



PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN

Application submittals must include all documents on this checklist as well as this page. Please use the reference guide (pg. 2) included in this packet for more information on each submittal item.

All applications shall be submitted electronically to epermitcenter@adcogov.org. If the submittal is too large to email as an attachment, the application may be sent as an unlocked OneDrive link. Alternatively, the application may be delivered on a flash drive to the One-Stop Customer Service Center. All documents should be combined in a single PDF. Once a complete application has been received, fees will be invoiced and payable online at <https://permits.adcogov.org/CitizenAccess/>.

1. Development Application Form (pg. 4)
2. Application Fees (see table) To be paid after application accepted.
3. Written Explanation of the Project
4. Site Plan Showing Proposed Development
5. Copy of Final Development Plan
6. Application for Final Plat, including:
 - All Applicable Engineering Documents Included in separate PDF.
7. Proof of Ownership (warranty deed or title policy)
8. Proof of Water and Sewer Services
9. Proof of Utilities (e.g. electric, gas)
10. Legal Description
11. Certificate of Taxes Paid Initial submittal requirement waived - due by Final Hearings.

Applications Fees	Amount	Due
Final Development Plan	\$2,200	After complete application received
Application for Final Plat	See Associated Application Fees	After complete application received
Copying	\$5 per page	Prior to Final Public Hearing
Recording	\$13 (first page); \$10 (ea. additional)	Prior to Final Public Hearing

Planned Unit Development – Final Development Plan Guide to Development Application Submittal

All development application submittals shall comprise of one (1) electronic copy (emailed or delivered on a USB). **Application submittals that do not conform to these guidelines shall not be accepted.**

3. Written Explanation of the Project:

- A clear and concise, yet thorough, description of the proposal. Please include, if applicable, timeframe, purpose of project, and improvements that will be made to the site

4. Site Plan Showing Proposed Development:

- A detailed drawing of existing and proposed improvements
- Including:
 - Streets, roads, and intersections
 - Driveways, access points, and parking areas
 - Existing and proposed structures, wells, and septic systems,
 - Easements, utility lines, and no build or hazardous areas
 - Scale, north arrow, and date of preparation
- An Improvement Location Certificate or Survey may be required during the official review

5. Copy of Final Development Plan:

- Site specific development plan, which describes and establishes the type and intensity of uses for a specific parcel or parcels of land.
- Includes a final subdivision plat, development agreement, and utility plan, as well as any detailed engineering that may be required.

6. Application for Final Plat:

- The final map and engineering documents of all or a portion of a subdivision, which is presented for final approval.
- Plat requirements are included in the application packet.

7. Proof of Ownership:

- A deed may be found in the Office of the Clerk and Recorder
- A title commitment is prepared by a professional title company

8. Proof of Water:

- Public utilities-A written statement from the appropriate water district indicating that they will provide service to the property **OR** a copy of a current bill from the service provider
- Private utilities- Well permit(s) information can be obtained from the Colorado State Division of Water Resources at (303) 866-3587

8. Proof of Sewer:

- Public utilities-A written statement from the appropriate sanitation district indicating that they will provide service to the property **OR** a copy of a current bill from the service provider
- Private utilities-A written statement from Tri-County Health indicating the viability of obtaining Onsite Wastewater Treatment Systems

9. Proof of Utilities (Gas, Electric, etc):

- A written statement from the appropriate utility provider indicating that they will provide service to the property
- Copy of a current bill from the service provider

10. Legal Description:

- Geographical description used to locate and identify a property
- Visit <http://gisapp.adcogov.org/quicksearch/> to find the legal description for your property

11. Certificate of Taxes Paid:

- All taxes on the subject property must be paid in full. Please contact the Adams County Treasurer's Office
- Or <http://adcogov.org/index.aspx?NID=812>



Application Type:

<input type="checkbox"/> Conceptual Review	<input type="checkbox"/> Preliminary PUD	<input type="checkbox"/> Temporary Use
<input type="checkbox"/> Subdivision, Preliminary	<input type="checkbox"/> Final PUD	<input type="checkbox"/> Variance
<input type="checkbox"/> Subdivision, Final	<input type="checkbox"/> Rezone	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Plat Correction/ Vacation	<input type="checkbox"/> Special Use	<input checked="" type="checkbox"/> Other: <u>Final Development Plan</u>

PROJECT NAME:

APPLICANT

Name(s): Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

OWNER

Name(s): Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

TECHNICAL REPRESENTATIVE (Consultant, Engineer, Surveyor, Architect, etc.)

Name: Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

DESCRIPTION OF SITE

Address:

City, State, Zip:

Area (acres or square feet):

Tax Assessor Parcel Number:

Existing Zoning:

Existing Land Use:

Proposed Land Use:

Have you attended a Conceptual Review? YES NO (N/A)

If Yes, please list PRE#:

I hereby certify that I am making this application as owner of the above described property or acting under the authority of the owner (attached authorization, if not owner). I am familiar with all pertinent requirements, procedures, and fees of the County. I understand that the Application Review Fee is non-refundable. All statements made on this form and additional application materials are true to the best of my knowledge and belief.

Name:

Date:

Owner's Printed Name

Name:

Owner's Signature

March 27, 2023

Greg Barnes
Principal Planner
Adams County Community and Economic Development
4430 South Adams County Parkway, 1st Floor, Suite W2000A
Brighton, CO 80601

RE: Clear Creek Transit Village – Final Development Plan and Final Plat

Dear Mr. Barnes,

On behalf of our clients, Clear Creek Development, LLC, we are pleased to submit the Final Development Plan (FDP) and Final Plat applications for the Clear Creek Transit Village.

In order to submit an FDP and Final Plat applications, Adams County requires that we receive prior approval from the Board of County Commissioners of the Preliminary Plat and the Preliminary Development Plan (PDP). Those applications were approved in November of 2022. Additional information about the PDP and Preliminary Plat is included in the Project Overview section.

Below are the various project contacts and consultants which comprise our team:

Applicant and Current Owner

Clear Creek Development, LLC
14034 S. 145 E. #301
Draper, Utah 84020
801-809-9294
Contact: Michael Christensen

Applicant

Pacific North Enterprises, LLC
900 Castleton Drive, Suite 118
Castle Rock, CO 80109
303-955-5291
Contact: Bryan Byler

Civil Engineer

Roscoe Engineering
703 Walsen Ave,
Walsenburg, CO 81089
720-934-7735
Contact: Bruce Roscoe

Planner/ Landscape Architect

Norris Design
1101 Bannock St.
Denver, Colorado 80204
303-892-1166
Contact: Bill Mahar

Architect

Godden Sudik Architects
5975 S. Quebec St.
Centennial, CO 80111
303-455-4437
Contact: Alex Duran

Transportation Engineer

Fox Tuttle Transportation Group
1624 Market Street, Suite 202
Denver, CO 80202
303-652-3571
Contact: Steve Tuttle

Dry Utility Coordination

Kimley-Horn
380 Interlocken Crescent
Suite 100
Broomfield, CO 80021
720-642-8650
Contact: Justin Knowles

Enclosed along with this letter please find the following submittal documents:

Final Development Plan:

1. Signed Development Application
2. Copy of Final Development Plan including Site Plan
3. Final Plat Application (see below)
4. Title Commitment
5. Will Serve Letters
6. Tax Certificate Waiver Email
7. Additional Adams County Fire Rescue Letter

Major Plat:

1. Signed Development Application
2. Site Plan
3. Copy of Plat
4. Proof of Fire Protection
5. School Impact Analysis
6. Title Commitment
7. Will Serve Letters
8. Legal Description
9. Tax Certificate Waiver Email
10. Subdivision Engineering Review Application

Subdivision Engineering Review Application:

1. Signed Development Application
2. Construction Plans including Sediment and Erosion Control Plans
3. Drainage Report
4. Traffic Impact Study
5. Geotechnical Report
6. Construction Plans for Federal Boulevard Improvements
7. Traffic Signal Plan

Site Location

The proposed Clear Creek Transit Village development is situated on approximately 21 acres located directly west of Federal Boulevard, between West 60th and West 61st Avenues in Adams County, CO. Vehicular access to the site is provided via Federal Boulevard, and Interstate 76 is located approximately one-quarter mile to the south. The site borders the Clear Creek riparian area and is located near the Lake Sangraco reservoir and the Clear Creek Federal Transit Station. Trail, commuter rail, and bus access all exist within proximity to the site, which provide a transit-rich environment and offers a range of commuting and mobility options. The proposed development offers convenient access to downtown, which can be reached in approximately 15 minutes via car or commuter rail.

Adjacent land uses include a recycling center to the north and a used car dealership to the south. Lake Sangraco is located to the northwest and west and residential uses are located beyond the lake.

Project Overview

The original PDP for this site which provides the overall zoning and basic site layout for the site was approved in 2012, amended in 2015, and amended again recently in September 2022. The most recent PDP amendment was minor and revised the roadway alignment to be consistent with the preliminary plat; this did not significantly vary the overall roadway network, but rather ensured that the network met the utility and easement requirements as required by Crestview Water and Sanitation District needed to serve the future project. Additionally, street sections and landscape concepts which were outlined in the PDP were revised to meet width and utility specifications. Much like the PDP, the Final Development Plan provides specific site engineering as well as layout of buildings, streets, and common areas.

The proposed development will bring a high-quality mix of retail and residential uses to a visible and accessible location. A total of 937 residential units and approximately 31,000 square feet of retail space are proposed within a range of building types linked by a common urban development pattern. Six- and seven-story multifamily buildings with ground-floor retail space are situated adjacent to Federal Boulevard on the east end of the site, and a gradual transition carries building styles down to two and three-story townhomes located at the west end of the community. In between, five-story mid-rise multifamily buildings that step down to two stories at the northern edge are positioned to provide a transition across the site and to the residential uses located beyond Lake Sangraco. The planning and design intent of the proposed community follows the existing standards created as part of the Planned Development Plan approved in 2015 and recently amended in the fall of 2022. The proposed plan is not intended to meet the maximum allowed buildout and density allowed by the PDP.

Below: Proposed site layout.



Below: Aerial perspective of proposed neighborhood looking southeast towards downtown Denver



Below: Central Park Concept



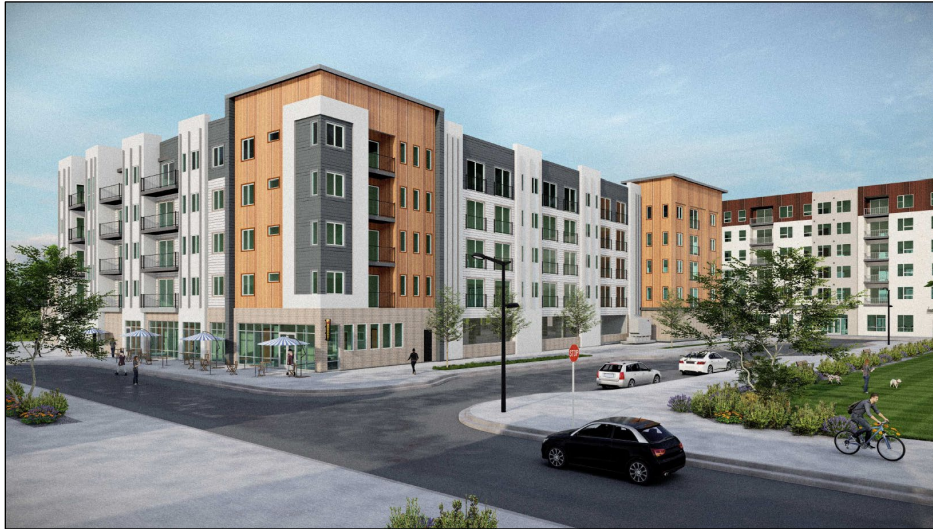
The proposed community is designed within the framework of the transit-oriented development pattern set forth in the PDP. The plan follows the design concepts established in the PDP and remains within approved densities and building coverages. In Adams County, attached single-family units, which include townhomes and duplexes, account for less than 9% of the housing stock. Townhomes proposed with this development will increase housing options for the region, while mixed-use buildings with new commercial space set in motion the County's goals of revitalizing Federal Boulevard's commercial centers (Adams County, 2012).

Architecture Concept

Clear Creek Transit Village contains a mix of residential and commercial buildings. The architecture will celebrate the interconnectivity of transit and is defined by connections, intersections, and overlaying modes. Massing and materials will appear woven together in the multifamily building design, and at least one material (in style, color, and application) will be chosen to be "woven" in from an adjacent building. A contemporary nod to this historical style will

further reinforce the celebration of connectivity. Streamline Moderne naturally lends itself to the architectural emphasis of movement, pattern, and inter-woven forms. This is not the Art Deco of Miami Beach, but a minimalistic, pure-form approach, making sophisticated gestures towards the historic style. Color palettes are to be masculine and subdued.

Below: The proposed multi-family buildings on the east side of the proposed Central Park.



Continuing the spirit of the District Neighborhood, the townhome architecture will have shared elements that reinforce the identity of the district. Massing will continue to reflect connections, intersections, and overlaying modes. Townhome massing and materials have a “woven” together feel and Streamline Moderne style. The architecture of the townhomes features brick masonry, accent siding, and low slope roofs. There are a mix of front and rear loaded 3-story townhomes as well and 2-story front loaded townhomes, each with private outdoor space.

Relationship to Adopted Plans

The Clear Creek Transit Village development falls within the influence of the 2012 Adams County Comprehensive Plan, 2014 Federal Boulevard Framework Plan, and 2017 Clear Creek Corridor Master Plan.

The 2012 Adams County Comprehensive Plan classifies the site’s context as an Activity Center, prescribing “high intensity residential, retail, [and] office” as the primary uses. Goals of the land use include providing an “adequate intensity and mix of uses to create a pedestrian environment and support transit” (Adams County, 2012). The proposed Clear Creek development, which includes residential, commercial, and mixed-use buildings is designed within this context and with an urban-scale density and development pattern. These features enable walkability and offer sufficient density to enable alternative mobility options, thereby meeting the goals of the Activity Center land use.

In the 2014 Federal Boulevard Framework Plan, Federal Boulevard is envisioned as a multimodal corridor that transitions away from its auto-centric origins and instead “accommodates a range of non-motorized travel modes and enhances adjacent businesses” (Adams County Planning, 2014). The Plan notes that a number of roadway and intersection improvements are being evaluated in order to address high rates of pedestrian and vehicular accidents and improve traffic flow, sidewalks, and lighting. Streetscape improvements proposed along Federal Boulevard within the Clear Creek Transit Village development include widened sidewalks, aesthetically pleasing landscaping, and a full-access, lighted intersection of 60th Avenue and Federal Boulevard.

The 2017 Clear Creek Corridor Master Plan identifies several future needs within this vicinity of Federal Boulevard, including enhanced pedestrian facilities and public park space (Adams County Parks, 2018). The proposed Clear Creek Transit Village development is designed to enhance pedestrian mobility along Federal Boulevard while enabling direct access to the Clear Creek Trail. The addition of green space adjacent to the trail will offer enhanced access to utilize Clear Creek as a natural amenity.

Multimodal Transportation Design

The Clear Creek Transit Village is to be located in a transit-rich environment that offers many transportation options including trail, commuter rail, and bus access. The Clear Creek Trail passes by the proposed Clear Creek Transit Village development and under Federal Boulevard, offering accessible recreation and transportation opportunities for existing and future residents. Additionally, the Clear Creek/Federal Station, which opened in 2016, is less than 1/4 mile away. Bus stops for Route 31 are directly adjacent to the site and are short distances from the proposed residences.

Designed with multimodal functionality in mind, Clear Creek Transit Village is designed to offer residents trail and transit access while enhancing recreation opportunities for the broader community. Proposed on-site improvements include:

- Safe, tree-lined sidewalks that enhance the pedestrian environment and set a precedent for future development.
- Wayfinding to encourage pedestrian movement for future residents and all sidewalk users.
- A full-movement intersection at the northeast entrance to the development, adding a controlled pedestrian crossing to Federal Boulevard.
- Green space and a new trail connection along Clear Creek will offer new opportunities for recreation while bringing Clear Creek's ecological benefits closer to residents.

Additionally, the development is designed within a pedestrian-oriented framework that allows for multimodal mobility throughout the site. The community features several elements that encourage walkability and enhance pedestrian safety, including:

- Curb extensions, or bulb outs, which increase pedestrian visibility to drivers while shortening crossing distance for pedestrians.
- Reduced curb radii to limit vehicle turning speeds at intersections, lessening the severity of vehicle-pedestrian conflicts (NACTO, n.d.).
- On-street parking which will provide additional parking spaces while helping to slow vehicular traffic and further enhance pedestrian safety

These proposed on-site improvements are designed within the framework of goals and policies set forth by Adams County to encourage alternative transportation choices, and to set a precedent of high-quality, pedestrian-oriented design along Federal Boulevard.

Below: Concept for Clear Creek Avenue at the intersection of Federal Boulevard.



Community Outreach

Over the past two years, the Clear Creek Transit Village Team has responded to various emails and phone calls from various residents and business owners within the vicinity of the property. Many of the questions focused on the status of the project review, questions about existing easements, and the proposed heights of the buildings on the west side of the development. During this time, we have held three neighborhood meetings and summaries of each meeting are provided below.

Neighborhood Meeting #1

We understand that community engagement is an important part of the transition between applicants. With that in mind, the project team held a virtual neighborhood meeting on Wednesday, October 21, 2020 from 6:30 p.m. to 8:00 p.m. via Zoom to introduce the new property owners and development team and listen and gain feedback on our preliminary design and planning concepts.

Letters were sent per Adams County requirements to 376 individual property owners within the vicinity of the property inviting them to the virtual neighborhood meeting. The meeting was attended to 16 members of the community as well as representatives of the project team. The project team gave a Power Point presentation of preliminary plans for the site and answered questions about the project's timeframe, site design, access, potential retail uses, and buffering from the community to the west of the site.

The project team also unveiled www.clearcreektransitvillage.net, a website which features project information (including the Power Point presentation shared at the neighborhood meeting) as well as a submission form which neighbors can use to submit comments directly to the project team. The website is in preliminary development and will be further developed as we move forward. Neighbors will be able to check this website for ongoing project updates.

Neighborhood Meeting #2

Our second neighborhood meeting was held on September 14, 2021. We had approximately 8 members of the public attend that virtual meeting and 11 members from the project team and Adams County representatives. A slide presentation was utilized during the meeting providing updates on project changes, building and landscape renderings of the future development and outlined next steps. Neighborhood residents inquired about the height of buildings in Planning Area 3. They asked about the proposed berm and fence and if they are still part of the project

components and project team members confirmed they remained they are included in the proposed plans and will also be enhanced with landscape buffers. There were questions about overall project timing that were addressed by members of the project team and a representative from Adams County. A question was posed about school capacity and a representative from Adams County Planning addressed that comment.

Neighborhood Meeting #3

The project team held a third neighborhood meeting on Thursday, February 17, 2022. Letters were sent to the property owners within the notification area. The team provided an update about the Subdivision Waiver from Private Streets process. The team provided an update on the preliminary plat, showed the current lot configuration, and focused on the lotting of the townhome area. They also discussed the review and upcoming hearing process for the preliminary plat. Approximately 5 neighborhood residents attended as well as 7 members of the project team.

Agency Coordination

Throughout this duration of this project, the team has reached out to the following agencies and stakeholder groups to understand their concerns and interests as they relate to the site:

- Adams County Planning and Engineering
- Federal Boulevard Corridor Study Coalition
- Adams County Parks, Open Space & Cultural Arts Department
- Adams County Fire Rescue
- Colorado Department of Transportation (CDOT)
- Metro Wastewater Reclamation District
- Crestview Water & Sanitation District
- Denver Water
- Mile High Flood District
- Regional Transit District (RTD)
- Tri-County Health Department

Throughout this process, the project team has focused on utility, water quality, and roadway requirements.

We have had numerous interactions with CDOT to address items which are to be reviewed during the FDP and Final Plat phase. Our transportation engineer has been coordinating with CDOT on the development and submittal of traffic signal plan for Federal Boulevard and we are also working on the submittal of an access permit application for Federal Boulevard as the previously granted access permits have expired. These items will be formally submitted after the initial submittal of the FDP and Final Plat applications.

We have worked with Crestview Water & Sanitation District, Denver Water, and Metro Wastewater to address utility and easement requirements. A letter is attached from Crestview Water & Sanitation District acknowledging that we have been and will continue to address their utility requirements and approaches. Through the process, they acknowledged the preliminary plat included the necessary easement language.

We have worked with Adams County Fire Rescue to make sure the roadways meet their requirements. A letter is attached from Adams County Fire Rescue stating a requirement of two points of access to Federal Boulevard.

We have met with the Regional Transportation District to coordinate on off-site improvements, such as utilities crossing their rail lines. We have also discussed bus shelter locations along Federal Boulevard, which will be coordinated through this review process with RTD.

In addition to the above, the following permits have been approved:

- Site Grading Permit (County) – GRD2020-00002
- Floodplain Use Permit (County) – WET2020-00012
- Stormwater Quality Permit (County) – CSI2020-00011
- Colorado Discharge Permit System (CDPHE) – COR400000, Cert. No. COR409218

Final Development Plan Approval Criteria

The approval criteria for Final Development Plans can be found in Section 2-02-11-04-05 of the Adams County Land Development Code:

1. *The FDP is in general conformity with the Adams County Comprehensive Plan and any applicable area plan.*

The proposed Final Development Plan is designed to support the mixed-use, transit-oriented development outlined in the Preliminary Development Plan. This is consistent with the Adams County Comprehensive Plan which designates this site as a Mixed-Use Activity Center. Site design has been informed by area plans including the Adams County Clear Creek Corridor Master Plan and the Federal Boulevard Framework Plan.

2. *The FDP conforms to the P.U.D. standards.*

This proposed Final Development Plan is in conformance to the standards and regulations outlined within the Preliminary Development Plan (PDP) which include land uses, maximum and minimum densities, building heights, building setbacks, and landscape concepts. Each proposed planning areas matches areas which were initially contemplated in the PDP. Additionally, the proposed structures meet architectural and materials standards as identified within the PDP.

3. *The FDP is consistent with any approved PDP for the property.*

The proposed Final Development Plan carries forth (and is consistent with) the roadway layout, standards of the Clear Creek Transit Village Preliminary Development Plan, approved in 2012, amended initially in 2015 and updated with a minor amendment in 2022.

4. *The FDP construction plans meet the requirements of these standards and regulations and have been approved by the Director of Community and Economic Development, all infrastructure and utility providers, the Health Department, and all other referral agencies.*

The FDP construction plans have been submitted with the applications for FDP and Final Plat. Through the review process, plans will be reviewed according to applicable standards and regulations and comments will be addressed as needed. We look forward to working through this process with the County and any applicable external agencies.

Final Plat Approval Criteria

This Final Plat complies with the Criteria for Approval outlined in Adams County Code Section 2-02-19-04-05 as follows:

1. The final plat is consistent and conforms to the approved preliminary plat.

The final plat is substantially the same as the preliminary plat. The blocks, lots, and tracts are in the same configuration as shown on the preliminary plat.

2. The Final plat is in conformance with the subdivision design standards.

The final plat includes subdivision design standards that meet the design criteria and standards of the Preliminary Plat and Preliminary Development Plan.

3. The applicant has provided evidence that a sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards.

Through the Preliminary Plat and Preliminary Development Plan Applications, the applicant has worked with the Crestview Water and Sanitation District who has provided a will serve letter to provide treated water to the site.

4. The applicant has provided evidence that a public sewage disposal system has been established and, if other methods of sewage are proposed, adequate evidence indicating that the system complies with state and local laws.

Through the Preliminary Plat and Preliminary Development Plan Applications, the applicant has worked with the Crestview Water and Sanitation District who has provided a will serve letter to provide sanitary services to the property.

