BINDER.

NOTE: THIS BINDER DOES NOT REFLECT THE STATUS OF TITLE TO WATER RIGHTS OR REPRESENTATION OF SAID RIGHTS, RECORDED OR NOT.

NOTE: THIS BINDER IS NOT A REPORT OR REPRESENTATION AS TO MINERAL INTERESTS, AND SHOULD NOT BE USED, OR RELIED UPON, IN CONNECTION WITH THE NOTICE REQUIREMENTS THAT ARE SET FORTH IN CRS 24-65.5-103.

**STRASBURG SANITATION
and WATER DISTRICT**
P.O. BOX 596
STRASBURG, CO 80136

Visit our website at www.strasburgwater.com

FIRST-CLASS MAIL
U.S. POSTAGE PAID
STRASBURG, CO
PERMIT NO. 3

TYPE OF SERVICE	METER READING		USED	CHARGES
	PRESENT	PREVIOUS		
Water	688	688	0	10.00
Sewage				17.00
EACMD Fee				44.00

CUSTOMER		DUE DATE PAST DUE AFTER THIS DATE
ROUTE	ACCOUNT	
1	346	11/15/21
TOTAL DUE UPON RECEIPT		PAST DUE AMOUNT
71.00		71.71

MAIL THIS STUB WITH YOUR PAYMENT

Service From 9/30/2021 TO 10/29/2021 ACCOUNT # 346 11/21

Prairie Learning Center
Joseph, Victor & Sumit
23657 E. Ellsworth Ave.
Aurora CO 80018

METER READ MONTH	DAY	CLASS	TOTAL DUE UPON RECEIPT	LATE CHARGE AFTER DUE DATE	PAST DUE AMOUNT
10	29	36	71.00	0.71	71.71

Bills are due and payable within 15 days from above date, delinquent thereafter and subject to 1.5% monthly interest penalty on all past due amount. May be paid at the Guaranty Bank in Strasburg.
Customer assumes full responsibility for knowledge of and compliance with the rules and regulations of the District. Copies available at District Office.

**STRASBURG SANITATION
and WATER DISTRICT**
P.O. BOX 596
STRASBURG, CO 80136

Visit our website at www.strasburgwater.com

FIRST-CLASS MAIL
U.S. POSTAGE PAID
STRASBURG, CO
PERMIT NO. 3

TYPE OF SERVICE	METER READING		USED	CHARGES
	PRESENT	PREVIOUS		
Water	773	773	0	10.00
Sewage				17.00
EACMD Fee				30.77

CUSTOMER		DUE DATE PAST DUE AFTER THIS DATE
ROUTE	ACCOUNT	
1	3	11/15/21
TOTAL DUE UPON RECEIPT		PAST DUE AMOUNT
57.77		58.35

MAIL THIS STUB WITH YOUR PAYMENT

1853 Monroe St.

Service From 9/30/2021 TO 10/29/2021 ACCOUNT # 3 11/21

Prairie Learning Center
Joseph, Victor & Sumit
23657 E. Ellsworth Ave.
Aurora CO 80018

METER READ MONTH	DAY	CLASS	TOTAL DUE UPON RECEIPT	LATE CHARGE AFTER DUE DATE	PAST DUE AMOUNT
10	29	1	57.77	0.58	58.35

Bills are due and payable within 15 days from above date, delinquent thereafter and subject to 1.5% monthly interest penalty on all past due amount. May be paid at the Guaranty Bank in Strasburg.
Customer assumes full responsibility for knowledge of and compliance with the rules and regulations of the District. Copies available at District Office.



5496 N. U.S. Highway 85 | Sedalia, CO 80135

Member Services
1-800-332-9540
Mon-Thu 7-7, Fri 7-5:30

Outages (24/7)
1-833-CORE-FIX

Email
MemberContact@CORE.coop

Online
www.CORE.coop

Twitter
@CORECooperative

Facebook
CORECooperative

Account Information	
Account Number	95570307
Member Name	DAVID LLC
Service Address	HOUSE 1853 MONROE ST
Cycle 13	Rate A District 6

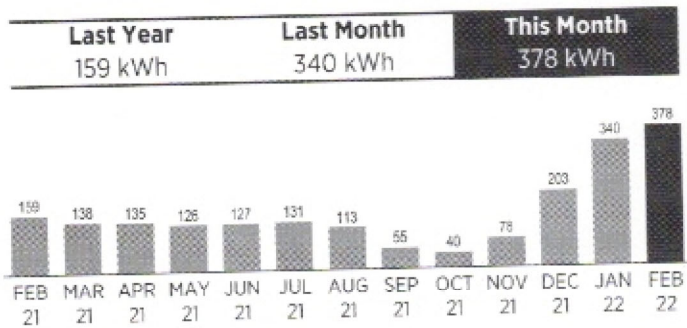
Account Summary	
Bill Date	02/17/22
Previous Bill	-\$124.64
Total Payments	\$0.00
Credit Balance	-\$124.64
Current Bill	\$64.92
Total Account Balance	-\$59.72

Account # 95570307

CREDIT BALANCE
No Payment Required

-\$59.72

Usage Profile



Avg Cost per day: \$2.02

Avg kWh per day: 12.6 kWh

Important Billing Information

CORE offers eBilling and Automatic Bill Pay to make receiving and paying your bills easier. To learn more or to enroll, visit www.CORE.coop/billing-payment.