5. The applicant has provided evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified by the applicant and the proposed uses of these areas are compatible with such conditions.

Applications for grading, inert fill permit, variance from the NRCO setback, floodplain use permit were submitted and approved. Initial grading and site preparation work has commenced on the site and the former buildings have been removed. This work has followed the appropriate approval criteria as required for the respective permits that are required for each of these site development applications. The necessary soils/geotech reports have been provided for review as well.

6. The proposed or constructed drainage improvements are adequate and comply with these standards and regulations.

Proposed drainage improvements have been designed to meet the standards for drainage improvements and water quality requirements as required by Adams County and applicable regulatory agencies.

7. Adequate public facilities or infrastructure, or cash-in-lieu, for impacts reasonably related to the proposed subdivision have been constructed or financially guaranteed through cash-in-lieu or a subdivision improvements agreement so the proposed subdivision will not negatively impact the levels of service of the County.

The applicant has worked with Adams County through the Preliminary Development Plan and Preliminary Plat process to provide improvements for public facilities and infrastructure including sidewalk improvements and bus stop upgrades while also providing on-site amenities which will not negatively impact levels of service in the County.



As this project transitions into the Final Development Plan and Final Plat phases, the overall character of the development will remain the same and, if nothing else, will be enhanced due to further information and details. This FDP meets the goals of the County's Comprehensive Plan and will bring additional transit-oriented housing and boost ridership through additional transportation options. We look forward to the continued collaboration with Adams County as we move forward through the process. Please do not hesitate to contact me if you have any comments, questions, or requests for additional information at 303.892.1166 or bmahar@norris-design.com.

Sincerely,

Bill Mahar, AICP
Principal

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

Case Number: PRC2019-00014

PROJECT TEAM

LAND OWNER / APPLICANT

CLEAR CREEK DEVELOPMENT, LLC
 14034 S. 145 E. #301
 DRAPER, UT 84020
 CONTACT: MICHAEL CHRISTENSEN
 (801) 809-9294

ENGINEER

ROSCOE ENGINEERING
 11203 WEST 102ND DRIVE
 WESTMINSTER, CO 80021
 CONTACT : BRUCE ROSCOE
 (720) 934-7735

PLANNER / LANDSCAPE ARCHITECT

NORRIS DESIGN
 1101 BANNOCK STREET
 DENVER, CO 80204
 CONTACT: BILL MAHAR / JARED CARLON
 (303) 892-1166

ARCHITECT

GODDEN SUDIK ARCHITECTS
 5975 S QUEBEC ST
 CENTENNIAL, CO 80111
 CONTACT: ALEX DURAN
 (303) 455-4437

TRAFFIC ENGINEER

FOX TUTTLE TRANSPORTATION GROUP
 1624 MARKET ST SUITE 202
 DENVER, CO 80202
 CONTACT: STEVE TUTTLE
 (303) 652-3571

LEGAL DESCRIPTION

BRANNAAN'S SUBDIVISION FILING NO.2 REC. NO B1247454 LOT 2 BLOCK 1 & BRANNAAN'S SUBDIVISION FILING NO. 1 REC. NO A020815 TRACT A.

ADAMS COUNTY ATTORNEY'S OFFICE

APPROVED AS TO FORM

BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY ADAMS COUNTY BOARD OF COMMISSIONERS
 THIS _____ DAY OF _____ 20 _____.

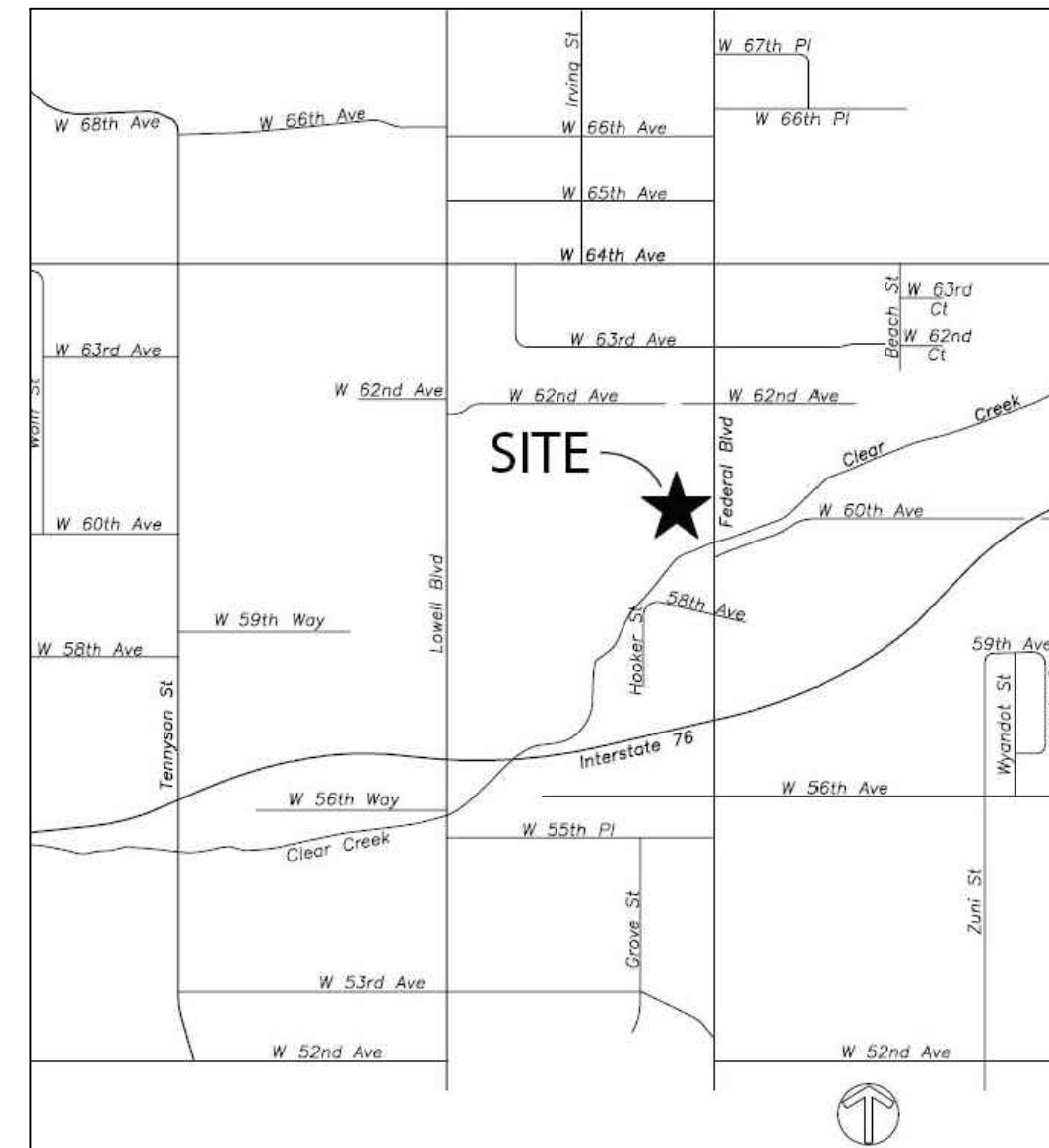
CHAIR

ADDITIONS AND DELETIONS

THE FOLLOWING ADDITIONS AND DELETIONS IN THE PUD WERE MADE BY THE BOARD OF COUNTY COMMISSIONERS AT THE TIME OF APPROVAL.

VICINITY MAP

SCALE: NTS



CERTIFICATE OF OWNERSHIP

CLEAR CREEK DEVELOPMENT, LLC, A DELAWARE LIMITED LIABILITY COMPANY FOR 6001 FEDERAL BLVD, DENVER, CO 80221, LOCATED IN THE COUNTY OF ADAMS, STATE OF COLORADO, HEREBY SUBMIT THIS FINAL DEVELOPMENT PLAN AND AGREES TO PERFORM UNDER THE TERMS NOTED HEREON.

OWNER: _____

STATE: _____

COUNTY: _____

CITY: _____

THE FORGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____

DAY OF _____ 20 _____.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____

CERTIFICATE OF THE CLERK AND RECORDER

THIS FINAL DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER IN THE STATE OF COLORADO AT _____ M. ON THE _____ DAY OF _____ 20 _____.

 COUNTY CLERK AND RECORDER

BY DEPUTY: _____

SHEET INDEX

SHEET NUMBER	SHEET TITLE
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0-02	PROJECT NARRATIVE
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0-05	SITE PLAN
0-06	SITE PLAN
0-07	SITE PLAN
0-08	SITE PLAN
0-09	SITE PLAN
0-10	DEVELOPMENT STANDARDS & LAND USE SUMMARY
0-11	PARKING PLAN
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A2	3-STORY FRONT LOAD 3-PLEX
A3	3-STORY FRONT LOAD 5-PLEX
A4	3-STORY FRONT LOAD 6-PLEX
A5	3-STORY FRONT LOAD 4-PLEX
A6	3-STORY FRONT LOAD 5-PLEX-A
A7	3-STORY FRONT LOAD 5-PLEX-B
A8	3-STORY FRONT LOAD 6-PLEX
A9	PA1 - BUILDING ELEVATIONS
A10	PA1 - BUILDING ELEVATIONS
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A12	PA2 - BUILDING ELEVATIONS
A13	PA3 - BUILDING ELEVATIONS
A14	PA3 - BUILDING ELEVATIONS
A15	PA5 - BUILDING ELEVATIONS
A16	PA5 - BUILDING ELEVATIONS
L-01	LANDSCAPE NOTES AND SCHEDULE
L-02	LANDSCAPE NOTES AND SCHEDULE
L-03	OVERALL LANDSCAPE PLAN
L-04	LANDSCAPE PLAN
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L-06	LANDSCAPE PLAN
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L-09	LANDSCAPE PLAN
L-10	LANDSCAPE PLAN
L-11	LANDSCAPE - PLANTING ENLARGEMENT
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L-25	LANDSCAPE DETAILS
L-26	LANDSCAPE DETAILS
L-27	LANDSCAPE DETAILS
L-28	LANDSCAPE DETAILS
L-29	LANDSCAPE DETAILS
L-30	LANDSCAPE DETAILS
L-31	LANDSCAPE DETAILS
L-32	LANDSCAPE DETAILS
L-33	LANDSCAPE DETAILS
L-34	LANDSCAPE DETAILS

CLEAR CREEK TRANSIT VILLAGE
 FINAL DEVELOPMENT PLAN
 IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
 CLEAR CREEK VILLAGE, LLC
 THISTLE CREEK QOF I, L.P.
 14034 SOUTH 145th EAST
 DRAPER, UT 84020

NOT FOR
 CONSTRUCTION

DATE:
 FDP-01-03/16/2023

SHEET TITLE:
 COVER

SHEET NUMBER:
0-01

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

NARRATIVE

A. Explanation of the Characteristics of the PUD and its Potential Impact on the Surrounding Area

The Clear Creek Transit Village (CCTV) is comprised of approximately 21.09 acres located in close proximity to Clear Creek on the south and Federal Boulevard which borders the site on the east.

CCTV is envisioned as a mixed-use, transit oriented development (TOD) due to its close proximity to the Clear Creek-Federal Station of RTD's Gold Line. The area is defined in Adams County's Clear Creek Valley TOD Plan as a "Mixed-Use Village Center." The site's location adjacent to the Gold Line commuter rail corridor and Clear Creek-Federal Station, the Clear Creek Trail, mix of land uses, close proximity to downtown Denver and abundant outdoor recreation opportunities define the character of Clear Creek Transit Village. About 25% of the site is within ¼ of a mile of the Clear Creek-Federal Station and the entire site is within ½ mile of the station.

Select buildings in prominent locations will be designed to accommodate ground-floor commercial, which includes retail, office, and restaurants. Ground floor building space may also include residential uses. The upper stories of the buildings may accommodate residential and/or commercial uses, including but not limited to office space.

The PAs consist of nine development parcels located throughout the CCTV. Each of these PAs with the exception of PA-4, will be permitted to accommodate mixed-use development; including residential, commercial, and civic/ institutional uses at various scales. PA-4 is intended to be developed as a public park with the possibility of limited commercial space to enhance the park.

A successful Clear Creek Transit Village will create high potential for spurring more development and redevelopment in the vicinity. This is because commuter rail stations are assets to their communities by offering residents an alternative or supplement to automotive transportation. Commuter rail stations also induce demand for commercial land uses due to increased exposure and thoroughfare. Ultimately, demand for property in and around the Clear Creek Valley is likely to accelerate as CCTV develops.

B. Expected Densities and Land Coverage - Number, Type, and Size of Buildings and Residential Units

For the entire site, the maximum total amount of permitted commercial and institutional uses, which include retail and office space, may be up to 250,000 square feet of net building area. A variety of residential uses may include condominiums, apartments, townhomes, and live/work dwelling units. The maximum total number of allowable residential dwelling units may be up to 1,125 units. The maximum density for residential uses may average up to 54 dwelling units per gross acre with an overall gross floor area ratio (FAR) up to 2.0. The minimum gross residential density shall be no less than 5 dwelling units per acre, and there is no gross minimum density for commercial and civic/institutional uses.

The actual number of residential dwelling units or level of development for commercial or business properties may be less than the maximum units allowed. The landowner shall have no obligation to develop all or any part of CCTV to the maximum level of development permitted under the approved PDP.

Estimated Land Use Percentages by Planning Area

Below is a description of anticipated uses and building types for each PA. The percentages represent the projected range of potential uses

Planning Area 1 - Intended to be mixed use with ground floor commercial space along Federal Boulevard and Clear Creek Avenue. Floors 2-7 are intended to be occupied by residential and/or commercial/institutional uses.

Commercial/Institutional	3% - 100%
Residential	0% - 97%

Planning Area 2 - Intended to be mixed use with ground floor commercial space along Federal Boulevard and Clear Creek Avenue. Residential and/or commercial/institutional uses will occupy floors 2-7.

Commercial/Institutional	2% - 100%
Residential	0% - 98%

Planning Area 3 - Intended to be mixed use with the possibility of ground floor commercial space along Park View Avenue facing the park/open space. Buildings on the north side of PA-3 will be no higher than two stories. Buildings on the southern portion of PA-3 are intended to be residential and/or commercial/institutional uses up to 5 stories.

Commercial/Institutional	0% - 100%
Residential	0% - 100%

Planning Area 4 - Intended to be a public park/open space for the development with the potential for a small restaurant, café, or small kiosk.

Commercial	0% - 10%
Residential	0%
Park/Open Space	90% - 100%

Planning Area 5 - Intended to be mixed use with the possibility of ground floor commercial space along Clear Creek Avenue facing the park/open space. Building floors 1-7 are intended to be occupied by residential and/or commercial/institutional uses.

Commercial/Institutional	0% - 100%
Residential	0% - 100%

Planning Area 6 - Intended to be residential and/or commercial/institutional uses with buildings ranging from 5 to 6 stories.

Commercial/Institutional	0% - 100%
Residential	0% - 100%

Planning Area 7 - Intended to be residential and/or commercial/institutional uses with buildings ranging from 5 stories on the western portion of the planning area up to 7 stories on the east portion of the planning area.

Commercial/Institutional	0% - 100%
Residential	0% - 100%

Planning Area 8 - Intended to be residential uses with buildings up to 3 stories on the western edge and up to 2 stories on the northwestern edge of the site, including garages accessed off of Mountain View Lane and West 60th Lane.

Commercial/Institutional	0%
Residential	100%

Planning Area 9 - Intended to be residential uses with buildings up to 3 stories including garages accessed off of Creekside Avenue.

Commercial/Institutional	0%
Residential	100%

HEIGHT AND SETBACK STANDARDS

Maximum building heights range from 25 feet (up to 2 stories) to 95 feet (up to 7 stories). Reference the approved PDP Building Heights and Setback Exhibit on page 9 for a graphic representation of specific setback within individual Planning Areas. Improvements including, but not limited to, decks, patios, landscaping, stairs, walls, fences, rails, driveways and similar elements are permitted within the defined setback.

The following chart illustrates the maximum building height limits.

PLANNING AREAS (PA)	HEIGHT LIMIT
1	95'
2	95'
3	78'
4	N/A
5	95'
6	78'
7	95'
8*	35'
9	35'

*Portions of PA 8 height limit on the northwest corner of the site is 25'.

C. Provisions for Parking

Off-street parking for multi-family and non-residential developments shall be designed to provide for the safe and convenient movement of vehicles, bicycles, and pedestrians to and from the site and through the site.

Parking ratios will be guided by industry standard shared parking practices. All streets within CCTV will accommodate short-term on-street parking, as well as bicycle parking, where utilities conflicts, curb cuts and pedestrian circulation allow.

Maximum parking ratios for the development shall govern, except as otherwise provided in this FDP, as follows:

Use	Maximum Parking Ratios
Residential	2 spaces per unit
Retail	4 spaces per 1,000 sq. ft.
Office	3 spaces per 1,000 sq. ft.
Restaurant	8 spaces per 1,000 sq. ft.

Parking structures, surface parking, below-grade parking and on-street parking adjacent to any PA may be utilized to satisfy the parking requirement for any permitted use in a PA. Parking for a PA may be located in a parking lot or structure across the street from the use.

D. Circulation and Road Patterns

Due to the site being surrounded by bodies of water on three sides, the vehicular connectivity to and from the development can only occur on Federal Boulevard. The gridded street layout at CCTV is intended to optimize pedestrian and vehicular movement throughout the development. The main vehicular access to the site is planned to be a full movement signalized intersection at West 60th Place and Federal Boulevard. Clear Creek Avenue and Federal Boulevard will be a non-signalized right-in right-out intersection to facilitate southbound Federal Boulevard traffic into and out of the development.

E. Ownership and Maintenance of Common Areas

Maintenance of common areas within the boundaries of the PAs will be performed by the owners and/or owner's association within the individual blocks. Common areas, such as sidewalks, various tracts and public open spaces, will be maintained by the Clear Creek Transit Metropolitan District No. 1 or a property owners association, with the exception of Tract B and T that will be maintained by a home owners association.

F. Type, Location, Examples of Copy and Monument Signs

Entry monumentation signage will be located at key locations along the Federal Blvd corridor. An additional hierarchy of signage may also include information, tenant and wayfinding signage. All signage will be within a complimentary family that reflects the architectural materials, colors, lighting and scale of any adjacent buildings and/or surroundings.

G. Type and Allocation of All Uses Including Permitted Uses, Uses Permitted after Amendment to the PUD, and Prohibited Uses

The purpose of the CCTV PUD is to facilitate residential (multi-family and single family attached), retail, office and service land uses to serve the needs of area residents while retaining versatility to accommodate market conditions. Reference the approved Clear Creek Transit Village PDP for a full list of approved commercial, residential, civic and accessory/special uses.

H. Location and Types of Landscaping/Open Space and Maintenance Provisions

A variety of open space will be provided at CCTV that will include: streetscapes adjacent to buildings; a public park located in the center of the project; open space and a detention area adjacent to Clear Creek; and private internal amenities within or adjacent to building envelopes. These private amenity spaces may include courtyards, plazas, swimming pools, patios, and rooftop gardens.

The overall landscape concept for Clear Creek Transit Village is intended to celebrate the delightful juxtaposition of a modern urban village set immediately adjacent to the native Colorado influence represented by Clear Creek. The Federal Boulevard streetscape will contain formal tree plantings, xeric shrubs and groundcover plantings. This design will wrap to internal streetscapes where ground floor retail or office uses are anticipated to create a decidedly urban context. These streetscapes will be maintained by the Clear Creek Transit Metropolitan District No. 1 or property owner's association.

The Village Green will serve as an outdoor living room for the entire community. A large turf play area is included, along with street trees, site furniture and other amenities typical to urban parks. The Village Green will be maintained by the Clear Creek Transit Metropolitan District No. 1 or property owner's association.

Residential areas of the development will feature sidewalks, turf, trees, shrubs, perennials, and groundcover plantings. Residential streetscapes will be maintained by the Clear Creek Transit Metropolitan District No. 1 or property owner's association.

The frontage near and along Clear Creek will receive an "enhanced native" landscape treatment designed to meet Urban Drainage requirements for erosion control. This landscape area will be maintained by the Clear Creek Transit Metropolitan District No. 1 or property owner's association, subject to discussion regarding open space maintenance responsibility with Adams County and the Hyland Hills Park and Recreation District.

The northern and western perimeter landscapes are designed to provide a buffer to adjacent residents. The northern edge, adjacent to the existing Aloha Beach landscape berm and fence easement, features closely spaced evergreen tree plantings designed to enhance the existing buffer. The western perimeter also features closely spaced evergreen tree plantings located along the western property line. Both the northern and western perimeter also feature a minimum six foot high metal fence.

The northern and western buffers lying outside the existing landscape easement will be maintained by the sub-association or vertical developer of the adjacent development parcels. The existing landscape easement at the northern perimeter will be maintained by the Aloha Beach Neighborhood Association as per the terms of the existing Landscape Berm and Fence Easement, (Book 4701, Page 983 - Adams County Clerk and Recorder).

I. Utility Services

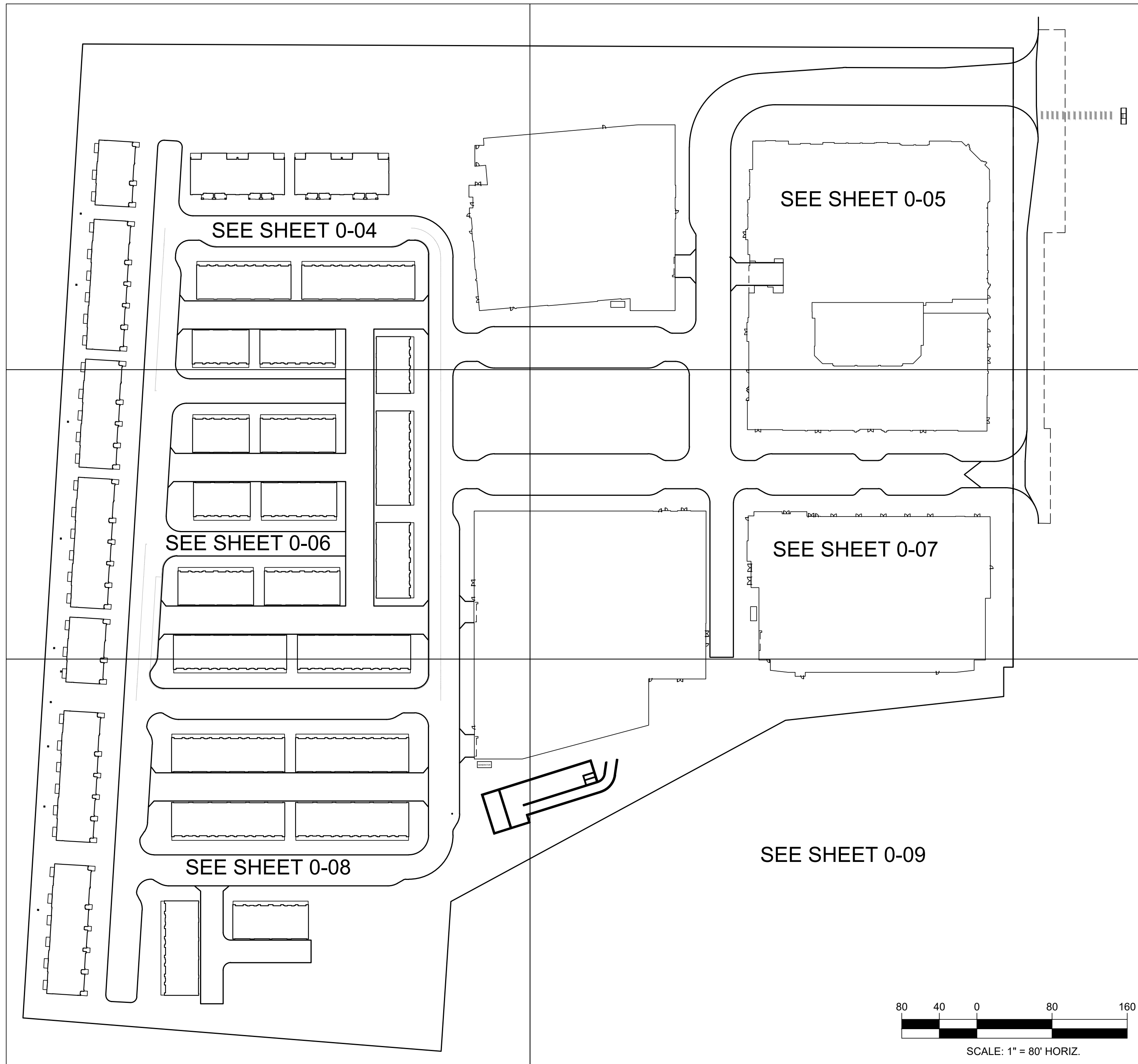
The following is a list of the service providers for the necessary utilities for the CCTV.

Electricity and Natural Gas:	Xcel Energy
Water and Sanitary Sewer:	Crestview Water and Sanitation District, Metro Wastewater Reclamation District
Cable Television:	Comcast
Telephone/Internet Service:	Century Link, Comcast

J. Estimated Timetable for Development

The CCTV will most likely be developed in several phases based around future market conditions and trends.

CLEAR CREEK TRANSIT VILLAGE
AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK COOP I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

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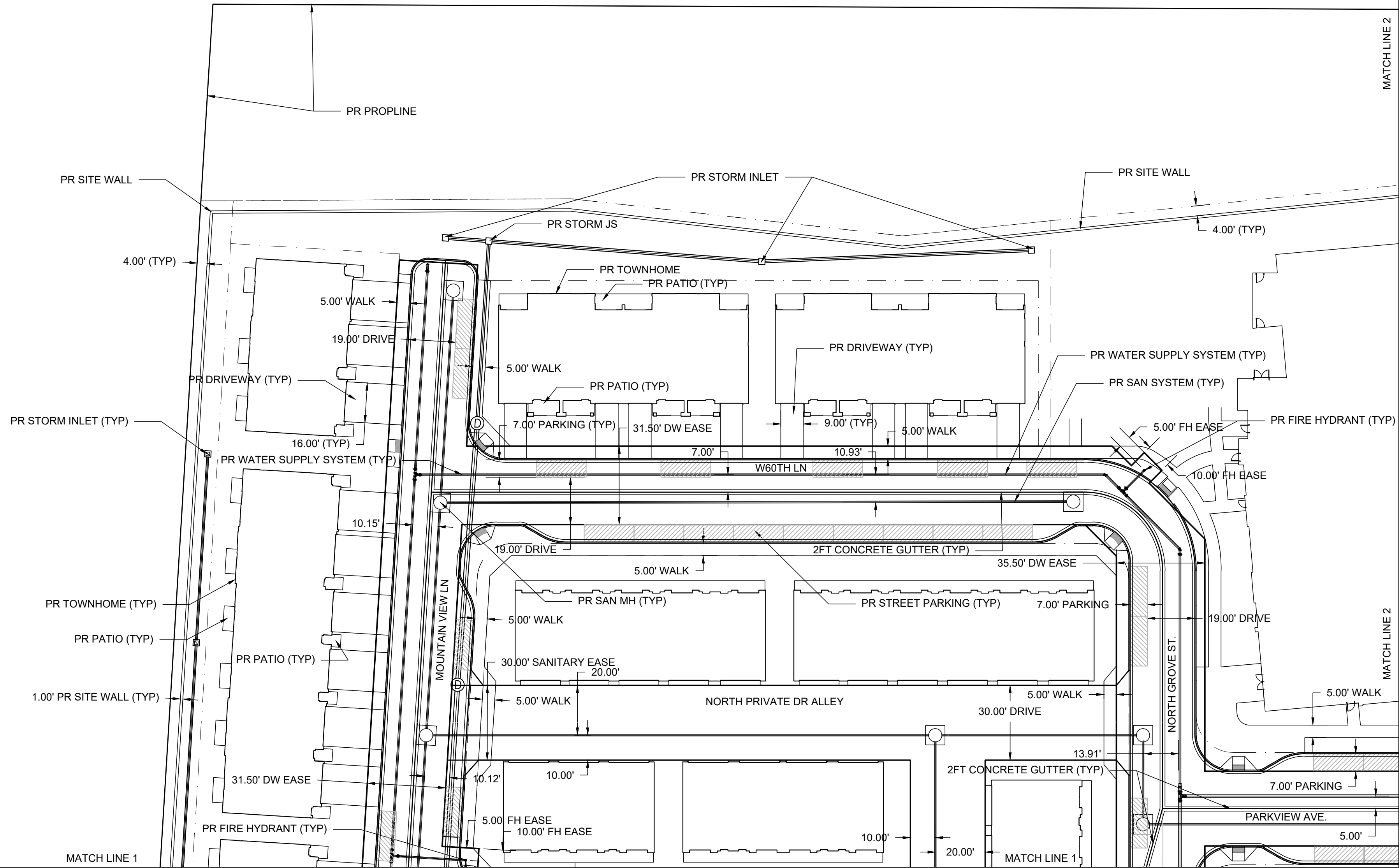
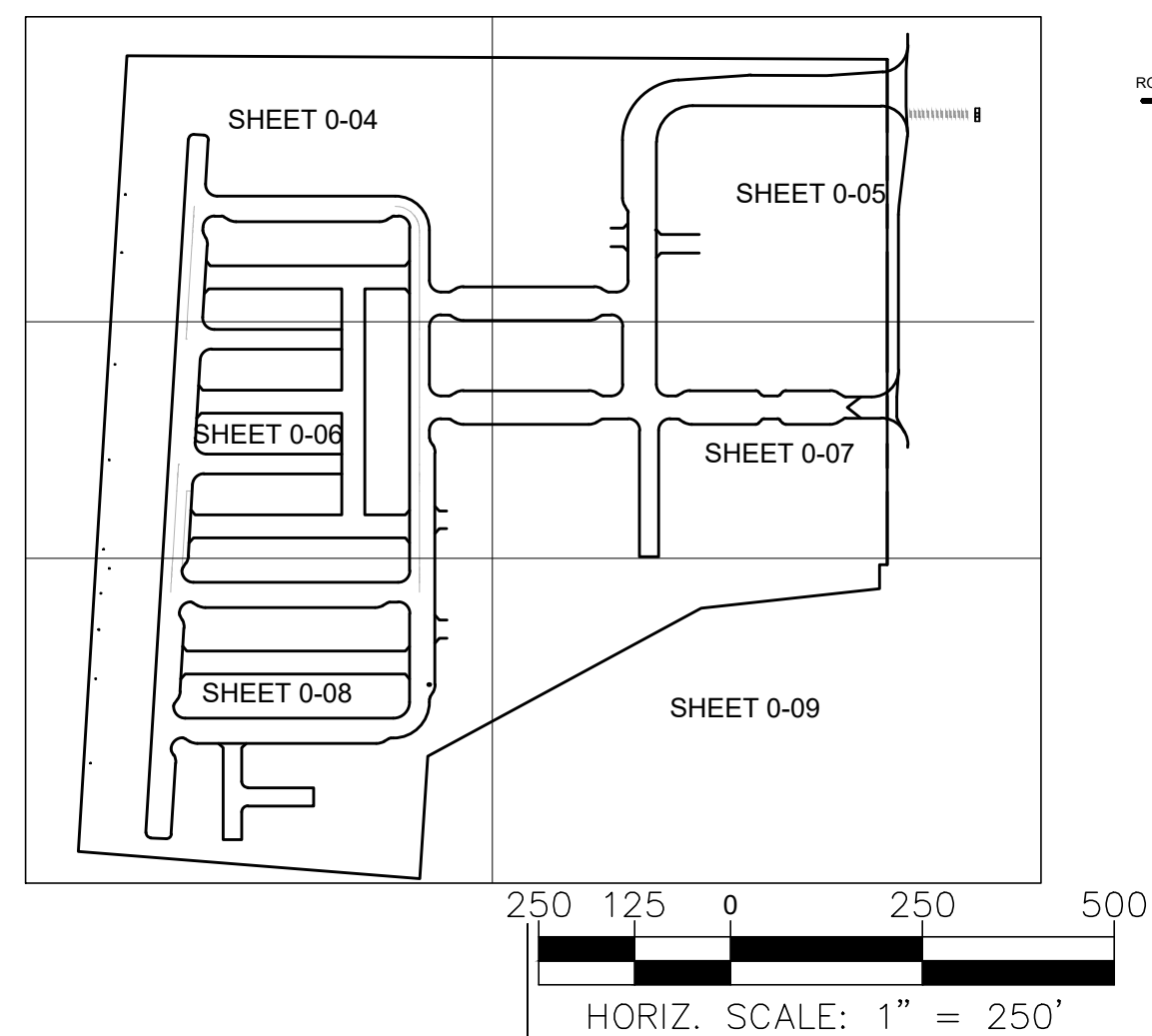
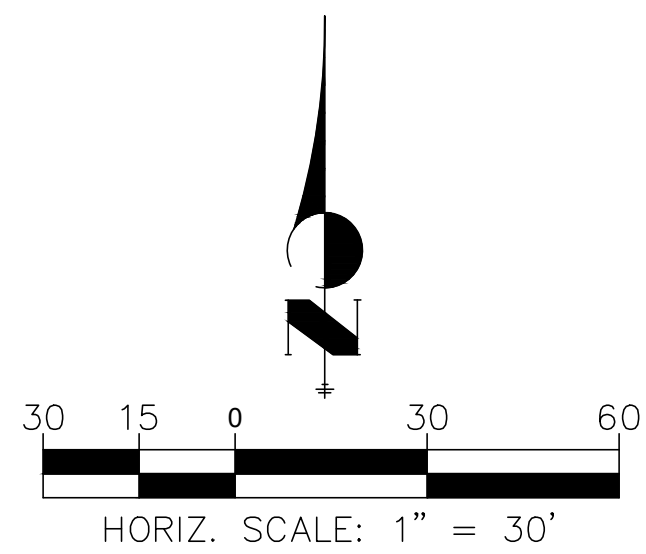
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FDP-01-03/23/2023

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SITE PLAN
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0-03

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CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



SEE SHEET 0-05

SEE SHEET 0-06

CLEAR CREEK TRANSIT VILLAGE
 FINAL DEVELOPMENT PLAN
 IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
 CLEAR CREEK VILLAGE, LLC
 THISTLE CREEK OOF I, L.P.
 14034 SOUTH 145th EAST
 DRAPER, UT 84020

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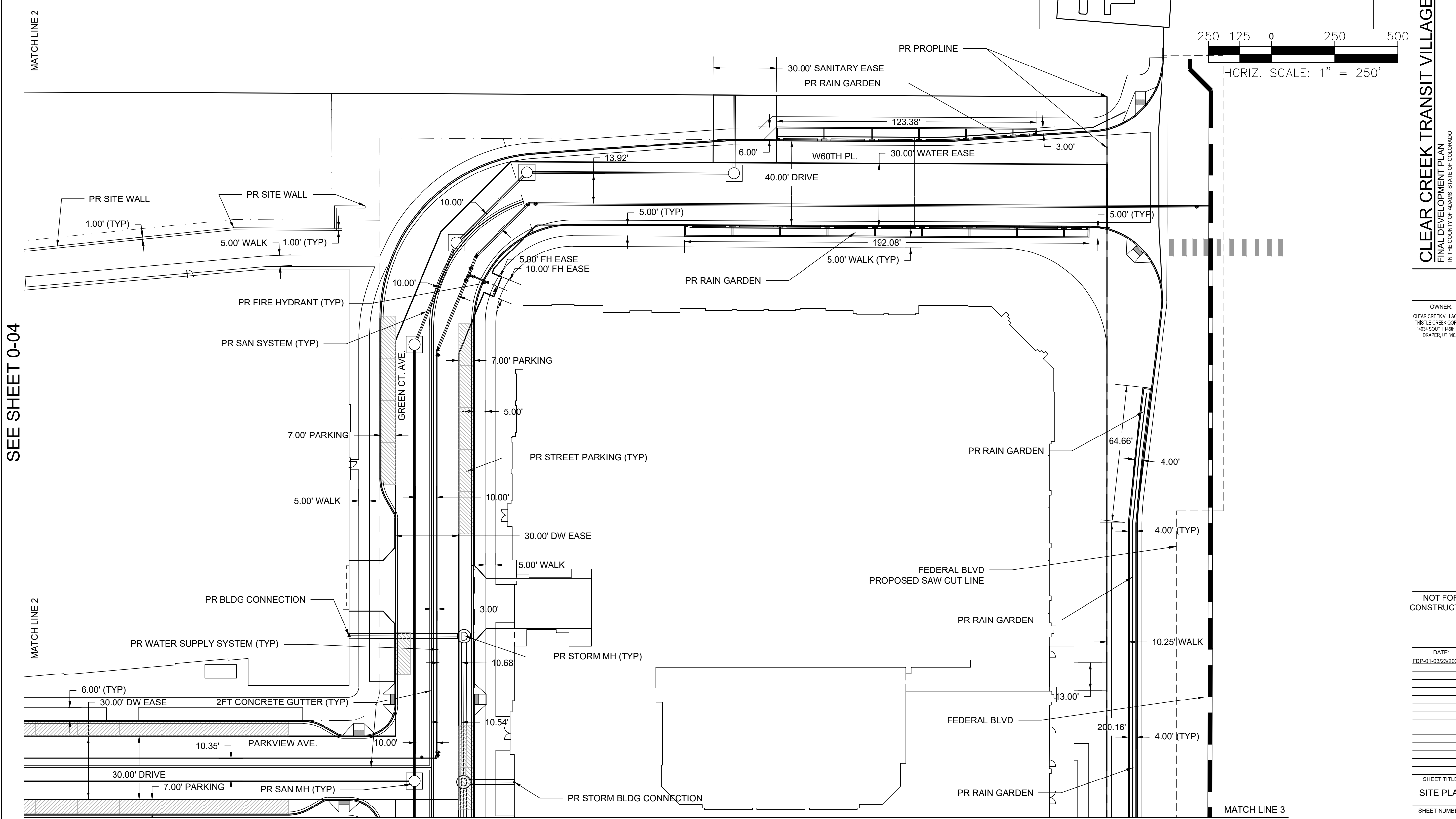
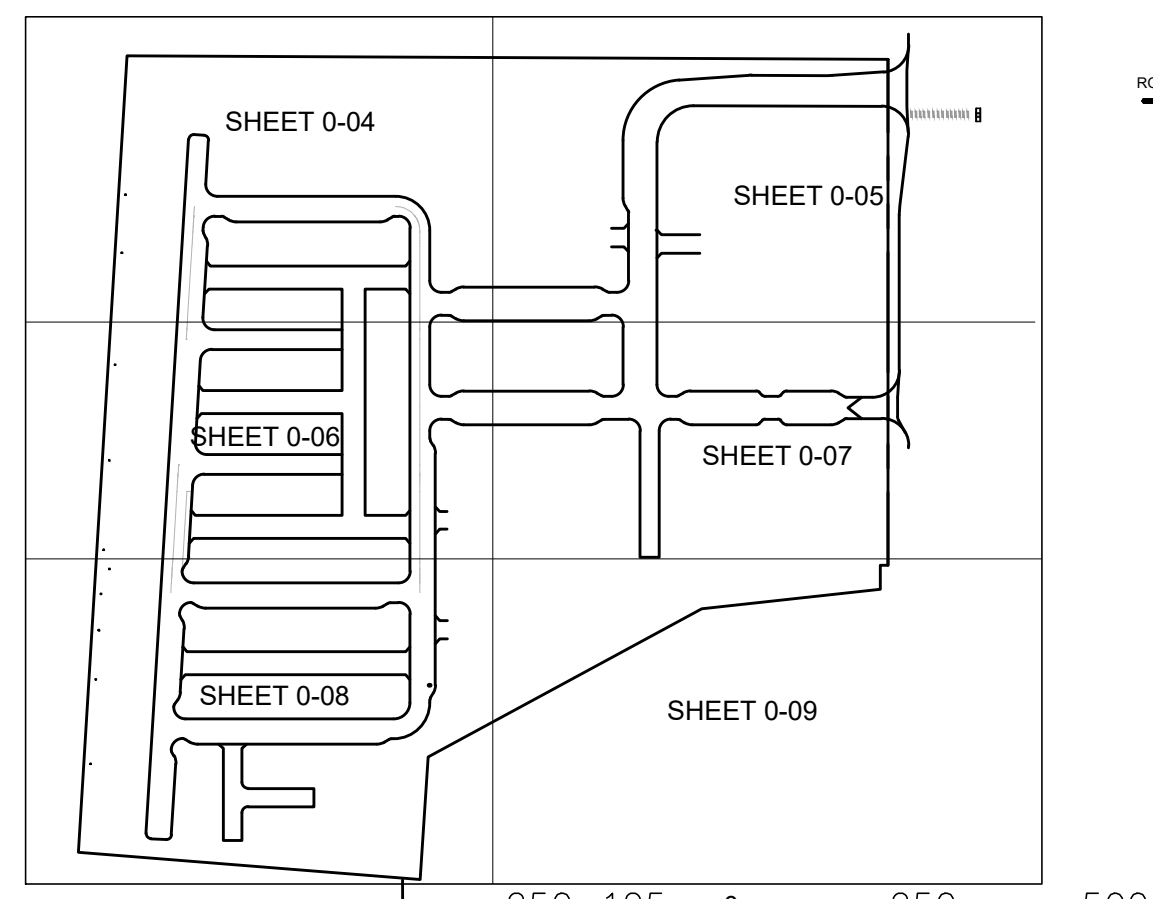
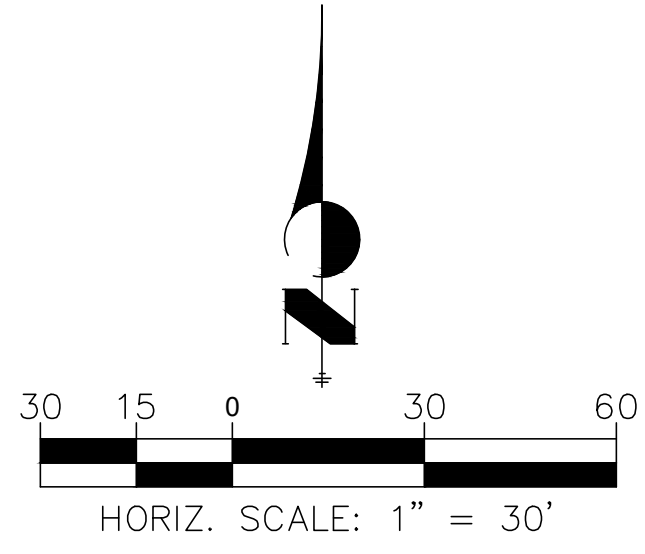
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CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



MATCH LINE 2

SEE SHEET 0-04

MATCH LINE 2

SEE SHEET 0-07

MATCH LINE 3

CLEAR CREEK TRANSIT VILLAGE
 FINAL DEVELOPMENT PLAN
 IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
 CLEAR CREEK VILLAGE, LLC
 THISTLE CREEK OOF I, L.P.
 14034 SOUTH 145TH EAST
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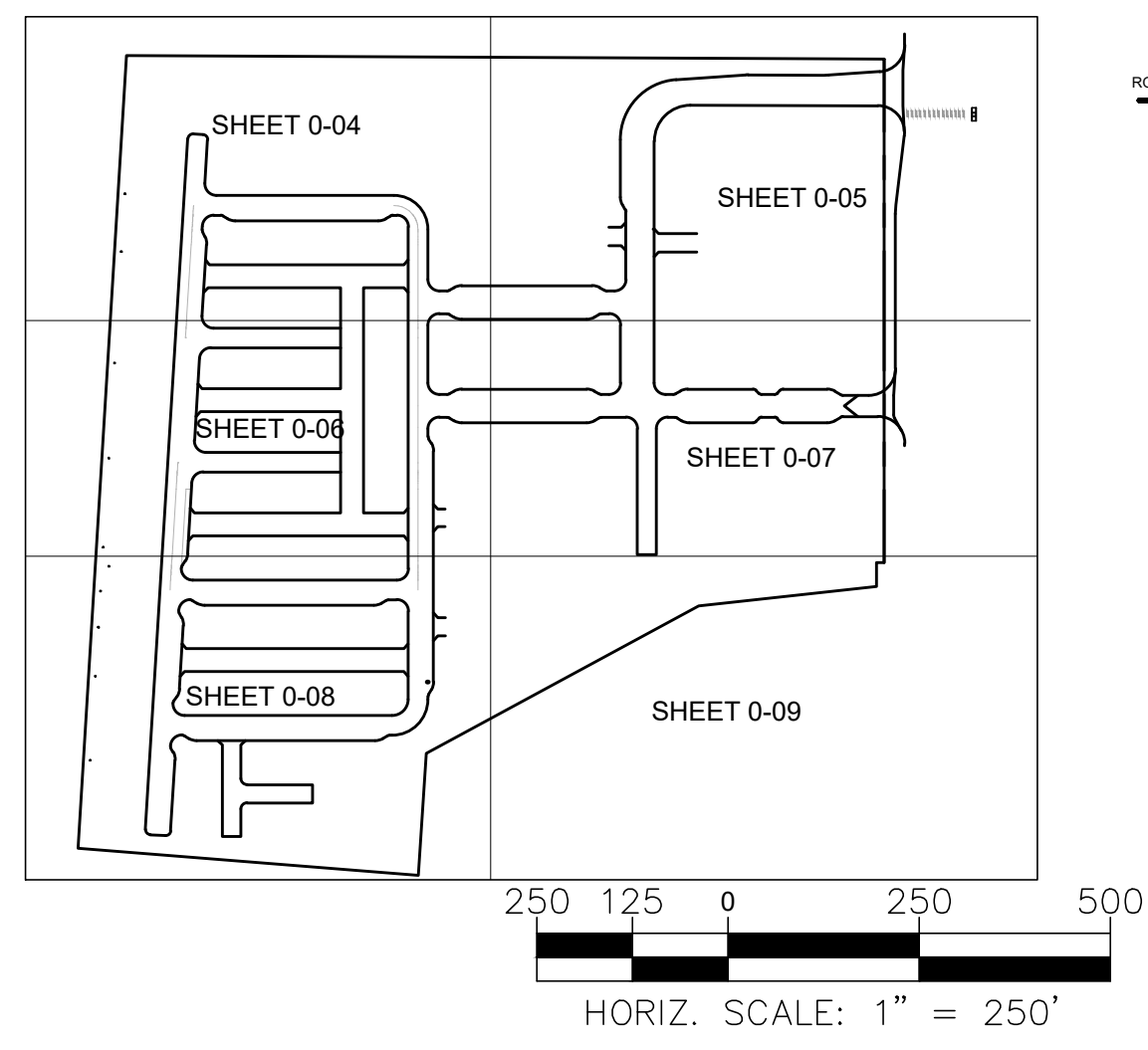
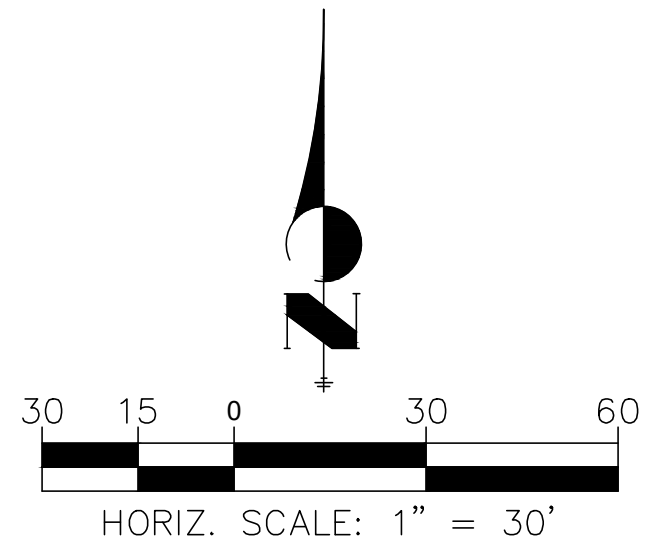
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 PREPARED BY:
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CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