Additional bill details on back

Message Board

A CORE App is Coming! An account management app for both iOS and Android devices will be available soon. It will allow you to pay your bill, contact us, view your billing history, set up personalized alerts and get the latest CORE updates. Visit www.CORE.coop for additional info.

Capital Credits Expected This Summer. We plan to refund capital credits in 2022, after our software upgrades are completed this spring.

PLEASE RETURN THIS PORTION WITH YOUR CHECK TO ENSURE PROPER CREDIT TO YOUR ACCOUNT

CYCLE: 1

CORE ELECTRIC COOPERATIVE
 CORE Electric Cooperative
 P.O. DRAWER A
 SEDALIA, CO 80135

Bill Date 02/17/22
 Account Number 95570307

Total Account Balance - \$59.7

CREDIT BALANCE - NO PAYMENT REQUIRE

MAKE CHECKS PAYABLE TO: CORE Electric Cooperative

Check box to update contact info, sign up for paperless billing or contribute to Energy Outreach Colorado. Fill out information on reverse side

CORE ELECTRIC COOPERATIVE
 P.O. BOX 6437
 CAROL STREAM IL 60197-6437



4568 1 AB 0.461 0165684-IRES199635-ST.1GRP_0-004568
 DAVID LLC
 C/O SUMIT JOSEPH
 23657 E ELLSWORTH AVE
 AURORA CO 80018-1556



0095570307 00005972 00006492 0095570307 1

LEGAL DESCRIPTION

According to Land Title Guaranty document

A TRACT OF LAND IN THE NE 1/4 OF THE SE 1/4 OF SECTION 33, TOWNSHIP 3 SOUTH, RANGE 62 WEST OF SIXTH PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF SAID SECTION 33 WHICH IS 455.58 FEET, MORE OR LESS, DUE EAST OF THE NE CORNER OF A TRACT OF GROUND WHICH HAS BEEN HERETOFORE CONVEYED BY O.E. BRINEY TO JOINT SCHOOL DISTRICT NO. 31, THENCE SOUTH ALONG SAID EAST SECTION LINE 198 FEET TO A POINT, THENCE WEST 220 FEET TO A POINT, THENCE NORTH 198 FEET TO A POINT, THENCE EAST 220 FEET TO THE POINT OF BEGINNING,

EXCEPT THOSE PORTIONS CONVEYED TO THE COUNTY OF ADAMS, STATE OF COLORADO IN DEEDS RECORDED NOVEMBER 13, 2006 UNDER RECEPTION NO. 2006000999548, AND RECORDED JULY 3, 2007 UNDER RECEPTION NO. 2007000063927,

COUNTY OF ADAMS, STATE OF COLORADO.



**TREASURER & PUBLIC TRUSTEE
ADAMS COUNTY, COLORADO
Certificate Of Taxes Due**

Account Number R0081742
Parcel 0181333400011
Assessed To
JOSEPH SUMIT
23657 E ELLSWORTH AVE
AURORA, CO 80018-1556

Certificate Number 2023-233284
Order Number
Vendor ID
VICTOR JOSEPH
23657 E ELLSWORTH AVE AURORA, CO 80018-1556

Legal Description **Situs Address**
SECT. TWN. RNG. 33-3-62 DESC. TRACT IN NE4 SE4 SEC 33 DESC BEG AT PT ON E LN SEC 33 WHICH IS 455/85 FT M/L DUE E 1853 MONROE ST
 OF NE COR OF TRACT CONVEYED TO SCHOOL DIST 31 TH S ALG E LN OF SD SEC 198 FT TO PT TH W 220 FT TH N 198 FT
 TH E 220 FT TO BEG EXC RD 0/7727A

Year	Tax	Interest	Fees	Payments	Balance
Tax Charge					
2022	\$10,217.58	\$206.45	\$0.00	(\$10,424.03)	\$0.00
Total Tax Charge					\$0.00
Grand Total Due as of 07/11/2023					\$0.00

Tax Billed at 2022 Rates for Tax Area 406 - 406

Authority	Mill Levy	Amount	Values	Actual	Assessed
RANGEVIEW LIBRARY DISTRICT	3.6150000*	\$383.30	COMM LND SPEC	\$74,052	\$21,480
FIRE DISTRICT 8 - STRASBURG	12.6140000	\$1,337.46	PURPOS		
ADAMS COUNTY	26.9670000	\$2,859.31	SPECIAL PURPOSE	\$291,548	\$84,550
NORTH KIOWA BIJOU GROUND WA	0.0230000	\$2.44	Total	\$365,600	\$106,030
SD 31	44.1360000	\$4,679.74			
STRASBURG PARK & RECREATION	5.0100000	\$531.21			
STRASBURG WATER & SANITATIO	4.0000000	\$424.12			
Taxes Billed 2022	96.3650000	\$10,217.58			
* Credit Levy					

ALL TAX SALE AMOUNTS ARE SUBJECT TO CHANGE DUE TO ENDORSEMENT OF CURRENT TAXES BY THE LIENHOLDER OR TO ADVERTISING AND DISTRAINT WARRANT FEES. CHANGES MAY OCCUR; PLEASE CONTACT THE TREASURY PRIOR TO MAKING A PAYMENT AFTER AUGUST 1. TAX LIEN SALE REDEMPTION AMOUNTS MUST BE PAID BY CASH OR CASHIER'S CHECK.