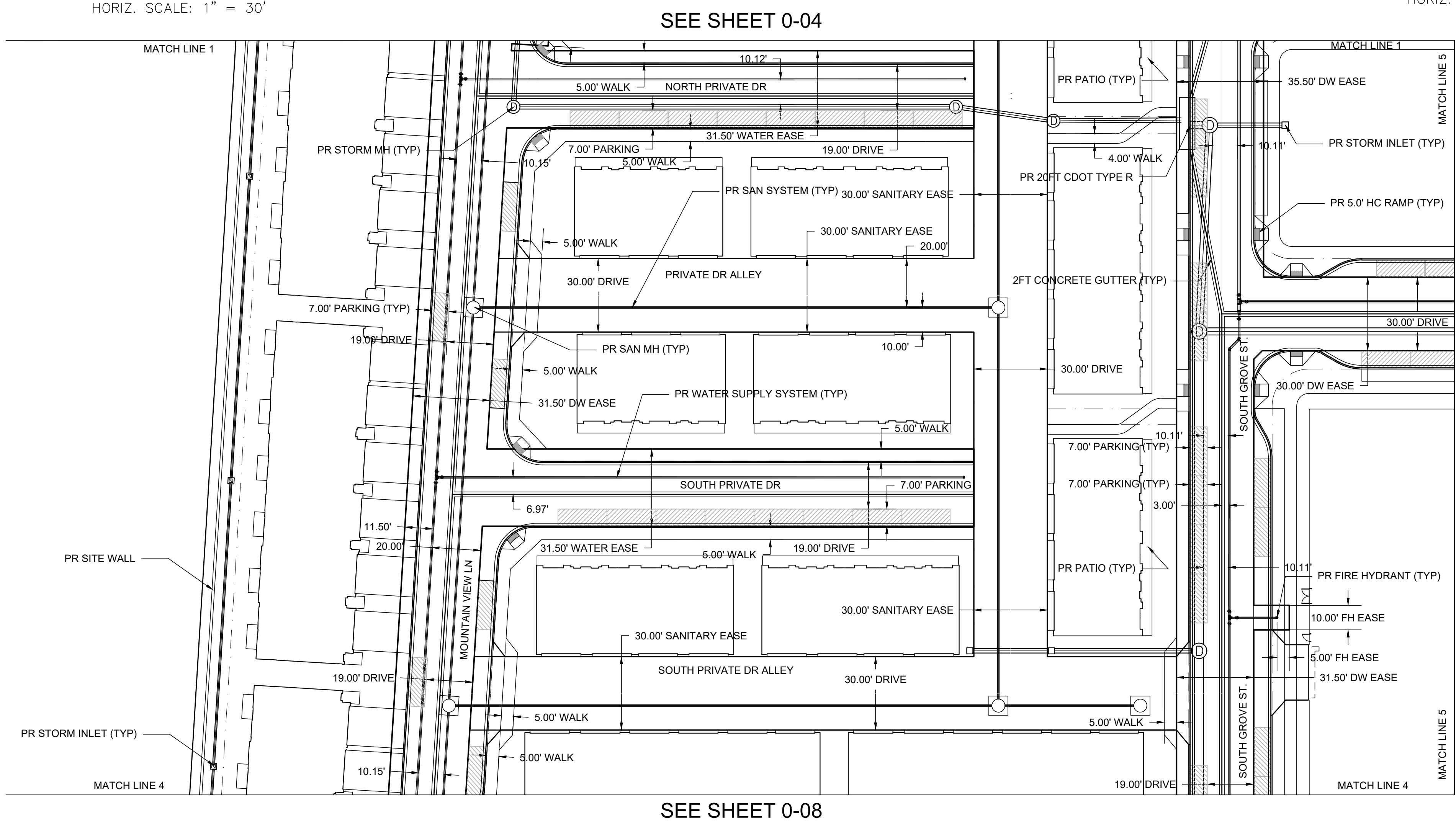
CLEAR CREEK TRANSIT VILLAGE
 FINAL DEVELOPMENT PLAN
 IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
 CLEAR CREEK VILLAGE, LLC
 THISTLE CREEK OOF I, L.P.
 14034 SOUTH 145th EAST
 DRAPER, UT 84020

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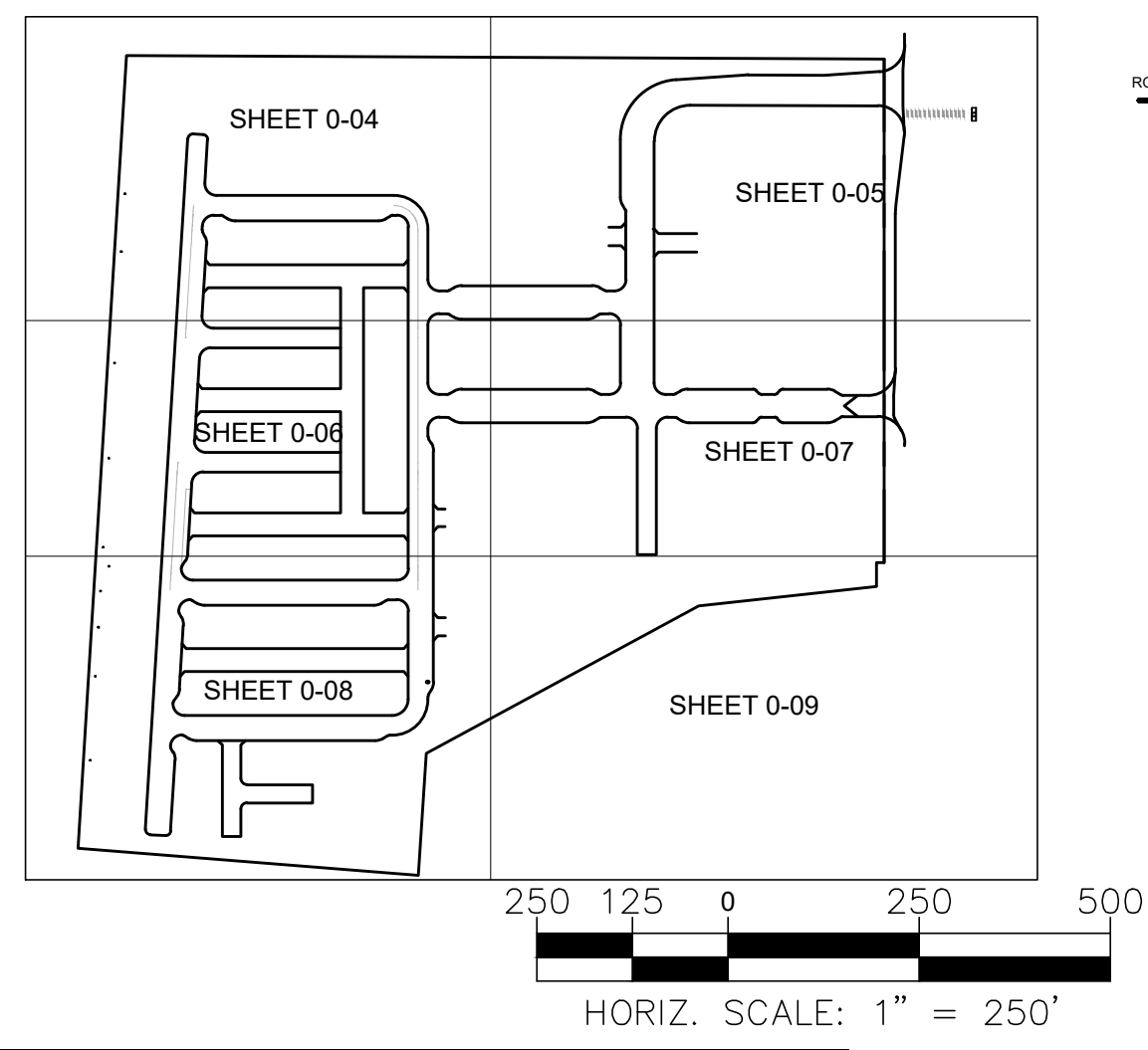
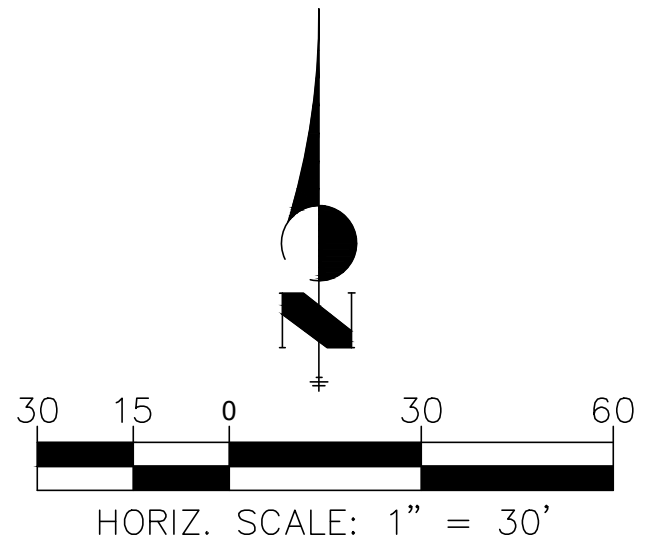


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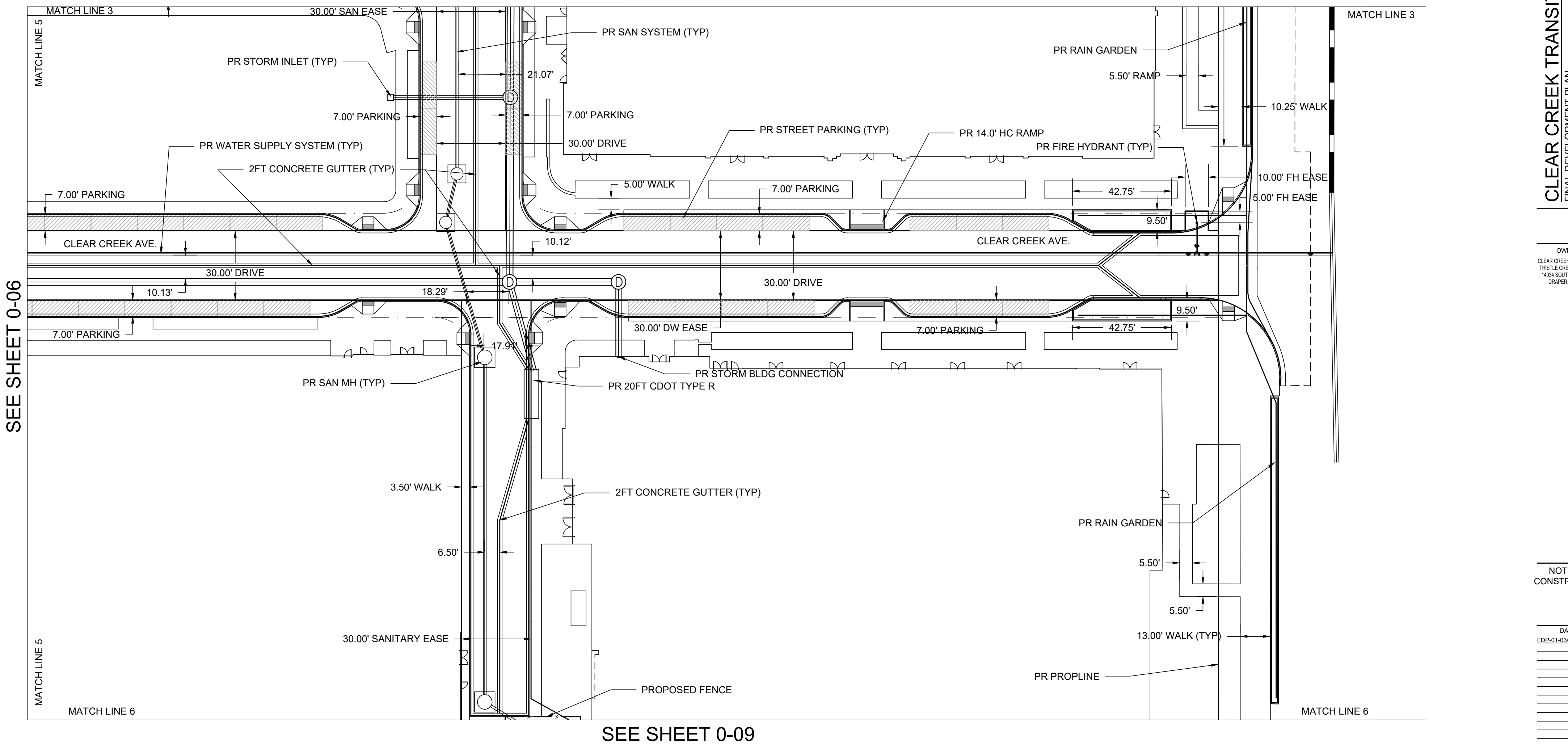
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CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



SEE SHEET 0-05



SEE SHEET 0-09

CLEAR CREEK TRANSIT VILLAGE
 FINAL DEVELOPMENT PLAN
 IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
 CLEAR CREEK VILLAGE, LLC
 THISTLE CREEK COOP I, L.P.
 14034 SOUTH 145th EAST
 DRAPER, UT 84020

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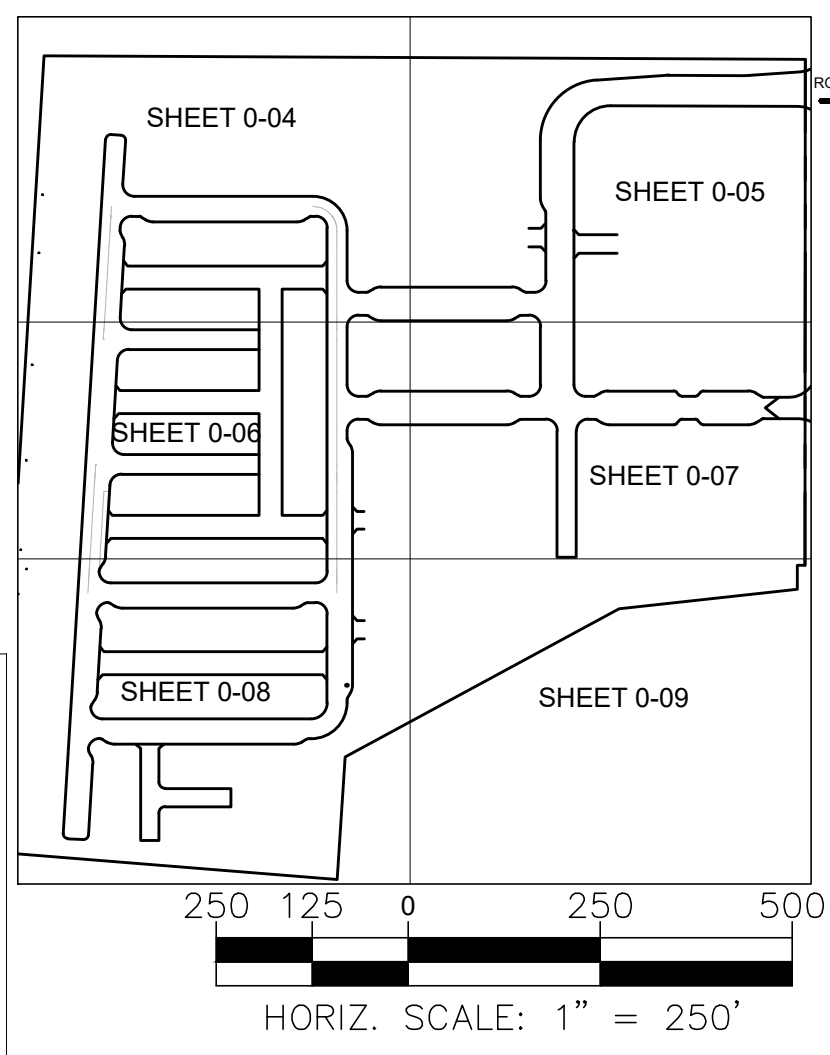
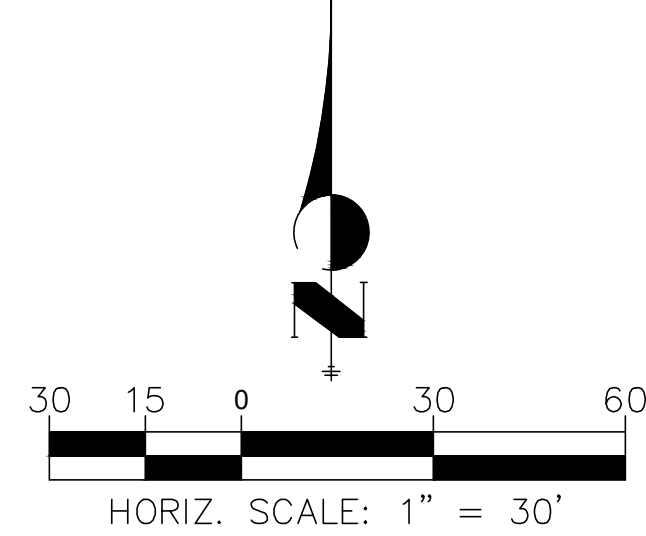
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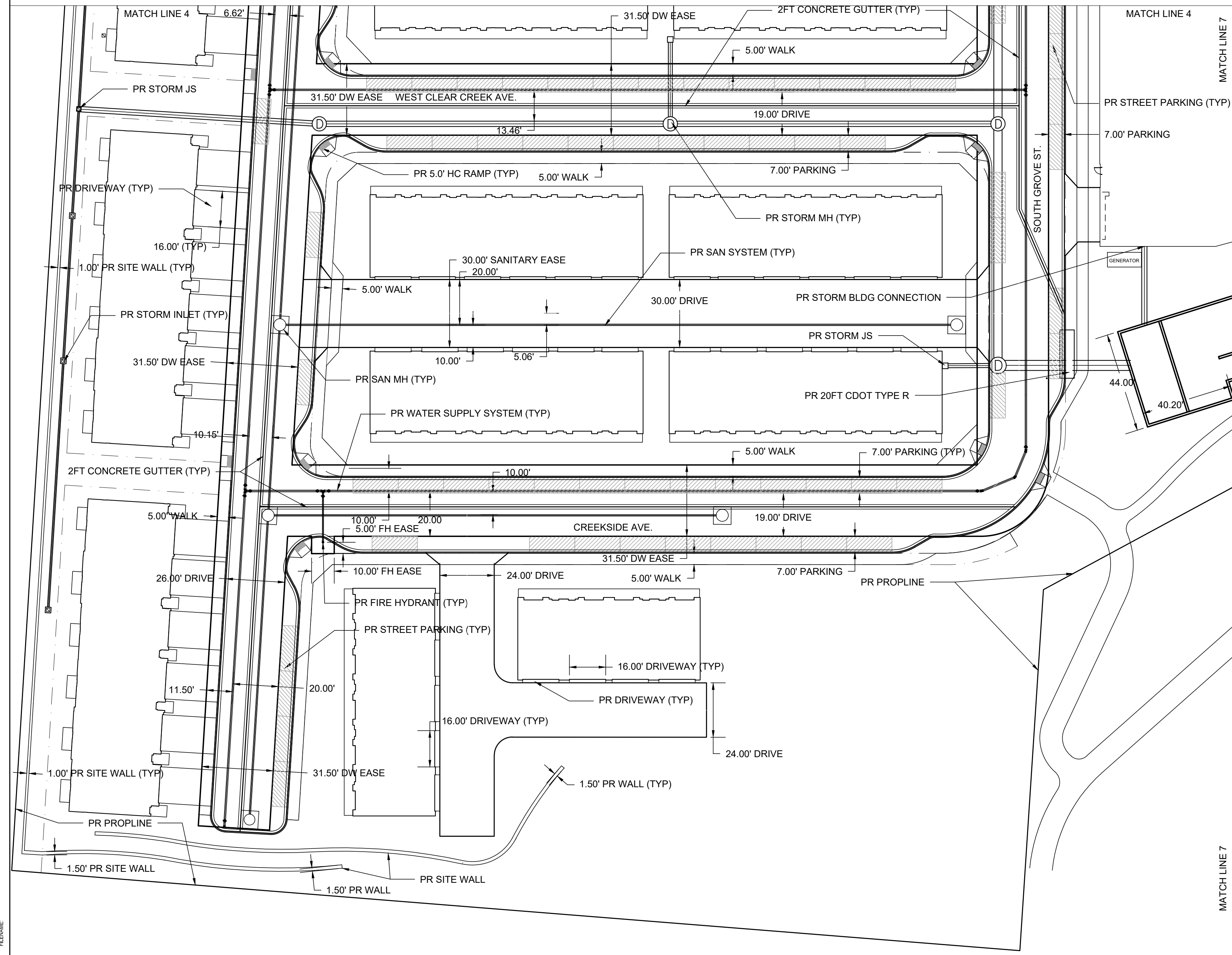
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CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