SPECIAL TAXING DISTRICTS AND THE BOUNDARIES OF SUCH DISTRICTS MAY BE ON FILE WITH THE BOARD OF COUNTY COMMISSIONERS, THE COUNTY CLERK, OR, THE COUNTY ASSESSOR.

This certificate does not include land or improvements assessed under a separate account number, personal property taxes, transfer tax, or, miscellaneous tax collected on behalf of other entities, special or local improvement district assessments, or mobile homes, unless specifically mentioned.

I, the undersigned, do hereby certify that the entire amount of taxes due upon the above described parcels of real property and all outstanding lien sales for unpaid taxes as shown by the records in my office from which the same may still be redeemed with the amount required for redemption on this date are as noted herein. In witness whereof, I have hereunto set my hand and seal.

TREASURER & PUBLIC TRUSTEE, ADAMS COUNTY,

Alexander L Villagran

4430 S. Adams County Parkway
Brighton, CO 80601



CERTIFICATION OF NOTICE TO MINERAL ESTATE OWNERS

I/We, SUMIT JOSEPH
(the "Applicant") by signing below, hereby declare and certify as follows:

With respect to the property located at:
Physical Address: 1853 Monroe Street, Strasburg, CO 80136
Legal Description: See attached sheet

Parcel #(s): 0181333400011

(PLEASE CHECK ONE):

S Joseph On the 31th day of March, 2022, which is not less than thirty days before the initial public hearing, notice of application for surface development was provided to mineral estate owners pursuant to section 24-65.5-103 of the Colorado Revised Statutes;
or
 I/We have searched the records of the Adams County Tax Assessor and the Adams County Clerk and Recorder for the above identified parcel and have found that no mineral estate owner is identified therein.

Date: 3-17-2022 Applicant: Sumit Joseph

By: Sumit Joseph
Print Name: Sumit Joseph
Address: 23657 E Ellsworth Avenue
Aurora, CO 80018-1556

STATE OF COLORADO)
)
COUNTY OF ADAMS)

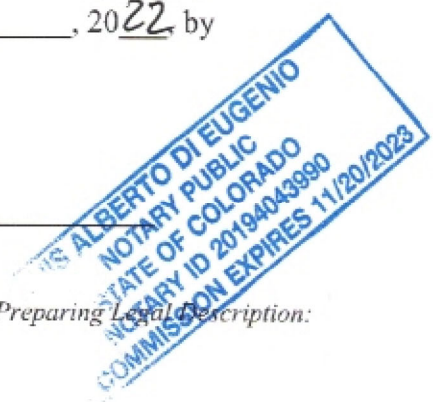
Subscribed and sworn to before me this 17th day of March, 2022 by
Sumit Joseph

Witness my hand and official seal.

My Commission expires: 11-20-23

[Signature]

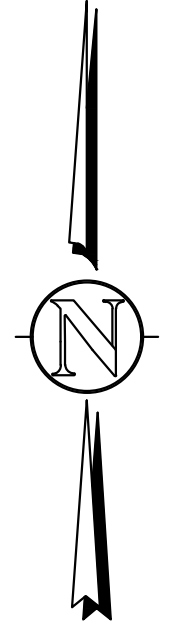
Notary Public



After Recording Return To:

Name and Address of Person Preparing Legal Description:

A recorded copy of this Certification shall be submitted to the Adams County Community and Economic Development Department with all applicable land use applications.



80 40 0 80 160
 FULL SCALE: 1" = 80'
 HALF SCALE: 1" = 160'

FUTURE ROW EXHIBIT
JOSEPH MINOR SUBDIVISION
 1853 MONROE STREET
 TOWN OF STRASBURG, ADAMS COUNTY, COLORADO

Dig Safely.
 CALL UNCC
 THREE WORKING DAYS
 BEFORE YOU DIG
 1-800-922-1987
 www.uncc.org
 UTILITY NOTIFICATION
 CENTER OF COLORADO

FOR REVIEW

ONLY VALID FOR CONSTRUCTION
 OF SIA & IRONIC STRUCTURE
 BLACK POLYESTER SHEET

INITIAL PLAN
 RELEASE: 08/26/22
 DESIGNED BY: CFC
 DRAWN BY: CFC
 CHECKED BY: CFC

PROJECT NO.
 01-0408.001.00
 DOC CON #
 0001-ROW
 SHEET
 1 OF 1

NO.	REVISION	DATE	BY
1	INITIAL RELEASE	08/26/22	CFC

CONTACT
 VICTOR JOSEPH
 1853 MONROE STREET
 STRASBURG, CO 80136
 victorj@uncc.com