SEE SHEET 0-06



SEE SHEET 0-09

CLEAR CREEK TRANSIT VILLAGE
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 IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
 CLEAR CREEK VILLAGE, LLC
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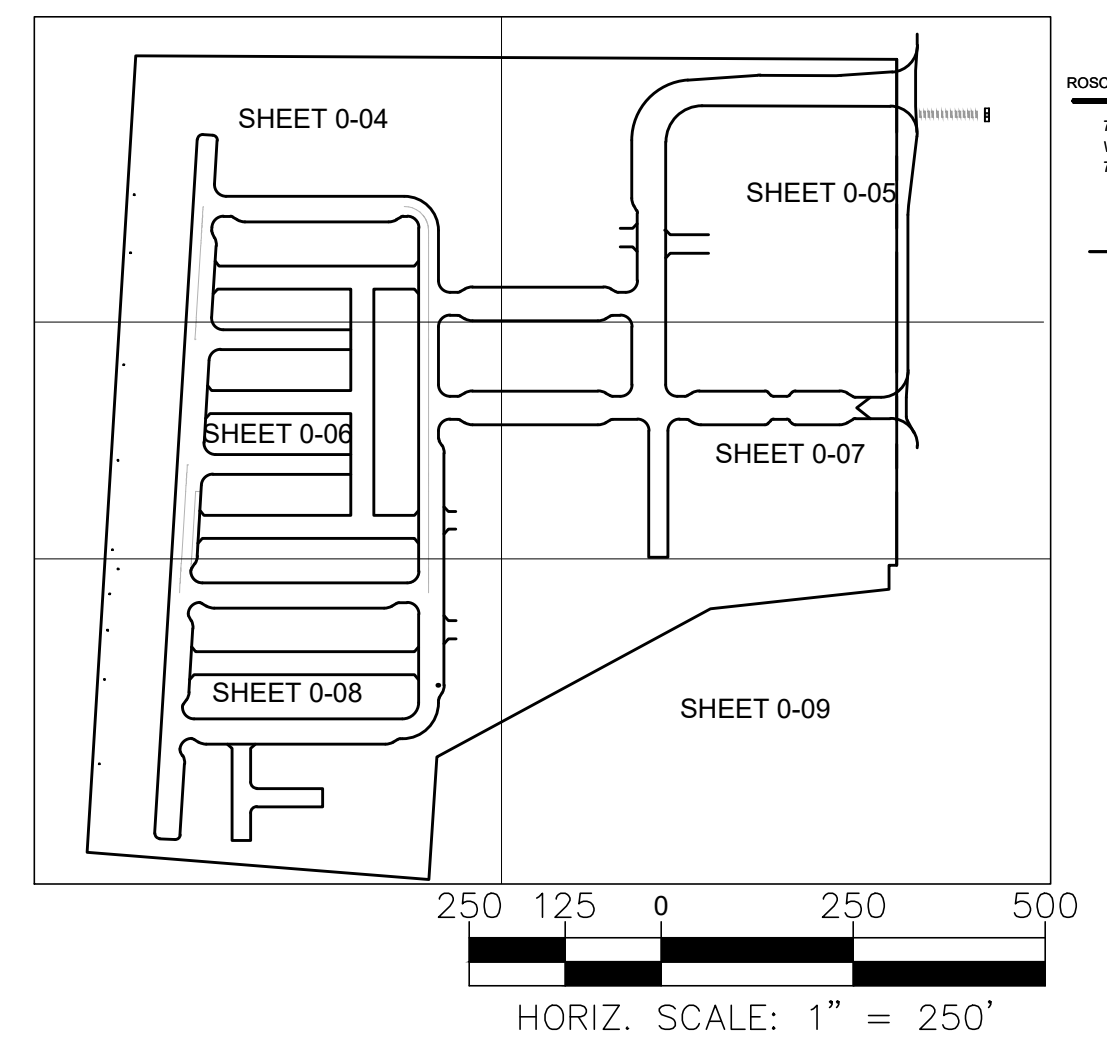
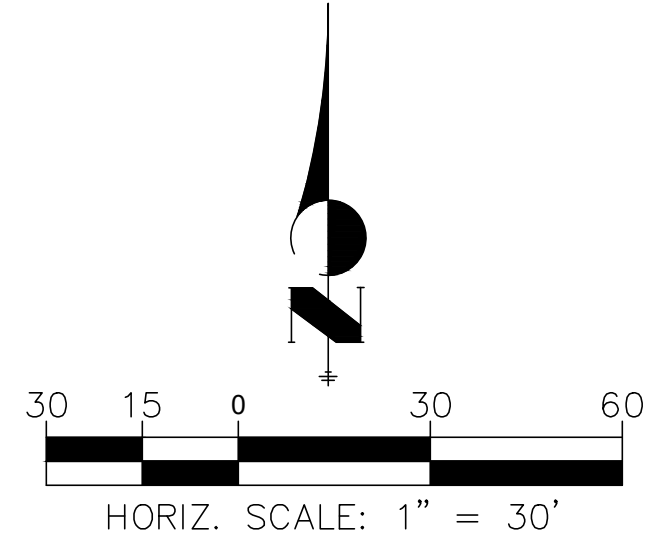
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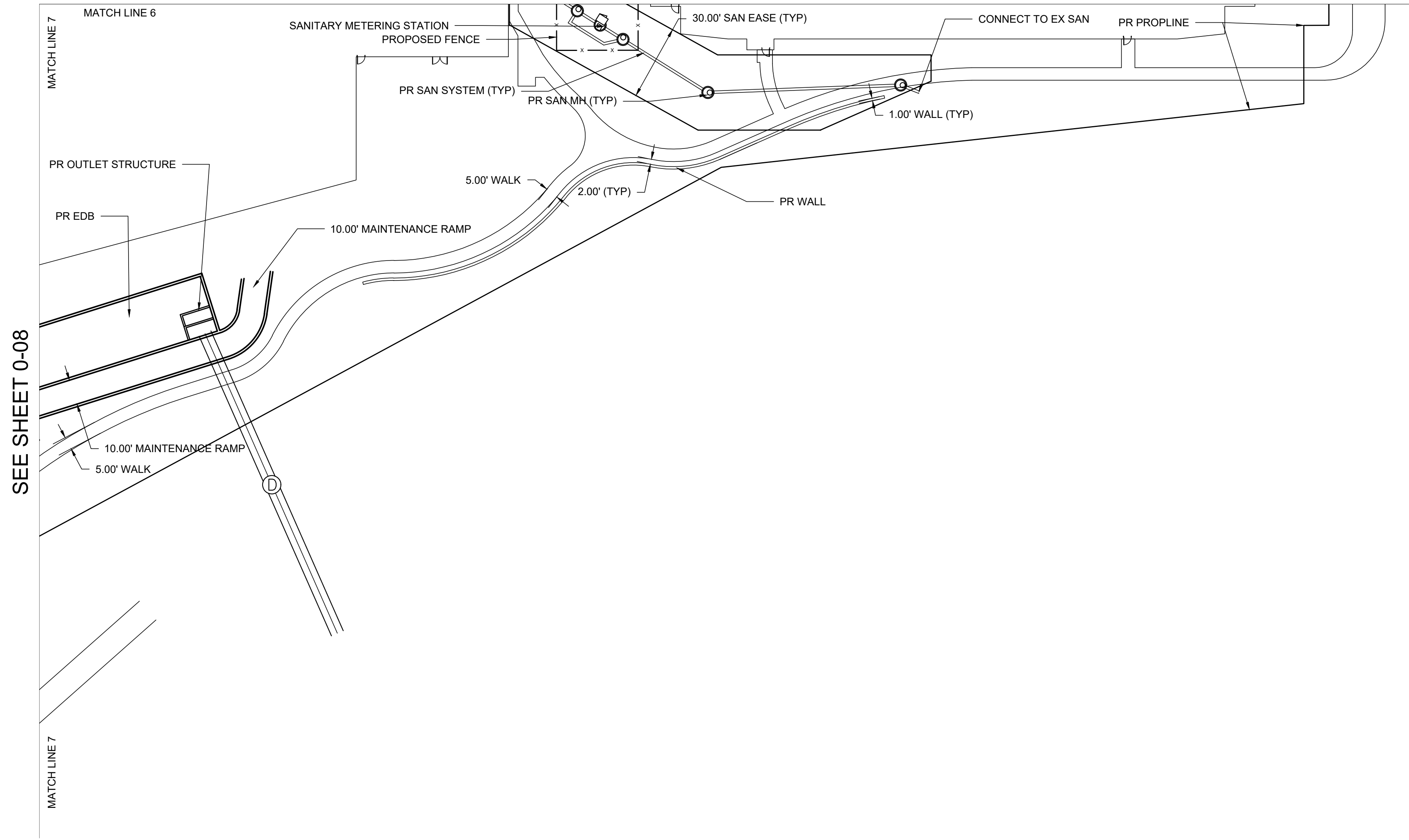
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CLEAR CREEK TRANSIT VILLAGE
 AT CLEAR CREEK
 IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

ROSCOE ENGINEERING, LLC
 703 WALSEN AVE.
 WALSENBURG, CO 81089
 719-738-5715



SEE SHEET 0-07



SEE SHEET 0-08

CLEAR CREEK TRANSIT VILLAGE
 FINAL DEVELOPMENT PLAN
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SHEET TITLE:
 SITE PLAN

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 0-09

CHECKED BY:
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 PREPARED BY:
 BMR

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

DEVELOPMENT STANDARDS								
HOUSING TYPE	MINIMUM LOT SIZE	MINIMUM LOT WIDTH	MAXIMUM DENSITY	MINIMUM FRONT YARD SETBACK	MINIMUM REAR YARD SETBACK	MINIMUM SIDE YARD SETBACK	MAXIMUM BUILDING HEIGHT (3)	MAXIMUM LOT COVERAGE
SINGLE FAMILY ATTACHED FRONT LOAD	1,560 SF	23'-0"	PER APPROVED PDP	17'	5'-0"	3'-6" EXTERIOR WALL 0' COMMON WALL	35'-0"	70%
SINGLE FAMILY ATTACHED REAR LAOD	1,040 SF	20'-0"	PER APPROVED PDP	10'-0"	0'-0"	5'-0" EXTERIOR WALL 0' COMMON WALL	35'-0"	84%
MULTI FAMILY	N/A	N/A	PER APPROVED PDP	N/A	N/A	N/A	95'-0"	N/A

DEVELOPMENT STANDARDS NOTES:

1. Bay windows, cantilevers, chimneys, exterior posts/columns, mechanical equipment, light fixtures, balconies, stairs and other similar architectural features are allowed to extend outward from the principal structure in front, side or rear yards. In no instance may an encroachment cross the property line or be located less than six-feet (6') from the building face of the adjacent property. When an encroachment is less than five-feet (5') from the property line, then the current IBC and/or IRC code requirements and amendments within the governing municipality will be enforced with regard to exterior wall fire-resistant rating and minimum fire-separation distance requirements.
2. Roof overhangs are permitted in the building setback and are not included as part of lot coverage. In no instance may an encroachment cross the property line or be located than six-feet (6') from the building face of the adjacent property. When an encroachment is less than five-feet (5') from the property line, then the IBC and/or IRC code requirements and amendments within the governing municipality will be enforced with regard to the exterior wall fire-resistant and minimum fire-separation distance requirements. All building components such as roof overhangs, decks, sidewall bump-out / chimneys, that are less than five-feet (5') from a property line must meet all current building code requirements. Roof overhangs shall not exceed one foot (1') into the areas where openings are prohibited as noted in current building code.
3. Refer to approved PDP for building height restrictions on PA 1 - 5 and along portions of the northwest property edge.

LAND USE SUMMARY				
LAND USE	ACREAGE	%TOTAL	UNITS	DENSITY
Multi Family Building Area	4.8 ac	23%	796	165.8 du/ac
Single Family Attached Area	4.4 ac	21%	140	32.0 du/ac
Streets	3.7 ac	17%	N/A	N/A
Alley	1.0 ac	5%	N/A	N/A
Open Space	7.2 ac	34%	N/A	N/A
TOTAL	21.1 ac	100%	936	44.4 du/ac

OPEN SPACE SUMMARY				
SITE	OPEN SPACE REQUIRED (30% MIN)	OPEN SPACE PROVIDED	ACTIVE OPEN SPACE REQUIRED	ACTIVE OPEN SPACE PROVIDED
21.1 ACRES	6.3 ACRES	7.2 ACRES	1.6 ACRES	1.7 ACRES

NOTES:

1. OPEN SPACE INCLUDES LANDSCAPE BUFFER AREAS AND PRIVATE ACCESS DRIVES.
2. AT LEAST THIRTY PERCENT (30%) OF THE SITE SHALL BE OPEN AREA (6.3 AC). TWENTY FIVE PERCENT (25%) OF THAT OPEN AREA MUST BE ACTIVE OPEN SPACE (1.6 AC).
3. ACTIVE OPEN SPACE INCLUDES COMMUNITY AMENITIES SUCH AS PARK, WALKS CONNECTING TO THE REGIONAL CLEAR CREEK TRAIL, PLAZA AREA IN FRONT OF RETAIL USES, FEDERAL STREETSCAPE AND WALKS CONNECTING TO MULTI FAMILY ENTRANCES.

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 14034 SOUTH 145th EAST
 DRAPER, UT 84020

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 DEVELOPMENT
 STANDARDS & LAND
 USE SUMMARY
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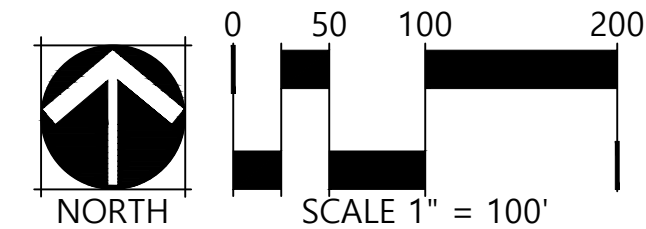
CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

PARKING PLAN



PARKING SUMMARY	
DESCRIPTION	QUANTITY
Multi Family Structured Garage Parking	939 Spaces
Townhome Garage Parking	272 Spaces
Townhome Driveway Parking	78 Spaces
On-Street Parking	180 Spaces
Total Parking Provided	1,469 Parking Spaces / 936 Homes = 1.6 Per Unit



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 14034 SOUTH 145th EAST
 DRAPER, UT 84020

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DATE:
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 PARKING PLAN

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CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

COLOR LEGEND*	
1	4" LAP SIDING: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: GREAN EARTH (SW 7748)
2	8" SIDING/TRIM: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: HIGH REFLECTIVE WHITE (SW 7757)
3	FASCIA/DOOR: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: FORGED STEEL (SW 9565)
4	ROOF: MANUF: GAF, OR SIM. COLOR: TIMBERLINE WEATHERED WOOD
5	BRICK: MANUF: GENERAL SHALE, OR SIM. COLOR: NIGHTFALL

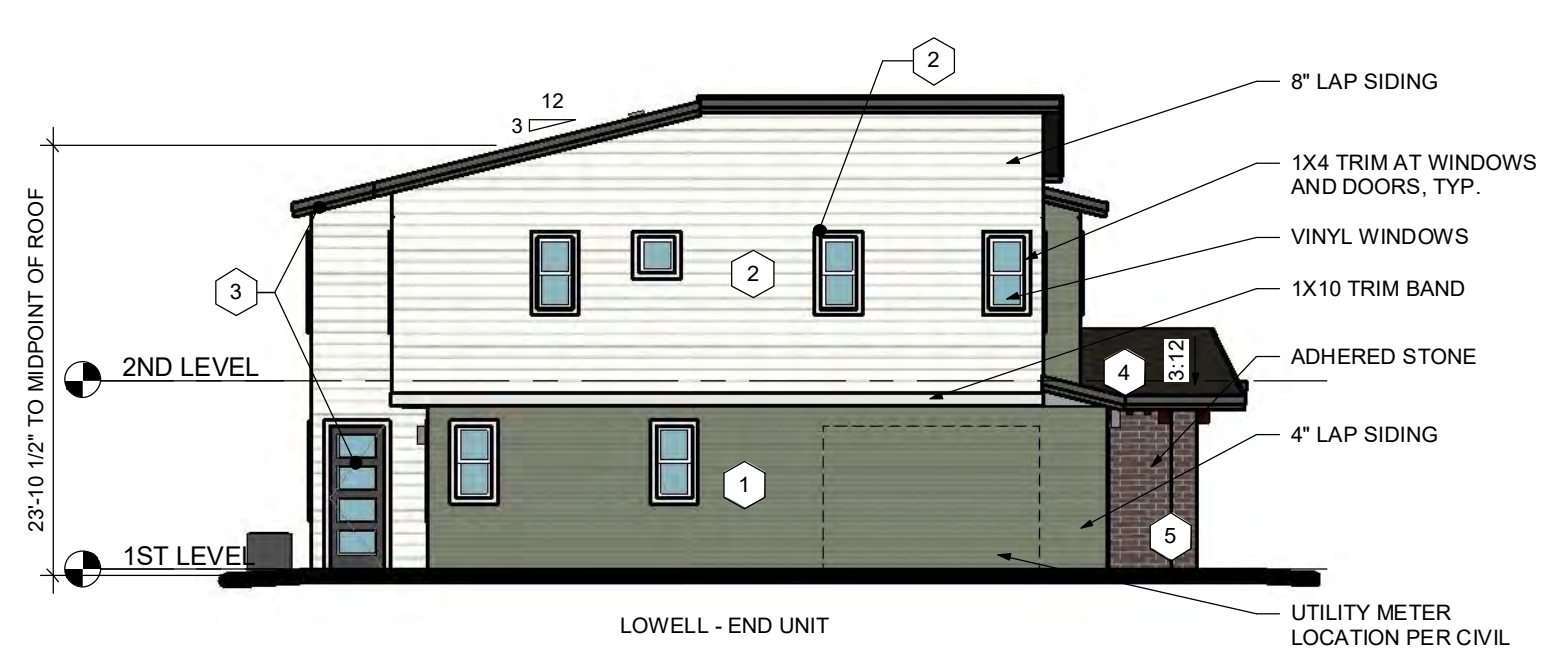


CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

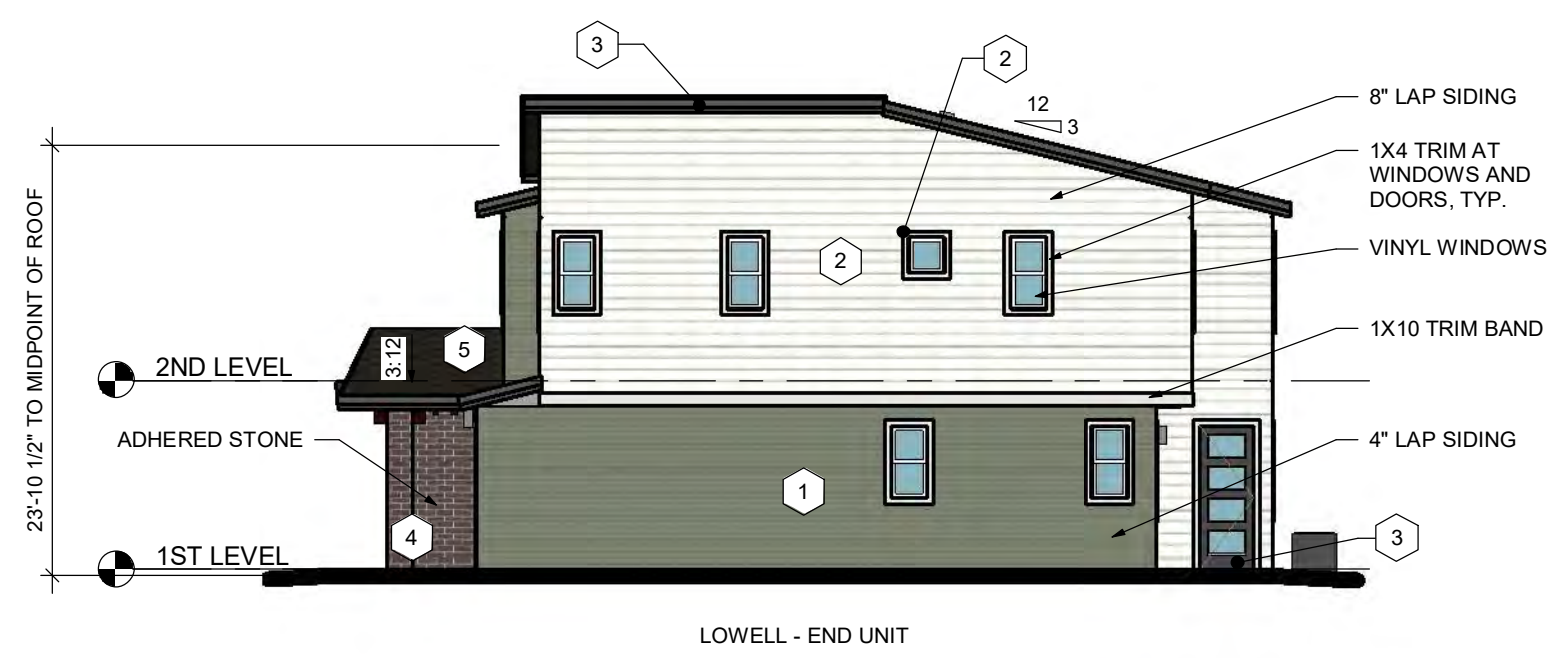
OWNER:
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK ODP I, L.P.
14034 SOUTH 145TH EAST
DRAPER, UT 84020



4 2-STORY FRONT LOAD - 4-PLEX - REAR ELEVATION
3/32" = 1'-0"



3 2-STORY FRONT LOAD - 4-PLEX - LEFT ELEVATION
3/32" = 1'-0"



2 2-STORY FRONT LOAD - 4-PLEX - RIGHT ELEVATION
3/32" = 1'-0"



1 2-STORY FRONT LOAD - 4-PLEX - FRONT ELEVATION
3/32" = 1'-0"

NOT FOR CONSTRUCTION

DATE:
FDP-01-03/24/2023

SHEET TITLE:
2-STORY FRONT
LOAD 4-PLEX

SHEET NUMBER:
A-1

CHECKED BY:
FILENAME:

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

COLOR LEGEND*

1	LAP SIDING: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: ALABASTER (SW 7008)
2	VERTICAL SIDING: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: ALLOY (SW 9569)
3	PANEL SIDING/FRONT DOOR: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: INDIGO BATIK (SW 7602)
4	TRIM/FASCIA/GARAGE: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: TUNGSTEN (SW 9515)
5	ROOF: MANUF: GAF, OR SIM. COLOR: TIMBERLINE WEATHERED WOOD
6	BRICK: MANUF: GENERAL SHALE, OR SIM. COLOR: NIGHTFALL

*ALL COLOR INFORMATION IS APPROXIMATE. MANUFACTURER AND FINAL TINT SUBJECT TO CHANGE



CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK ODP I, L.P.
14034 SOUTH 145TH EAST
DRAPER, UT 84020

NOT FOR CONSTRUCTION

DATE:
FDP-01-03/24/2023

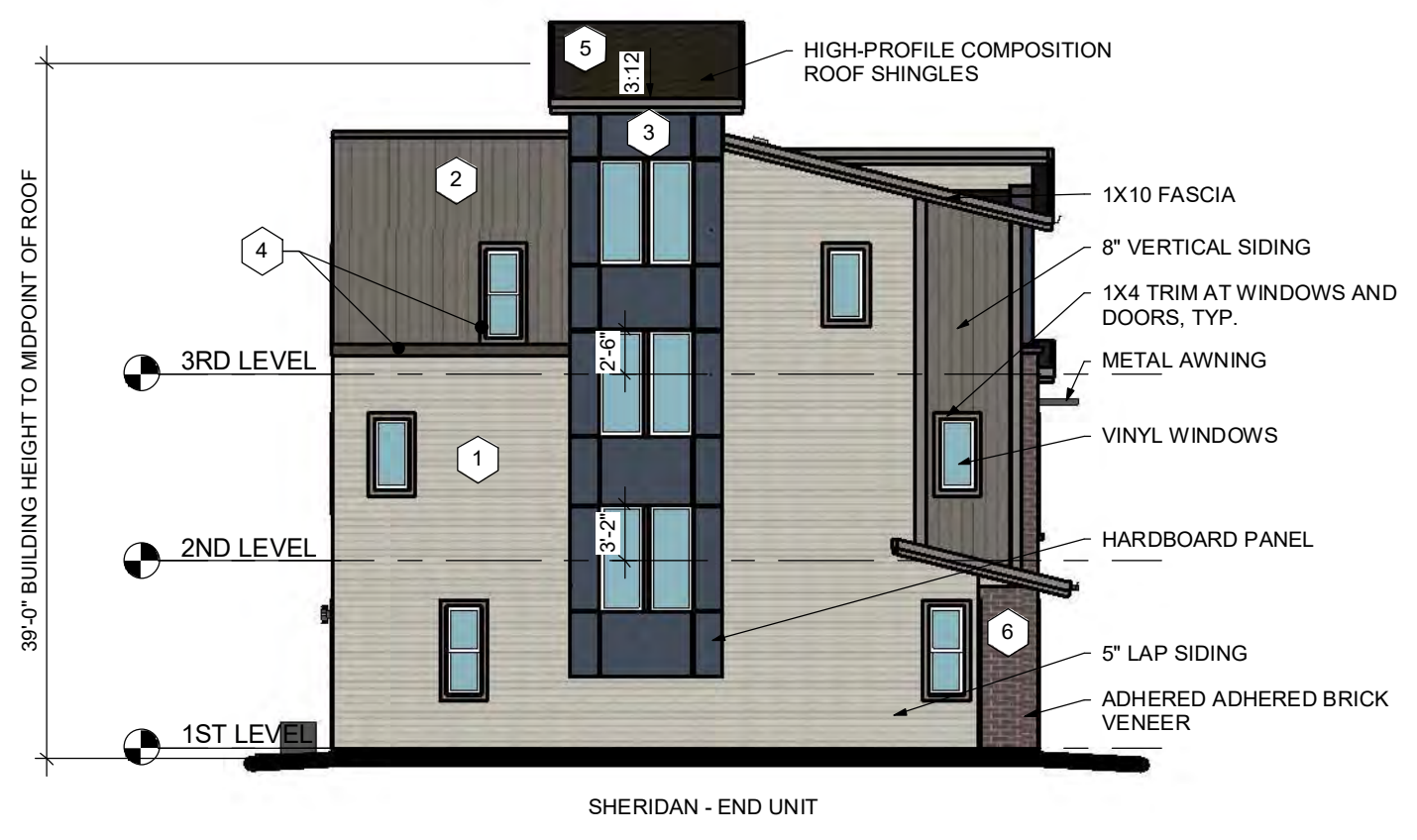
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3-STORY FRONT
LOAD 3-PLEX

SHEET NUMBER:

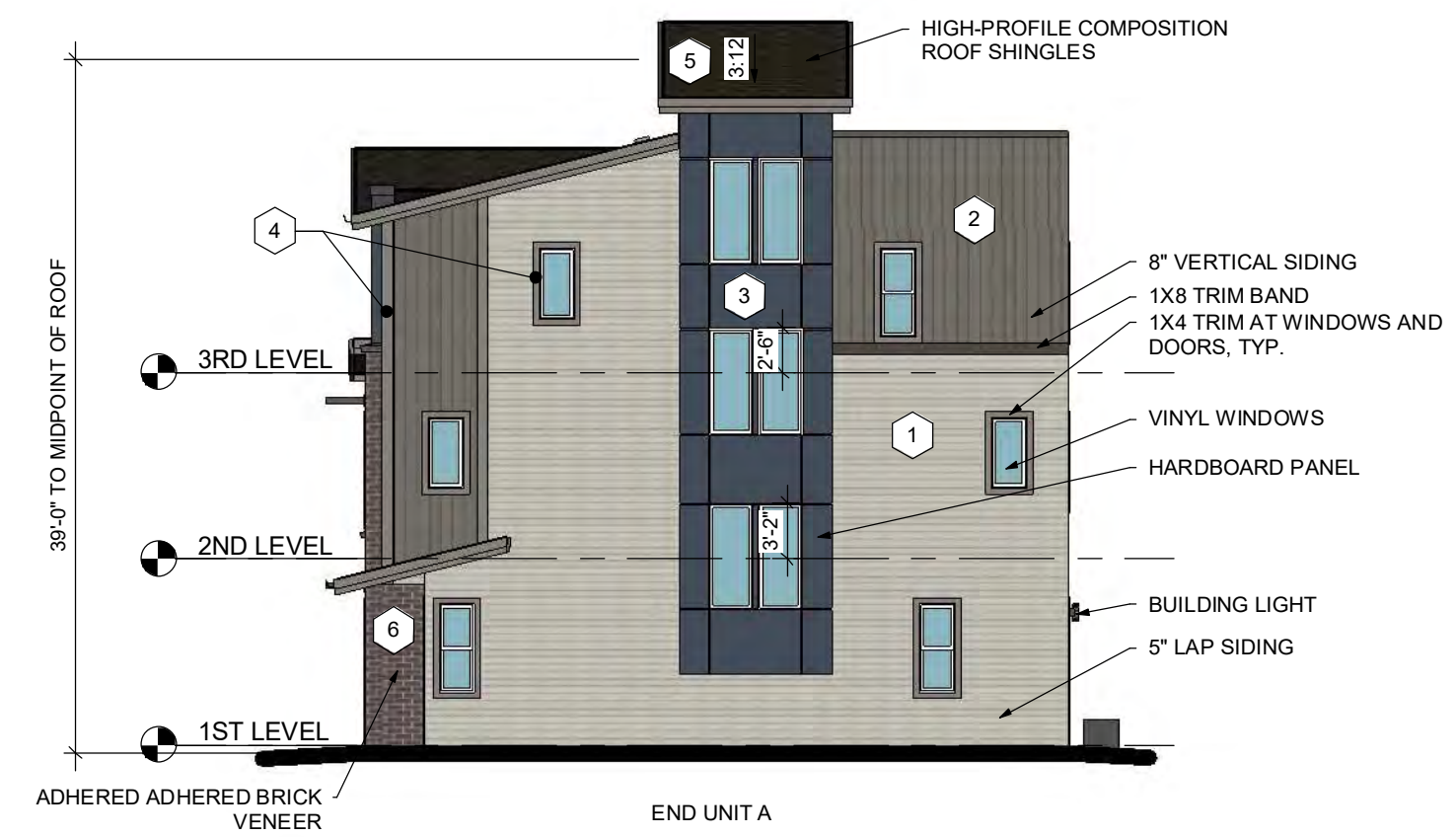
A2



4 3-PLEX - REAR ELEVATION
3/32" = 1'-0"



3 3-PLEX - LEFT ELEVATION
3/32" = 1'-0"



2 3-PLEX - RIGHT ELEVATION
3/32" = 1'-0"



1 3-PLEX - FRONT ELEVATION
3/32" = 1'-0"

CHECKED BY:
FILENAME:

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO

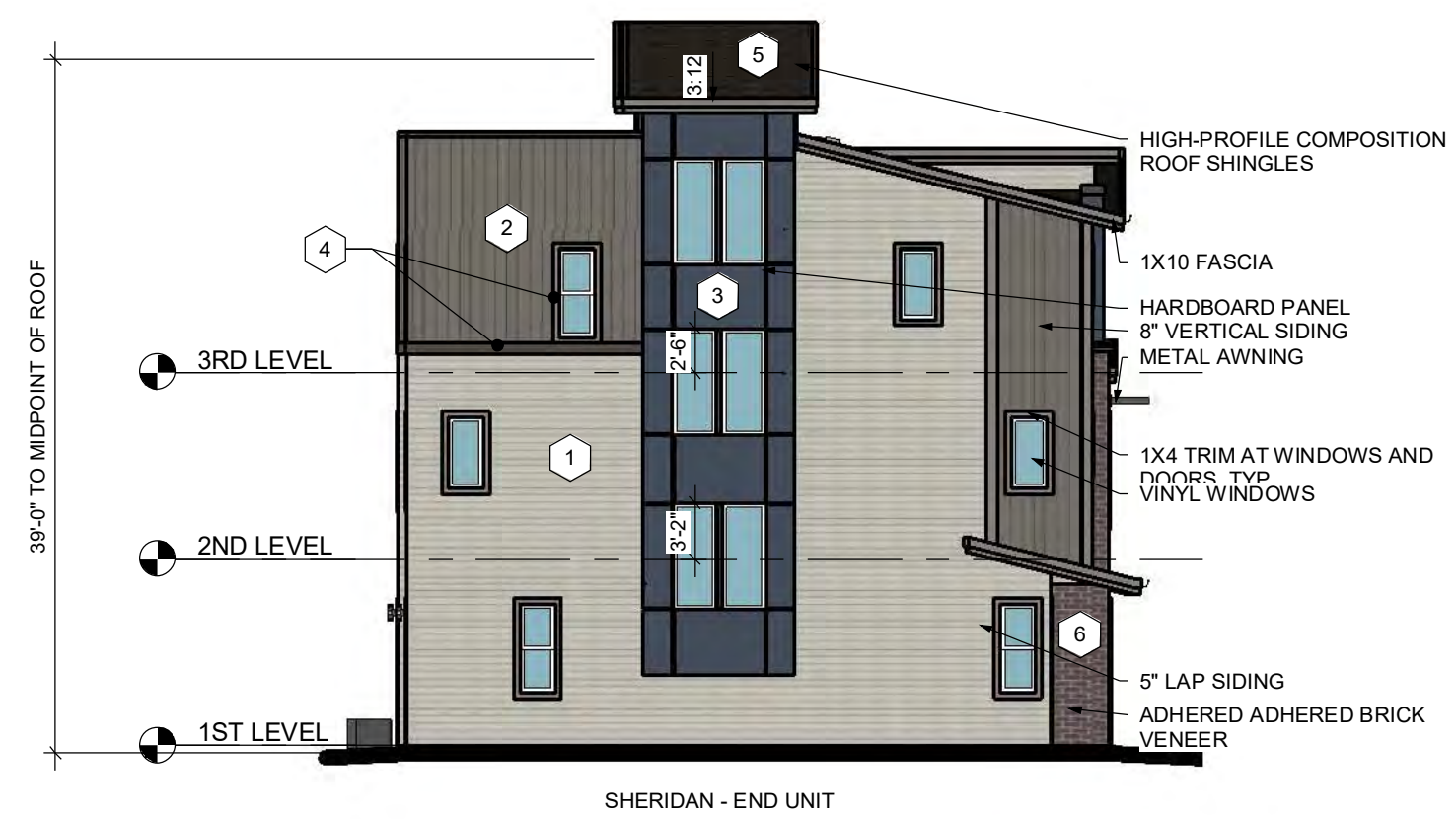
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

COLOR LEGEND*	
1	LAP SIDING: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: ALABASTER (SW 7008)
2	VERTICAL SIDING: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: ALLOY (SW 9569)
3	PANEL SIDING/FRONT DOOR: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: INDIGO BATIK (SW 7602)
4	TRIM/FASCIA/GARAGE: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: TUNGSTEN (SW 9515)
5	ROOF: MANUF: GAF, OR SIM. COLOR: TIMBERLINE WEATHERED WOOD
6	BRICK: MANUF: GENERAL SHALE, OR SIM. COLOR: NIGHTFALL

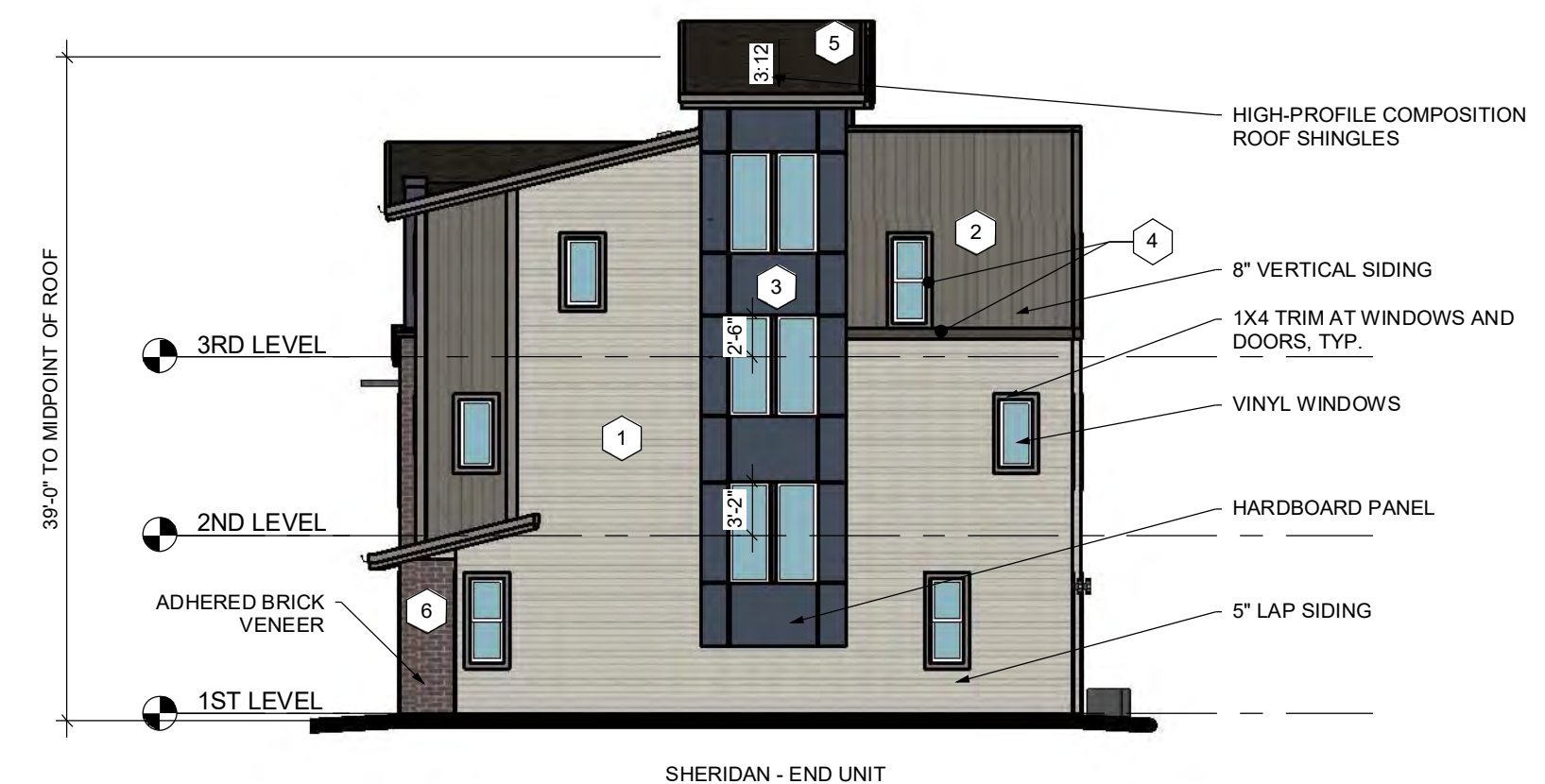
*ALL COLOR INFORMATION IS APPROXIMATE. MANUFACTURER AND FINAL TINT SUBJECT TO CHANGE



4 5-PLEX - REAR ELEVATION
3/32" = 1'-0"



3 5-PLEX - LEFT SIDE ELEVATION
3/32" = 1'-0"



2 5-PLEX - RIGHT SIDE ELEVATION
3/32" = 1'-0"



1 5-PLEX - FRONT ELEVATION
3/32" = 1'-0"

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK ODP I, L.P.
14034 SOUTH 145TH EAST
DRAPER, UT 84020

NOT FOR CONSTRUCTION

DATE:
FDP-01-03/24/2023

SHEET TITLE:
3-STORY FRONT
LOAD 5-PLEX

SHEET NUMBER:
A3

CHECKED BY:
FILENAME:

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO

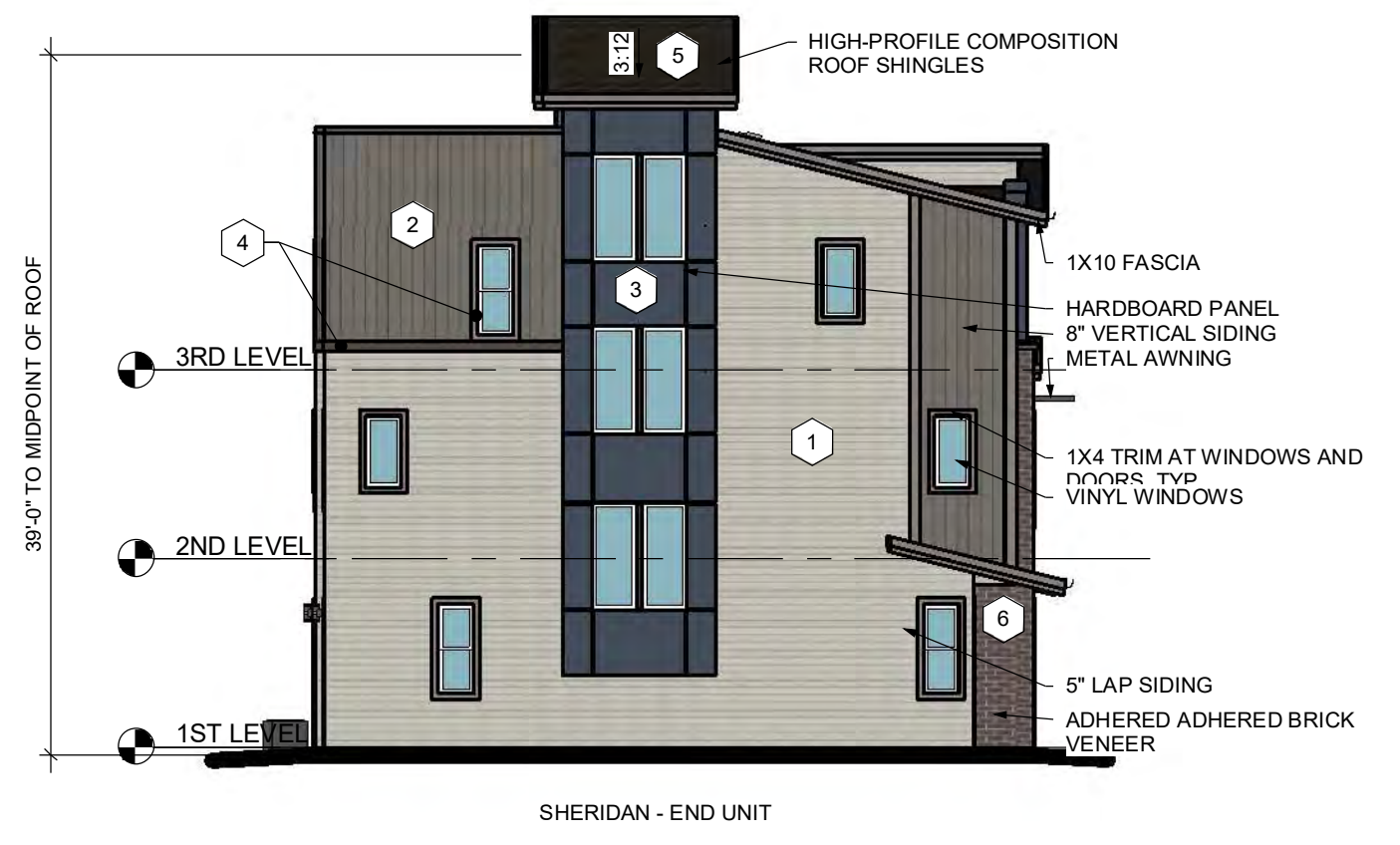
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

COLOR LEGEND*	
1	LAP SIDING: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: ALABASTER (SW 7008)
2	VERTICAL SIDING: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: ALLOY (SW 9569)
3	PANEL SIDING/FRONT DOOR: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: INDIGO BATIK (SW 7602)
4	TRIM/FASCIA/GARAGE: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: TUNGSTEN (SW 9515)
5	ROOF: MANUF: GAF, OR SIM. COLOR: TIMBERLINE WEATHERED WOOD
6	BRICK: MANUF: GENERAL SHALE, OR SIM. COLOR: NIGHTFALL

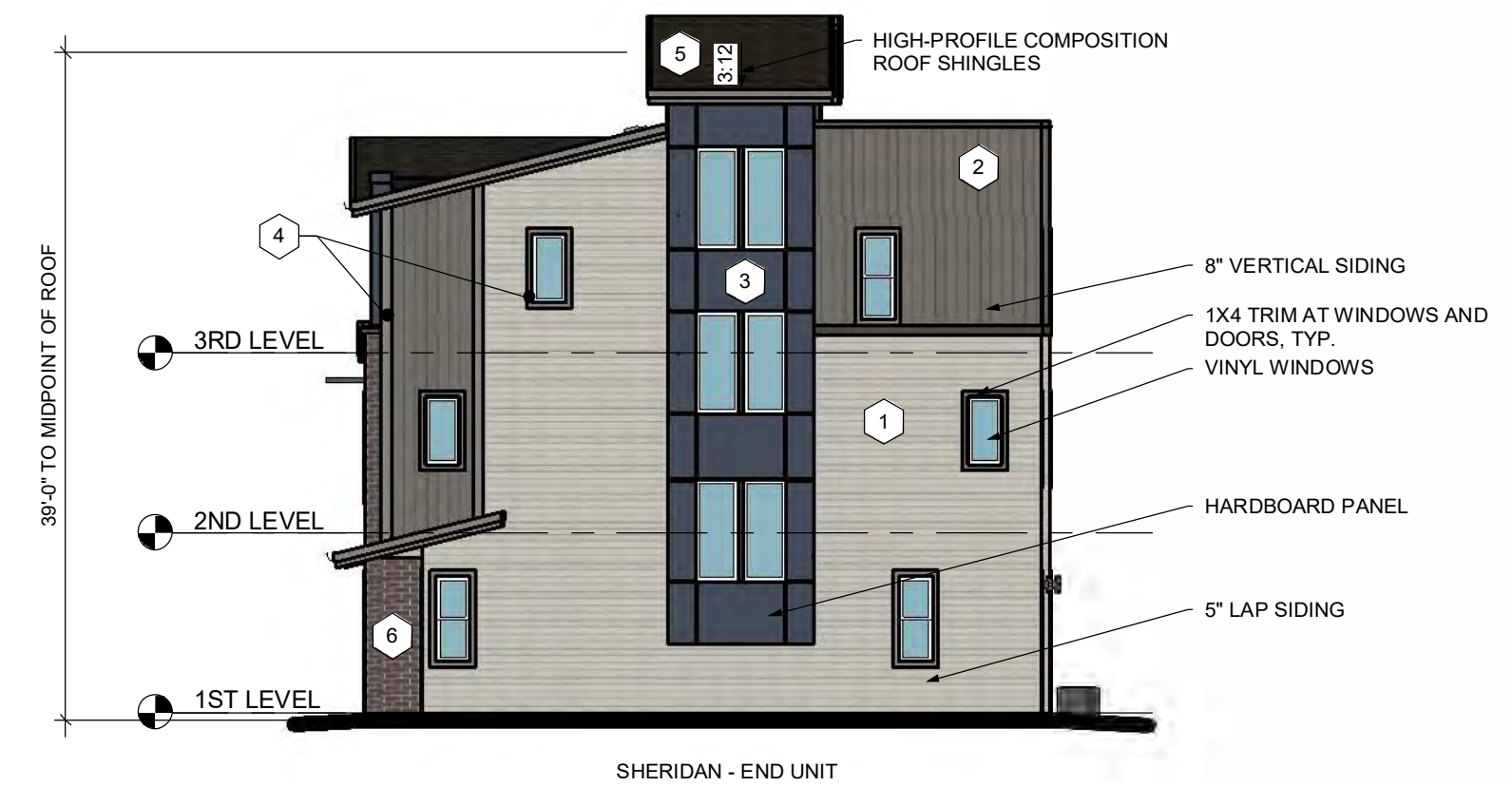
*ALL COLOR INFORMATION IS APPROXIMATE. MANUFACTURER AND FINAL TINT SUBJECT TO CHANGE



1 6-PLEX - REAR ELEVATION
3/32" = 1'-0"



3 6-PLEX - LEFT SIDE ELEVATION
3/32" = 1'-0"



2 6-PLEX - RIGHT SIDE ELEVATION
3/32" = 1'-0"



4 6-PLEX - FRONT ELEVATION
3/32" = 1'-0"