Western Engineering Consultants, Inc LLC

127 S. DENVER AVE
 FT. LUTON, CO 80621
 www.westerneci.com
 email@westerneci.com
 (720) 885-9951
 FAX (720) 294-1330

Record PLT2022-00017:

PLT - Subdivision

Record Status: Awaiting Client Reply

Downloaded 5/23/2022

WEC RESPONSES – 11/22/2023

Planner Review

Due on 05/04/2022, assigned to Libby Tart

Marked as Resubmittal Required on 05/13/2022 by Libby Tart

Comment:

PLN1: The applicant is requesting a Minor Subdivision to subdivide one lot of 0.818 acres into two lots – Lot 1 0.38 acres and Lot 2 0.44 acres. The zoning is R-1-C and both lots must conform to the R-1-C standards for minimum lot width and size.

Response: Proposed lot size and R-1-C dimensions were previously met.

PLN2: The minimum lot size for internal lots shall be 7,000 s.f., with a minimum lot width of 65-feet. Both lots meet this requirement with Lot 1 being 92-feet in width and 16,605 s.f. and Lot 2 being 105.75 feet in width and 19,024 s.f. in size.

Response: Noted

PLN3: While this is a subdivision request and not a site plan/building permit request, the applicant should note the following for future building permit applications: • Lot 1's garage must be setback from the primary structure, per R-1-C zone district requirements for accessory structures. • Lot 2's existing residence was used as a commercial daycare and likely requires a change of use if converted back to a residence or a use outside of a daycare. Please work with the Building Division to determine this.

Response: Noted

PLN4: Engineering and right-of-way are noting larger comments due to the location being on a minor arterial street and the dedication of right-of-way and easements for this. Please review their comments and work with your consultant on drafting the minor subdivision plat to bring it into conformance with their requirements. Our engineer will be discussing the street section further with our Public Works Department.

Response: Noted

Geological Survey Review

Due on 05/04/2022, assigned to TBD

Marked as Complete on 05/13/2022 by Libby Tart

Comment: Colorado Geological Survey has reviewed the Joseph Minor Subdivision referral. I understand the applicant proposes to subdivide one lot of 0.818 acres, physical address 1853 Monroe Street, Strasburg, creating two residential lots. Proposed Lot 1, 0.38 acre, contains an existing residence. Proposed Lot 2, 0.44 acre, contains a former daycare building. No geologic hazards are known or suspected to be present that would preclude approval of the two-lot subdivision as proposed. CGS therefore has no objection to approval of PLT2022-00017. Mineral resource potential. According to the Atlas of Sand, Gravel, and Quarry Aggregate Resources, Colorado Front Range Counties (Schwochow et al, Colorado Geological Survey Special Publications 5-A, Plate 2, and 5-B, Roper School Quadrangle, 1974), the subject property does not contain a mapped aggregate resource. Thank you for the opportunity to review and comment on this project. If you have questions or require additional review, please call me at (303) 384-2643, or e-mail carlson@mines.edu. Sincerely, Jill Carlson, C.E.G. Engineering Geologist.

Response: Noted

PLT2022-00017
Joseph Minor Subdivision
Engineering Review Comments
WEC Responses – 11/22/2023

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C1002H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; A floodplain use permit will not be required.

Response: Noted

ENG2: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is NOT within the County's MS4 Stormwater Permit area. The installation of erosion and sediment control BMPs are expected. The applicant will be required to obtain a State of Colorado COR-400000 Stormwater permit. The County requires that a copy of that permit be submitted to the County prior to issuance of any construction permits.

Response: Erosion and Sediment Control Plans were previously provided. The CDPHE states that the COR-400000 permit is for construction activities that disturb greater than one acre. As this project will disturb less than one acre, a COR-400000 permit has not been provided at this time.

ENG3: Prior to scheduling the final plat/FDP BOCC hearing, the developer is required to submit for review and receive approval of all construction documents (construction plans and reports). Construction documents shall include, at a minimum, onsite and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet the requirements of the Adams County Development Standards and Regulations. The developer shall submit to the Adams County Development Review Engineering division the following: Engineering Review Application, Engineering Review Fee, two (2) copies of all construction documents. The development review fee for an Engineering Review is dependent on the type of project and/or the size of the project. The Development Review fee can be found in the Development Services Fee Schedule, located on the following web page: <http://www.adcogov.org/one-stop-customer-center>.

Response: Noted

ENG4: Monroe St is classified as a “Regional Arterial/Major Arterial (Rural)” roadway. The developer is required to construct roadway improvements adjacent to the proposed site. Roadway improvements will consist of buildout of the improvements shown in the County’s “Regional Arterial/Major Arterial (Rural)” roadway cross-section, any roadway improvements as required by the approved traffic impact study.