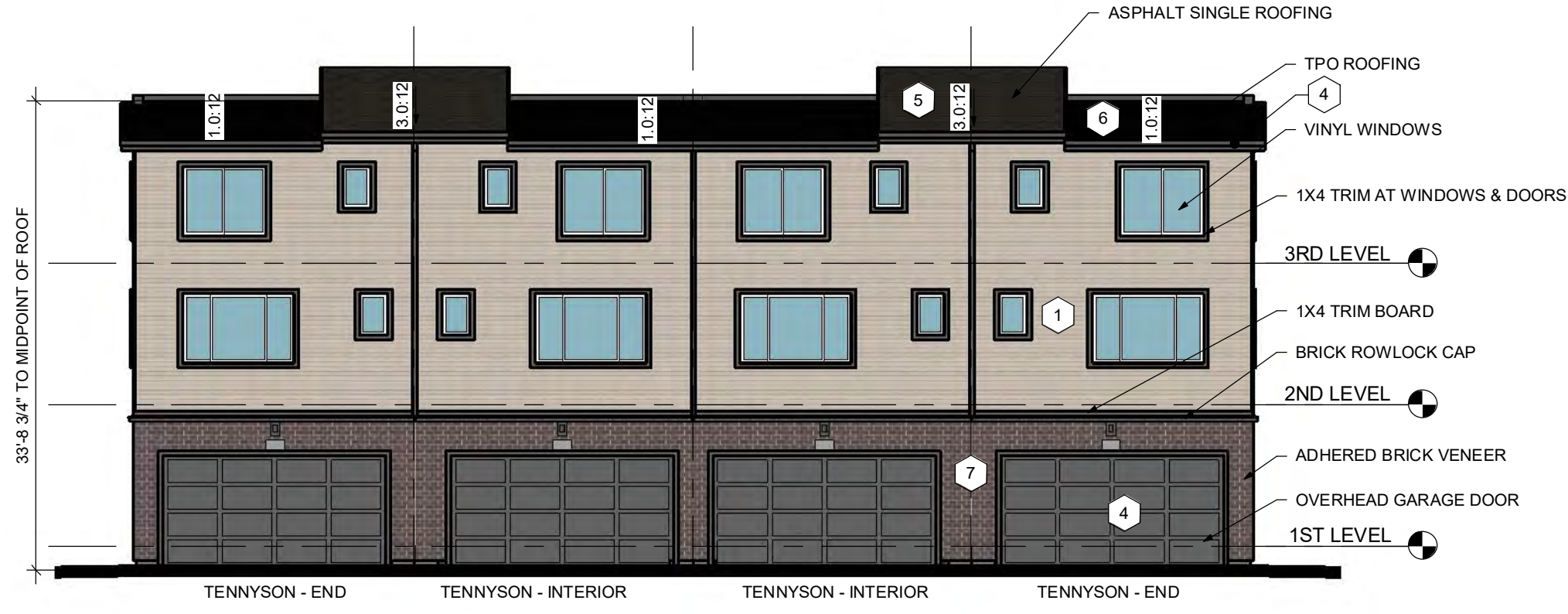
CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO

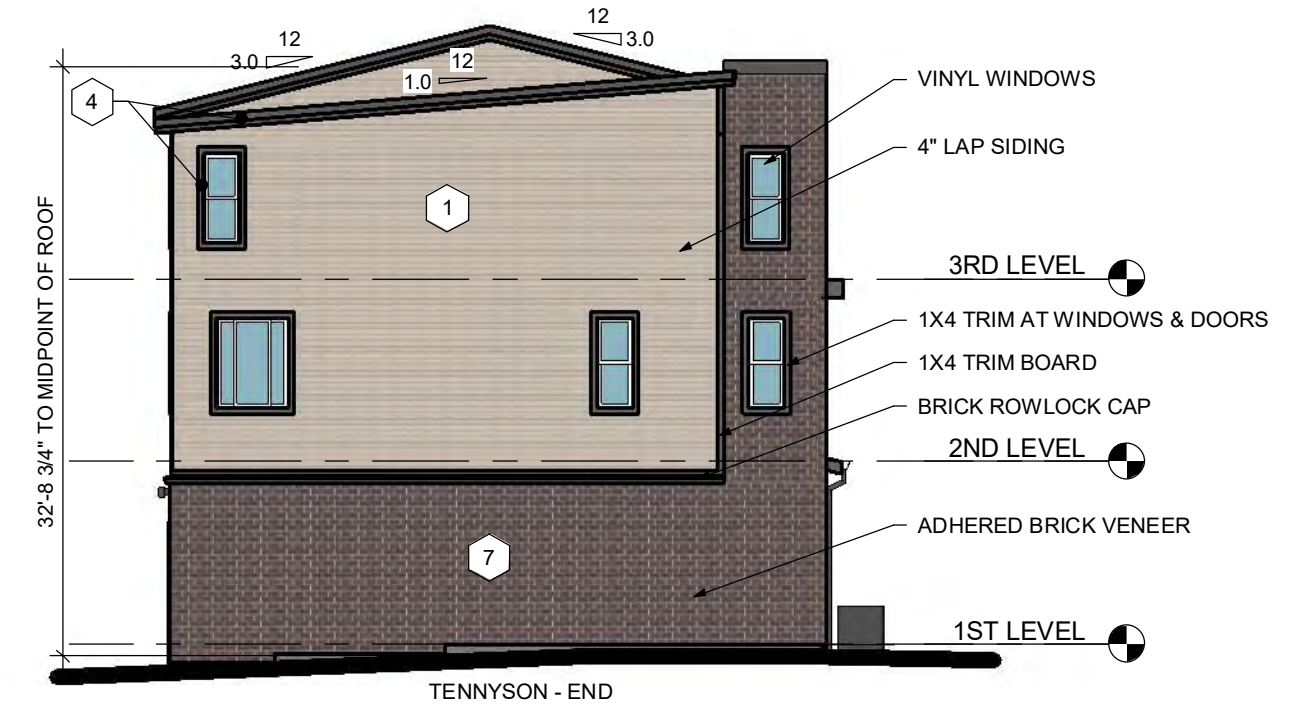
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

COLOR LEGEND*	
1	LAP SIDING: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: MINIMALIST (SW 9611)
2	VERTICAL SIDING: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: HIGH REFLECTIVE WHITE (SW 7757)
3	FRONT DOOR: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: RED BARN (SW 7591)
4	TRIM/FASCIA/GARAGE: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: WESTCHESTER GRAY (SW 2849)
5	ROOF (SHINGLE): MANUF: GAF, OR SIM. COLOR: TIMBERLINE WEATHERED WOOD
6	ROOF (TPO): MANUF: GAF, OR SIM. COLOR: BLACK
7	BRICK: MANUF: GENERAL SHALE, OR SIM. COLOR: NIGHTFALL

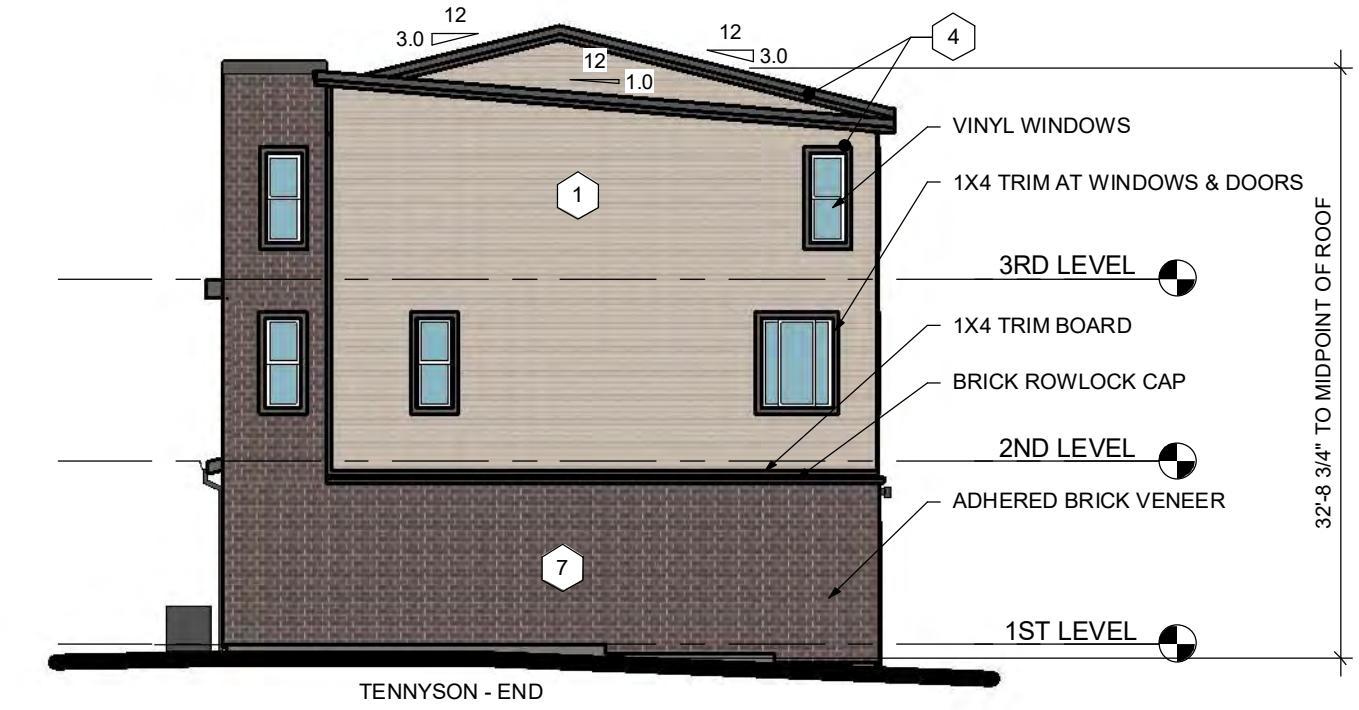
*ALL COLOR INFORMATION IS APPROXIMATE. MANUFACTURER AND FINAL TINT SUBJECT TO CHANGE



4 3-STORY REAR LOAD - 4-PLEX - REAR ELEVATION
3/32" = 1'-0"



3 3-STORY REAR LOAD - 4-PLEX - LEFT ELEVATION
3/32" = 1'-0"



2 3-STORY REAR LOAD - 4-PLEX - RIGHT ELEVATION
3/32" = 1'-0"



1 3-STORY REAR LOAD - 4-PLEX - FRONT ELEVATION
3/32" = 1'-0"

CLEAR CREEK TRANSIT VILLAGE

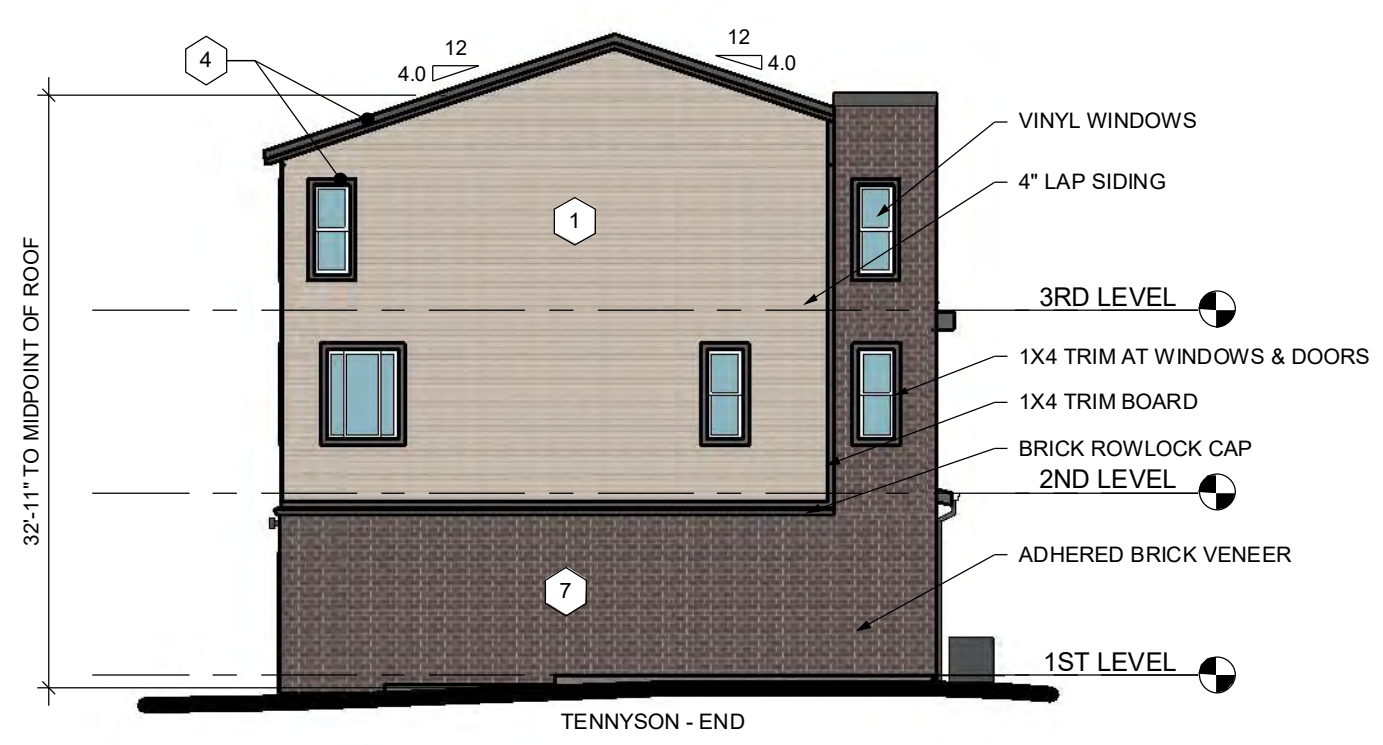
AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

COLOR LEGEND*	
1	LAP SIDING: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: MINIMALIST (SW 9611)
2	VERTICAL SIDING: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: HIGH REFLECTIVE WHITE (SW 7757)
3	FRONT DOOR: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: RED BARN (SW 7591)
4	TRIM/FASCIA/GARAGE: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: WESTCHESTER GRAY (SW 2849)
5	ROOF (SHINGLE): MANUF: GAF, OR SIM. COLOR: TIMBERLINE WEATHERED WOOD
6	ROOF (TPO): MANUF: GAF, OR SIM. COLOR: BLACK
7	BRICK: MANUF: GENERAL SHALE, OR SIM. COLOR: NIGHTFALL

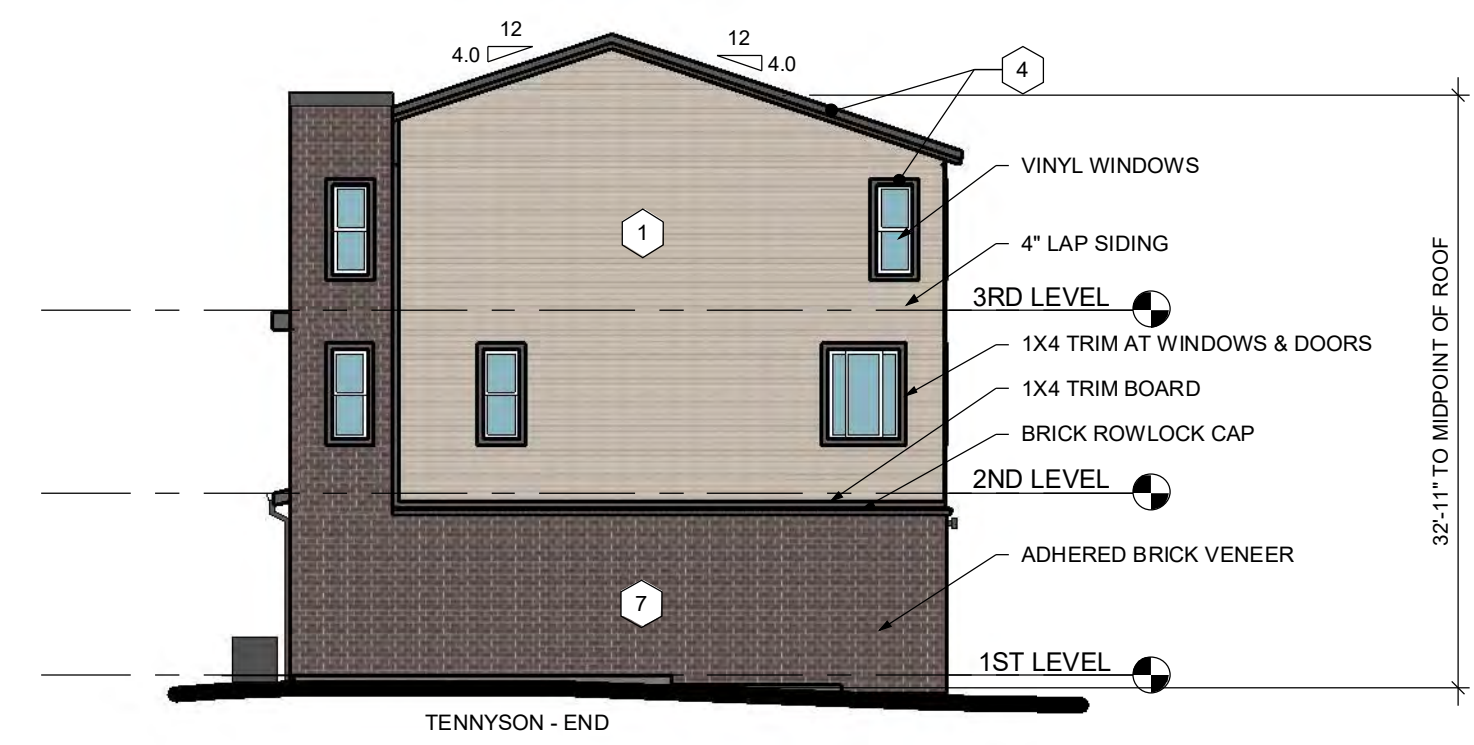
*ALL COLOR INFORMATION IS APPROXIMATE. MANUFACTURER AND FINAL TINT SUBJECT TO CHANGE



4 3-STORY REAR LOAD - 5-PLEX - REAR ELEVATION
3/32" = 1'-0"



3 3-STORY REAR LOAD - 5-PLEX - LEFT SIDE ELEVATION
3/32" = 1'-0"



2 3-STORY REAR LOAD - 5-PLEX - RIGHT SIDE ELEVATION
3/32" = 1'-0"



1 3-STORY REAR LOAD - 5-PLEX - FRONT ELEVATION
3/32" = 1'-0"

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO

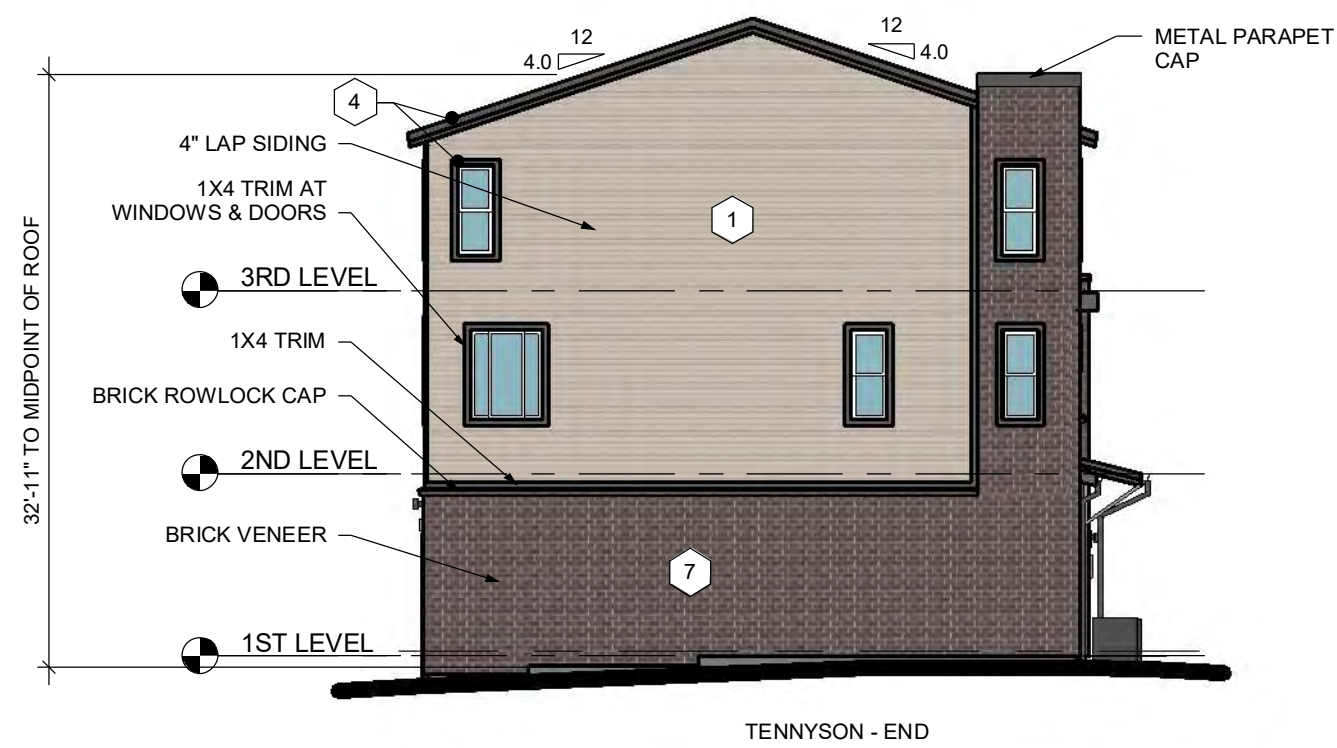
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

COLOR LEGEND*	
1	LAP SIDING: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: MINIMALIST (SW 9611)
2	VERTICAL SIDING: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: HIGH REFLECTIVE WHITE (SW 7757)
3	FRONT DOOR: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: RED BARN (SW 7591)
4	TRIM/FASCIA/GARAGE: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: WESTCHESTER GRAY (SW 2849)
5	ROOF (SHINGLE): MANUF: GAF, OR SIM. COLOR: TIMBERLINE WEATHERED WOOD
6	ROOF (TPO): MANUF: GAF, OR SIM. COLOR: BLACK
7	BRICK: MANUF: GENERAL SHALE, OR SIM. COLOR: NIGHTFALL

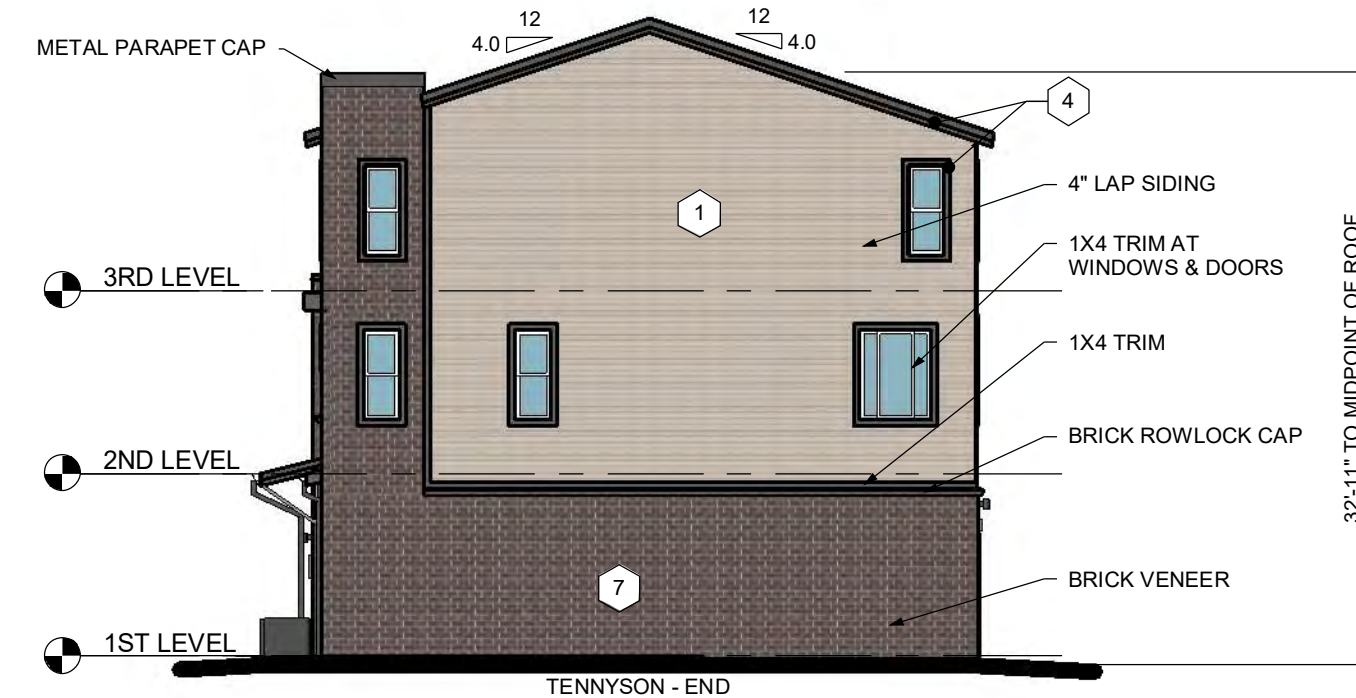
*ALL COLOR INFORMATION IS APPROXIMATE. MANUFACTURER AND FINAL TINT SUBJECT TO CHANGE