Response: Additional 30 ft Right-of-Way has been included in the undated Plat and Site Plan. A waiver from Subdivision Design Standards has been submitted. At the site, and north and south of this site, the existing road is +/- 42 ft wide with houses and back yards that will have to be removed for the full build-out of the 140 ft ROW dedication (see enclosed exhibit - showing that it is not possible to meet this requirement without major/expensive demolition of existing homes and yards).

The improvements shown in the “Regional Arterial/Major Arterial (Rural)” cross-section cannot be constructed with this development. The applicant should apply for a waiver to the County’s subdivision standards to allow the requirement for the construction of these improvements be waived by the Board of County Commissioners.

Response: A Waiver from Subdivision Design Standards has been submitted, enclosed is the email from the Adams County EPermit.

ENG5: Prior to the issuance of any construction or building permits, the developer shall enter into a Subdivision Improvements Agreement (SIA) with the County and provide a security bond for all public improvements.

Response: Noted

ENG6: No building permits will be issued until all public improvements have been constructed, inspected and preliminarily accepted by the County's Transportation Dept.

Response: Noted

ENG7: The developer is responsible for the repair or replacement of any broken or damaged section of curb gutter and sidewalk or other County owned infrastructure damaged by the construction of improvements for this development.

Response: Noted

ENG8: LOW IMPACT DEVELOPMENT (LID) STANDARDS AND REQUIREMENTS Section 9-01-03-14: All construction projects shall reduce drainage impacts to the maximum extent practicable, and implement practices such as:

1. On-site structural and non-structural BMPs to promote infiltration, evapo-transpiration or use of stormwater,
2. Minimization of Directly Connected Impervious Area (MDCIA),
3. Green Infrastructure (GI),
4. Preservation of natural drainage systems that result in the infiltration, evapo-transpiration or use of stormwater in order to protect water quality and aquatic habitat.
5. Use of vegetation, soils, and roots to slow and filter stormwater runoff.
6. Management of stormwater as a resource rather than a waste product by creating functional, attractive, and environmentally friendly developments.
7. Treatment of stormwater flows as close to the impervious area as possible.

LID shall be designed and maintained to meet the standards of these Regulations and the Urban Drainage and Flood Control District's Urban Storm Drainage Criteria Manual, Volume 3.

Response: Noted

ENG9: If the applicant is proposing to install over 3,000 square feet of impervious area on the project site, a drainage report and drainage plans in accordance to Chapter 9 of the Adams County Development Review Manual, are required to be completed by a registered professional engineer and submitted to Adams County for review and final approval.

Response: Noted. Over 3,000 sf of impervious area will not be installed, a drainage narrative detailing this has been provided.

The County does offer relief to the Stormwater Detention requirements when the proposal is for a rural lot-split. The applicant is welcome to request this relief.

Response: Noted. This relief has been requested in the provided drainage narrative.

1853 MONROE STREET MINOR SUBDIVISION

CASE NO: PLT2022-00017

Case No. Added

Part of the Southeast 1/4 of Section 33,
Township 3 South, Range 62 West of the 6th P.M.,
County of Adams, State of Colorado

Sheet 1 of 2

CERTIFICATE OF DEDICATION AND OWNERSHIP:

KNOW ALL MEN BY THESE PRESENTS THAT JOSEPH SUMIT, BEING THE OWNER OF THAT PART OF THE SOUTHEAST 1/4 OF SECTION 33, TOWNSHIP 3 SOUTH, RANGE 62 WEST OF THE 6TH PRICIPAL MERIDIAN BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

ALL OF THAT PROPERTY DESCRIBED IN DEED RECORDED FEBRUARY 8, 2018 AS RECEPTION NO. 2018000011536 IN THE RECORDS OF THE CLERK AND RECORDER FOR ADAMS COUNTY, COLORADO;

CONSIDERING THE EAST LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 33 TO BEAR SOUTH 00°42'50" EAST, BEING MONUMENTED ON THE NORTH END BY A 3/4" REBAR WITH 3 1/4" ALUMINUM CAP, PLS 38064 IN MONUMENT BOX, AND ON THE SOUTH END BY A 3/4" REBAR WITH 3 1/4" ALUMINUM CAP, PLS 12330 IN MONUMENT BOX, AND WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;

COMMENCING EAST, COINCIDENT WITH THE EAST LINE OF SAID SECTION 33; THENCE SOUTH 00°42'50" EAST, COINCIDENT WITH THE EAST LINE OF SAID SECTION 33, A DISTANCE OF 8'47'35" WEST, COINCIDENT WITH THE EASTERLY CORNER OF SAID SECTION 33; THENCE SOUTH 00°42'19" EAST, COINCIDENT WITH THE EAST LINE OF SAID PARCEL, A DISTANCE OF 179.92 FEET TO THE SOUTH LINE OF SAID PARCEL, A DISTANCE OF 179.95 FEET TO THE WEST RIGHT-OF-WAY LINE OF MONROE STREET; THENCE NORTH 00°42'50" WEST, COINCIDENT WITH SAID WEST RIGHT-OF-WAY LINE, A DISTANCE OF 198.02 FEET TO THE TRUE POINT OF BEGINNING.

SAID PARCEL CONTAINS 35,630 SQUARE FEET OR 0.82 ACRES, MORE OR LESS

HAS BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF THOMPSON MINOR SUBDIVISION, AND DO HEREBY GRANT TO THE COUNTY OF ADAMS, STATE OF COLORADO, FOR THE USE OF THE PUBLIC, THE EASEMENTS AND OTHER PUBLIC UTILITY, CABLE TV AND DETENTION POND AREAS, FLOODWAY AND FLOODPLAIN LIMITS, DRAINAGE AND OTHER PUBLIC PURPOSES AS DETERMINED BY THE COUNTY OF ADAMS.

JOSEPH SUMIT

ACKNOWLEDGEMENT

COLORADO }
ADAMS COUNTY } SS

THE FOREGOING PLAT AND DEDICATION WAS ACKNOWLEDGED BEFORE ME

BY: JOSEPH SUMIT

THIS _____ DAY OF _____, 20____

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

MY ADDRESS IS: _____

SURVEYOR'S STATEMENT:

I, CURTIS D. HOOS, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY REPRESENTED BY THIS PLAT WAS MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND THIS PLAT ACCURATELY REPRESENTS SAID SURVEY TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY ME TO DETERMINE OWNERSHIP.

CURTIS D. HOOS, PLS 37971
FOR AND ON BEHALF OF:
AMERICAN WEST SURVEYING CO.
A COLORADO CORPORATION

PLANNING COMMISSION APPROVAL
RECOMMENDED FOR APPROVAL BY THE ADAMS COUNTY PLANNING COMMISSION THIS _____ DAY OF _____ A.D. 202_

CHAIR

ADAMS COUNTY ATTORNEY'S OFFICE
APPROVED AS TO FORM

BOARD OF COUNTY COMMISSIONERS' APPROVAL
APPROVED BY THE ADAMS COUNTY BOARD OF COUNTY COMMISSIONERS THIS _____ DAY OF _____ A.D. 202_

CHAIR

BOARD OF COUNTY COMMISSIONERS APPROVAL:

APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS THIS _____

DAY OF _____, 20____

CHAIRMAN

NOTES:

1) BASIS OF BEARINGS: THE EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 33, TOWNSHIP 3 SOUTH, RANGE 62 WEST OF THE 6TH P.M., IN ADAMS COUNTY, COLORADO, IS ASSUMED TO BEAR SOUTH 00°42'50" EAST, BEING MONUMENTED ON THE NORTH END BY A 3/4" REBAR WITH 3 1/4" ALUMINUM CAP, PLS 38064 IN MONUMENT BOX, AND ON THE SOUTH END BY A 3/4" REBAR WITH 3 1/4" ALUMINUM CAP, PLS 12330 IN MONUMENT BOX, AND WITH ALL BEARINGS SHOWN HEREON RELATIVE THERETO.

2) ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.

3) CERTIFICATION DEFINED: THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" BY A REGISTERED PROFESSIONAL LAND SURVEYOR, IN THE PRACTICE OF LAND SURVEYING, CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OF FINDINGS WHICH ARE SUBJECT OF THE CERTIFICATION, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESS OR IMPLIED.

4) ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTIONS BASED UPON A DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

5) THIS SURVEYING DATE

6) DISTANCES ON THIS DRAWING ARE EXPRESSED IN U.S. SURVEY FEET AND DECIMALS THEREOF. A U.S. SURVEY FOOT IS DEFINED AS EXACTLY 1200/3937 METERS.

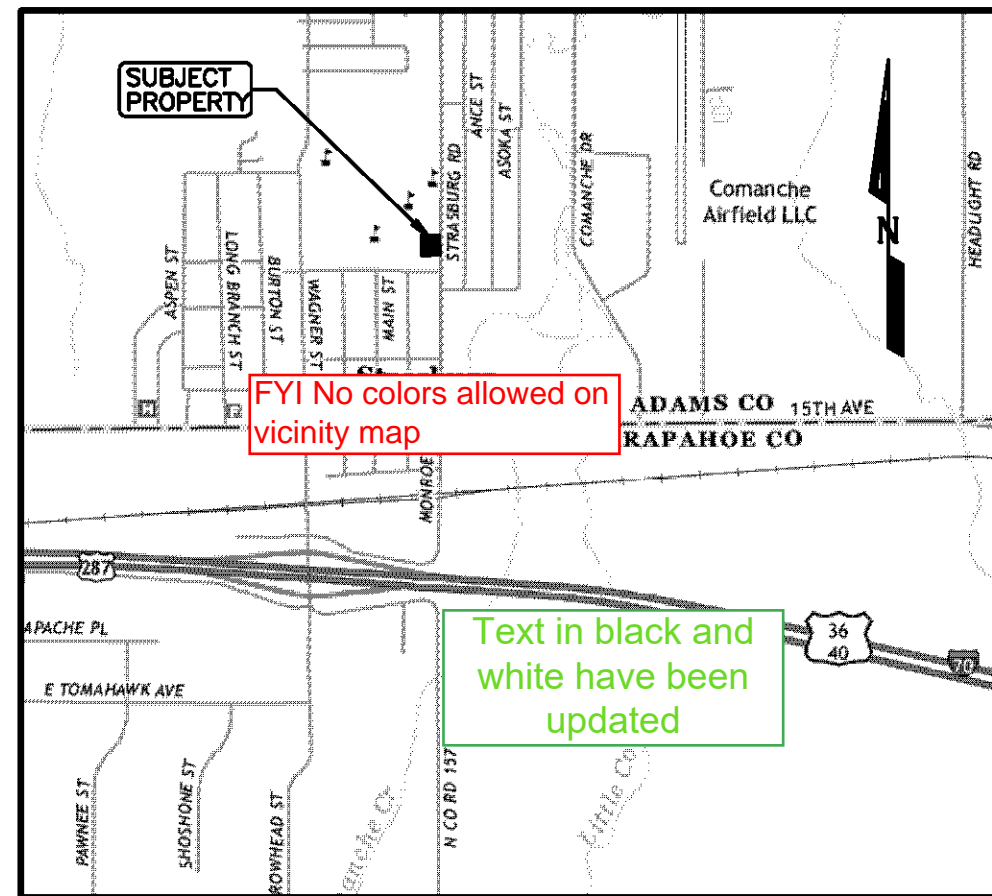
CLERK AND RECORDER'S CERTIFICATE:

THIS MAP WAS FILED FOR RECORD IN THE OFFICE OF ADAMS COUNTY CLERK AND RECORDER, IN THE STATE OF COLORADO,

AT _____ M. ON THE _____ DAY OF _____, A.D. 20____

BY: _____ DEPUTY COUNTY CLERK AND RECORDER

RECEPTION NO. _____



VICINITY MAP: 1" = 2000'

This legal description must match that of the title commitment. Title commitment needs to be updated to within 30 days of application and the note revised referencing this commitment

Corrections have been made

Must match verbatim

FYI No colors allowed on vicinity map

Text in black and white have been updated

Revised, and Title is included

Text has been added

Formatting:
Move the notes above all signature/ approval blocks in the following order:
Planning Commission
Board of County Commissioners
County Attorney's Office
Clerk and Recorder

Flood Plain Note
Storm Drainage Facilities Statement if applicable

Not Applicable

Removed texts

American West Land Surveying Co.
A Colorado Corporation
PO Box 129, Brighton, CO 80601 * P:303-659-1532 F:303-655-0575 * amwestls.com

REVISION	DATE	SCALE 1" = 30'
		DATE: MARCH 18, 2022
		DRAWN BY: CDH
		CHECKED BY: MJH
		CLIENT: JOSEPH
		JOB NO: 22-

FILE: Z:\T_S\T3S_R62W\S33\S33\1853 MONROE ST_SUB.pro

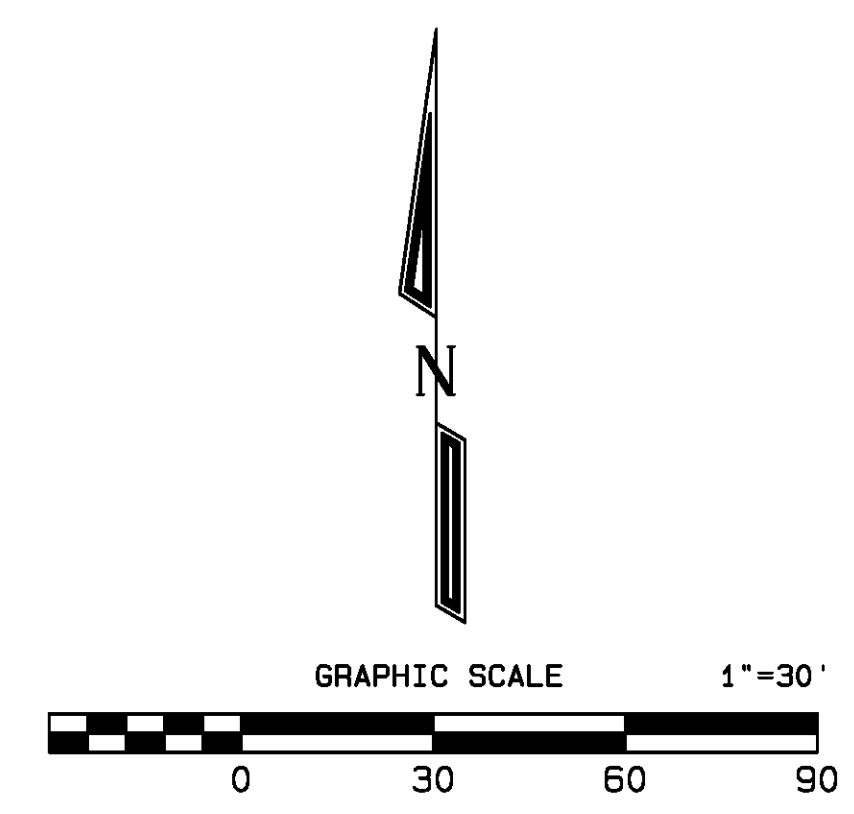
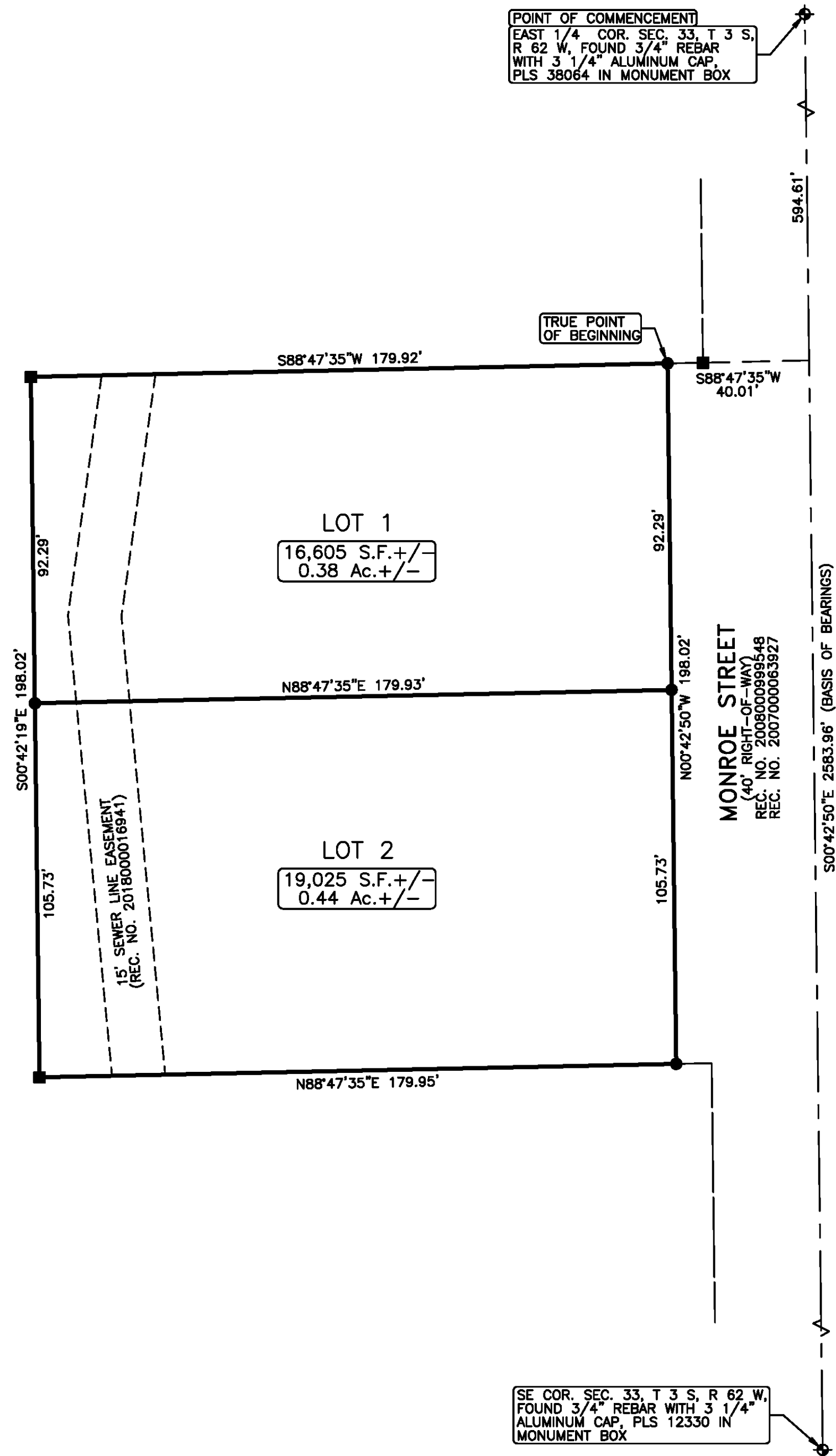
1853 MONROE STREET MINOR SUBDIVISON

Part of the Southeast 1/4 of Section 33,
Township 3 South, Range 62 West of the 6th P.M.,
County of Adams, State of Colorado

Sheet 2 of 2

CASE NO:

Case No. Added



LEGEND

- ⊕ = ALIQUOT MONUMENT, AS NOTED
- = SET 5/8" X 24" REBAR WITH 2" ALUMINUM CAP, PLS 37971
- = FOUND 5/8" REBAR WITH 1 1/4" RED PLASTIC CAP, PLS 38539

American West
Land Surveying Co.
A Colorado Corporation

PO Box 129, Brighton, CO 80601 * P:303-659-1532 F:303-655-0575 * amwestls.com

REVISION	DATE	SCALE 1" = 30'
		DATE: MARCH 18, 2022
		DRAWN BY: CDH
		CHECKED BY: MJH
		CLIENT: JOSEPH
		JOB NO: 22-

FILE: Z:\T_S\T3S_R62W_S33\S33\1853 MONROE ST_SUB.pro