4 3-STORY REAR LOAD - 5-PLEX-B - REAR ELEVATION
3/32" = 1'-0"



3 3-STORY REAR LOAD - 5-PLEX-B - LEFT ELEVATION
3/32" = 1'-0"



2 3-STORY REAR LOAD - 5-PLEX-B - RIGHT ELEVATION
3/32" = 1'-0"



1 3-STORY REAR LOAD - 5-PLEX-B - FRONT ELEVATION
3/32" = 1'-0"

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK ODP I, L.P.
14034 SOUTH 145TH EAST
DRAPER, UT 84020

NOT FOR CONSTRUCTION

DATE:
FDP-01-03/24/2023

SHEET TITLE:
3-STORY REAR LOAD 5-PLEX-B

SHEET NUMBER:
A7

CHECKED BY:
FILENAME:

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO

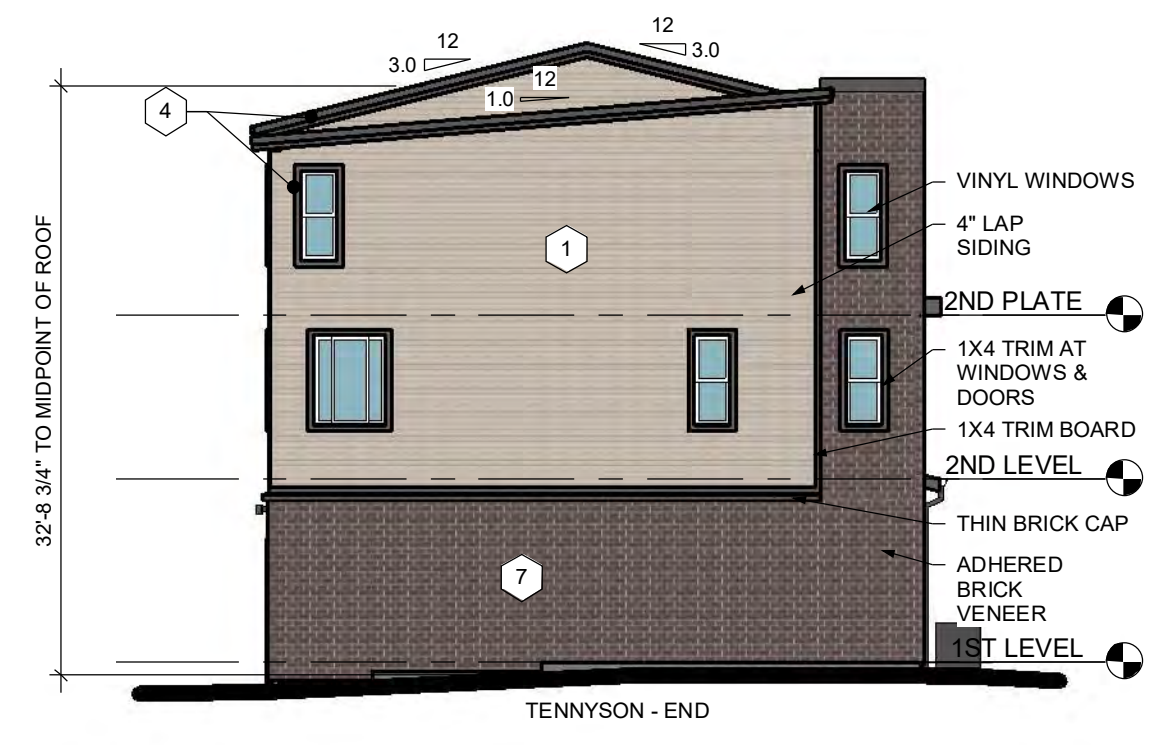
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

COLOR LEGEND*	
1	LAP SIDING: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: MINIMALIST (SW 9611)
2	VERTICAL SIDING: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: HIGH REFLECTIVE WHITE (SW 7757)
3	FRONT DOOR: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: RED BARN (SW 7591)
4	TRIM/FASCIA/GARAGE: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: WESTCHESTER GRAY (SW 2849)
5	ROOF (SHINGLE): MANUF: GAF, OR SIM. COLOR: TIMBERLINE WEATHERED WOOD
6	ROOF (TPO): MANUF: GAF, OR SIM. COLOR: BLACK
7	BRICK: MANUF: GENERAL SHALE, OR SIM. COLOR: NIGHTFALL

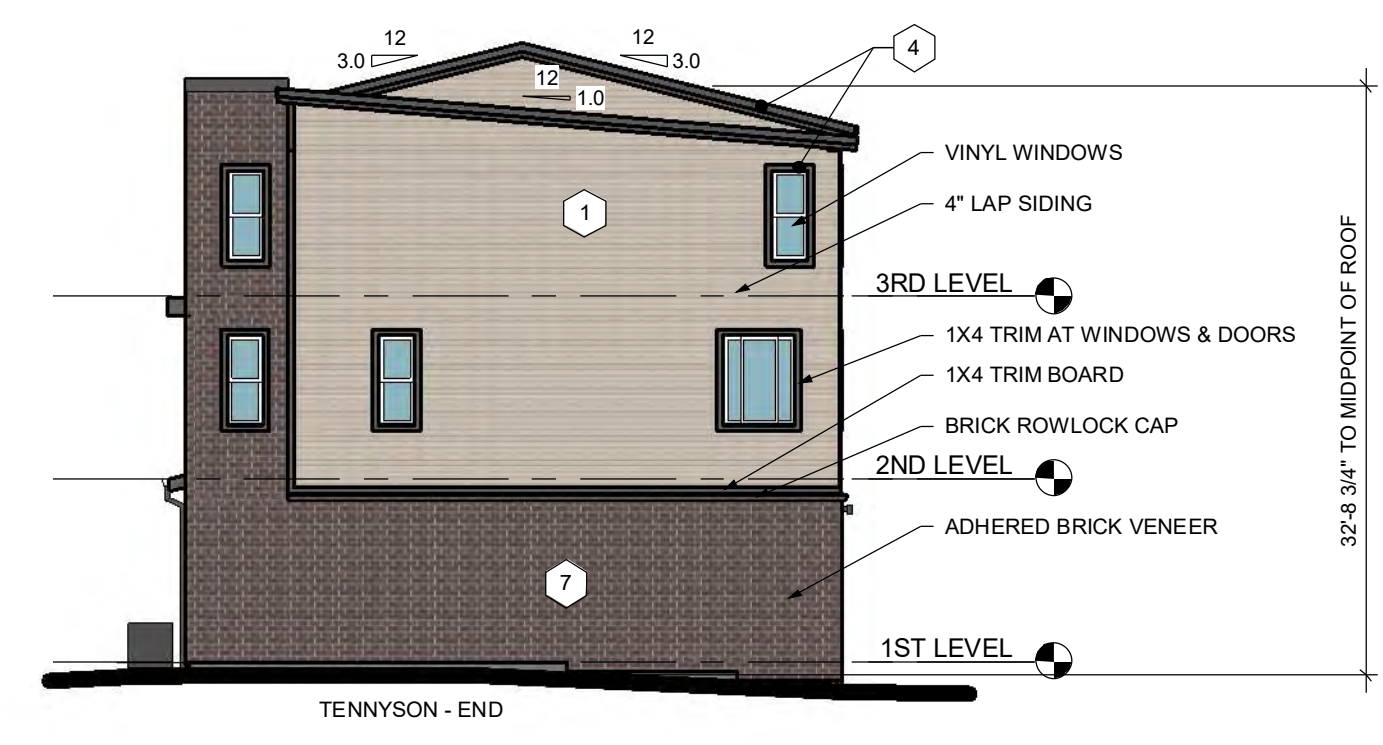
*ALL COLOR INFORMATION IS APPROXIMATE. MANUFACTURER AND FINAL TINT SUBJECT TO CHANGE



1 3-STORY REAR LOAD - 6-PLEX - REAR ELEVATION
3/32" = 1'-0"



3 3-STORY REAR LOAD - 6-PLEX - LEFT ELEVATION
3/32" = 1'-0"



2 3-STORY REAR LOAD - 6-PLEX - RIGHT ELEVATION
3/32" = 1'-0"



4 3-STORY REAR LOAD - 6-PLEX - FRONT ELEVATION
3/32" = 1'-0"

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK ODP I, L.P.
14034 SOUTH 145TH EAST
DRAPER, UT 84020

NOT FOR CONSTRUCTION

DATE:
FDP-01-03/24/2023

SHEET TITLE:
3-STORY REAR LOAD 6-PLEX

SHEET NUMBER:
A8

CHECKED BY:
FILENAME:

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

COLOR LEGEND*	
A	BODY COLOR 1: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: RIVERWAY (SW 6222)
B	BODY COLOR 2: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: SIMPLE WHITE (SW 7021)
C	BODY COLOR 3: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: WESTERN RESERVE (SW 9597)
D	BODY COLOR 4: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: CITYSCAPE (SW 7067)
E	MASONRY: MANUF: SUMMIT BRICK, OR SIM. COLOR: LIGHT GRAY
F	MASONRY: MANUF: SUMMIT BRICK, OR SIM. COLOR: DARK PEWTER
G	MASONRY: MANUF: ELGIN BRICK, OR SIM. COLOR: SLATE #7450
H	METAL PANEL: MANUF: PAC-CLAD WOOD GRAIN COLOR: COPPER

*ALL COLOR INFORMATION IS APPROXIMATE. MANUFACTURER AND FINAL TINT SUBJECT TO CHANGE



2 NORTH ELEVATION
1/16" = 1'-0"



1 EAST ELEVATION
1/16" = 1'-0"

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK DOF I, L.P.
14034 SOUTH 148th EAST
DRAPER, UT 84020

NOT FOR CONSTRUCTION

DATE:
EDP-01-03/24/2023

SHEET TITLE:
PA1 - BUILDING ELEVATIONS

SHEET NUMBER:
A9

CHECKED BY:
FILENAME:

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

COLOR LEGEND*	
A	BODY COLOR 1: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: RIVERWAY (SW 6222)
B	BODY COLOR 2: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: SIMPLE WHITE (SW 7021)
C	BODY COLOR 3: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: WESTERN RESERVE (SW 9597)
D	BODY COLOR 4: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: CITYSCAPE (SW 7067)
E	MASONRY: MANUF: SUMMIT BRICK, OR SIM. COLOR: LIGHT GRAY
F	MASONRY: MANUF: SUMMIT BRICK, OR SIM. COLOR: DARK PEWTER
G	MASONRY: MANUF: ELGIN BRICK, OR SIM. COLOR: SLATE #7450
H	METAL PANEL: MANUF: PAC-CLAD WOOD GRAIN COLOR: COPPER

*ALL COLOR INFORMATION IS APPROXIMATE. MANUFACTURER AND FINAL TINT SUBJECT TO CHANGE



2 SOUTH ELEVATION
1/16" = 1'-0"



1 WEST ELEVATION
1/16" = 1'-0"

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK DOF I, L.P.
14034 SOUTH 148th EAST
DRAPER, UT 84020

NOT FOR CONSTRUCTION

DATE:
EDP-01-03/24/2023

SHEET TITLE:
PA1 - BUILDING ELEVATIONS

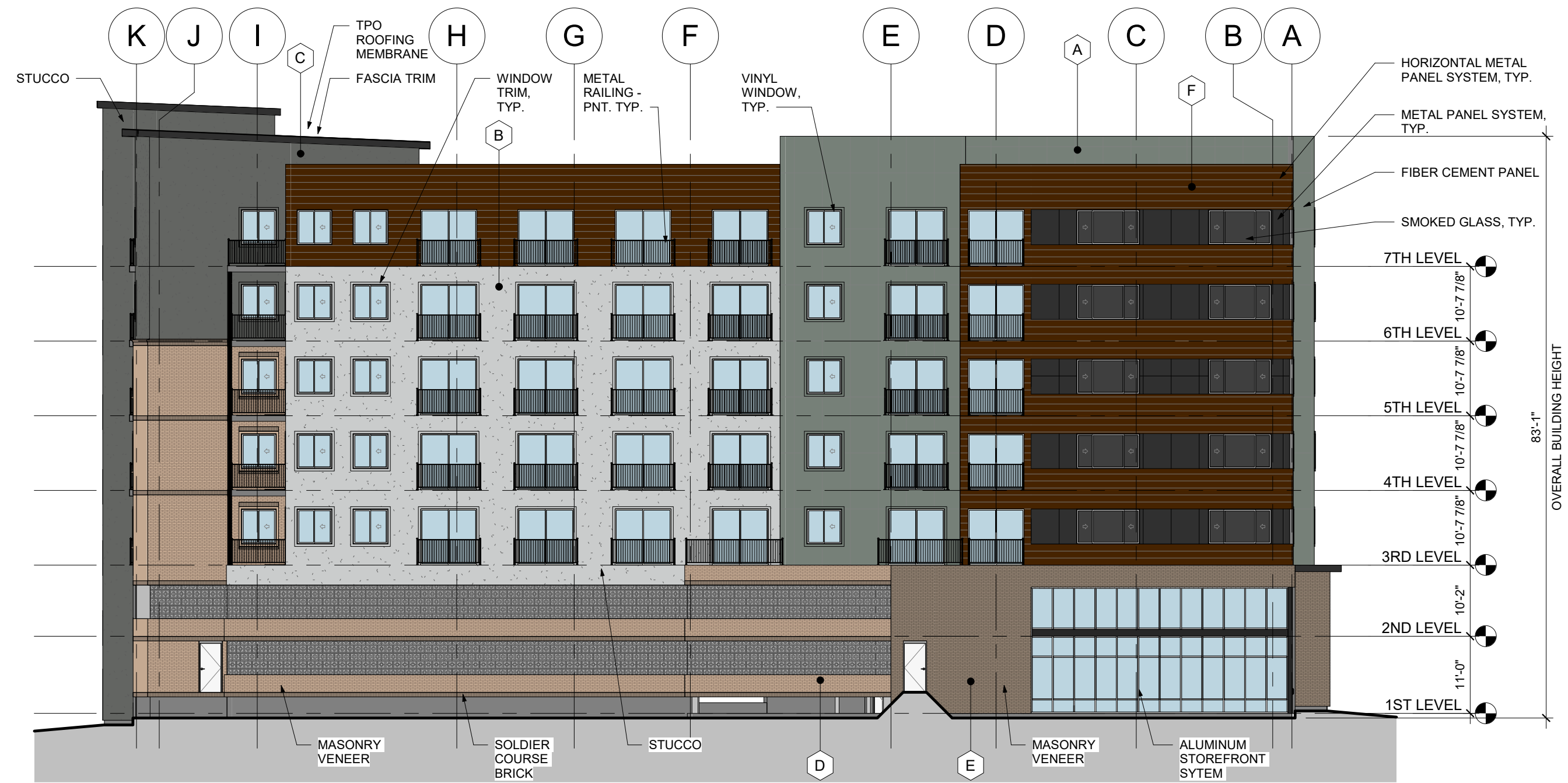
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A10

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FILENAME:

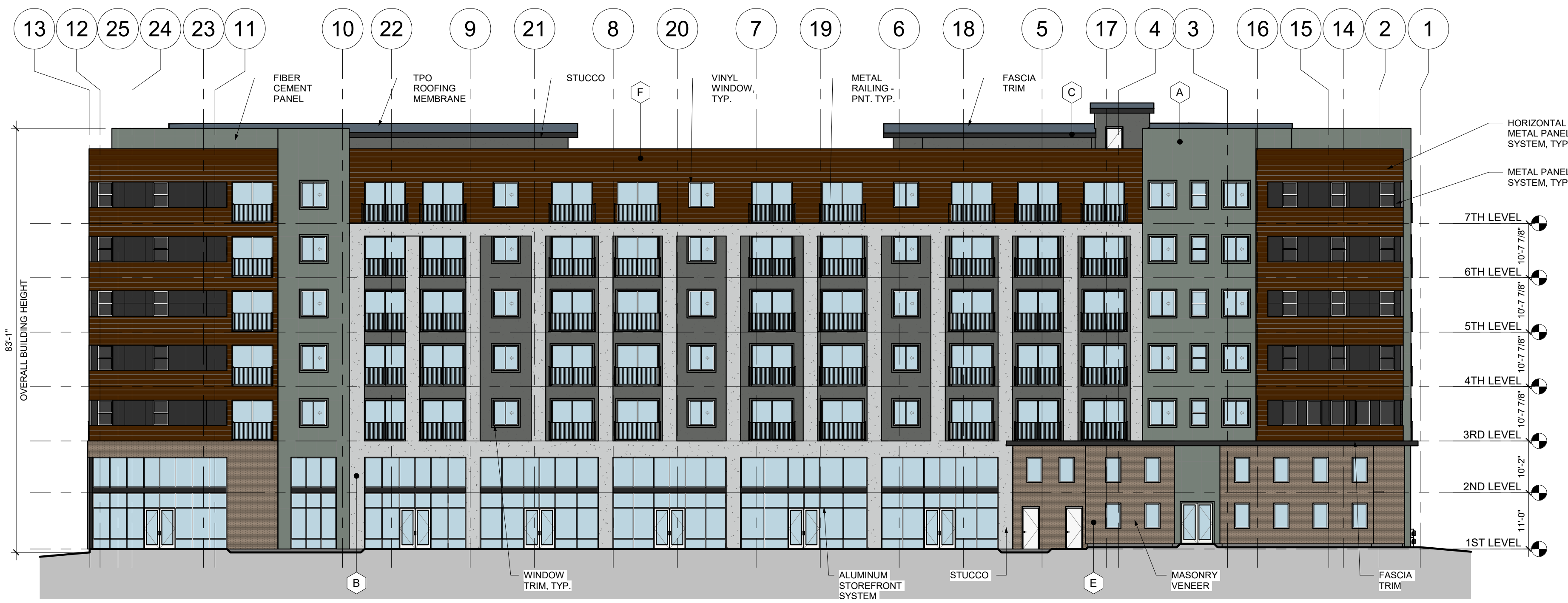
CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



2 EAST ELEVATION
1/16" = 1'-0"



1 NORTH ELEVATION
1/16" = 1'-0"

COLOR LEGEND*	
(A)	BODY COLOR 1: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: TAIGA (SW 9654)
(B)	BODY COLOR 2: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: UNIQUE GRAY (SW 6260)
(C)	BODY COLOR 3: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: GRIZZLE GRAY (SW 7068)
(D)	MASONRY: MANUF: SUMMIT BRICK, OR SIM. COLOR: LIGHT GRAY
(E)	MASONRY: MANUF: SUMMIT BRICK, OR SIM. COLOR: DARK PEWTER
(F)	METAL PANEL: MANUF: PAC-CLAD WOOD GRAIN COLOR: COPPER

*ALL COLOR INFORMATION IS APPROXIMATE. MANUFACTURER AND FINAL TINT SUBJECT TO CHANGE

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK OOF I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR CONSTRUCTION

DATE:
FDP-01-03/24/2023

SHEET TITLE:
PA2 - BUILDING ELEVATIONS

SHEET NUMBER:
A11

CHECKED BY:
FILENAME:

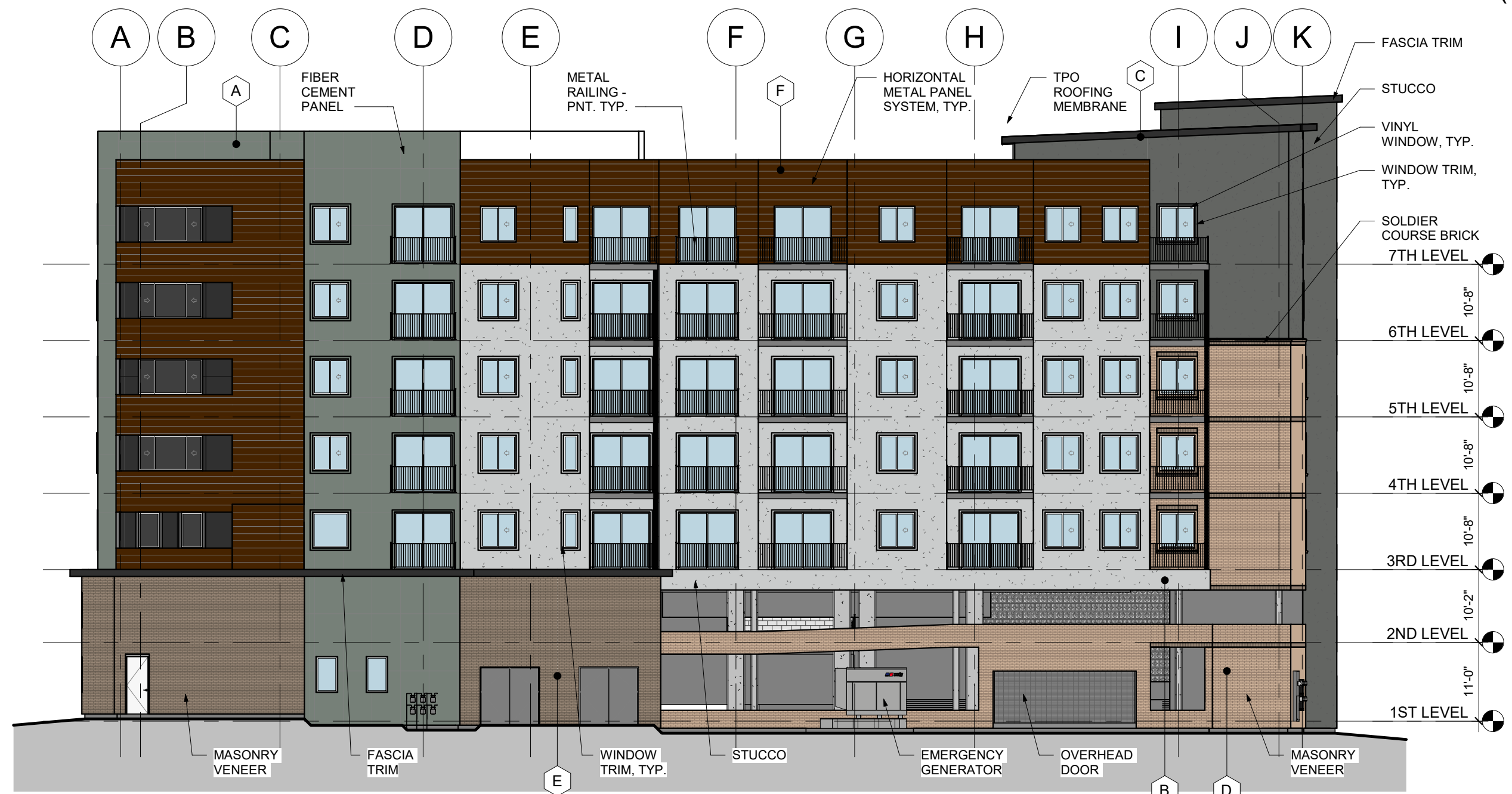
CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO

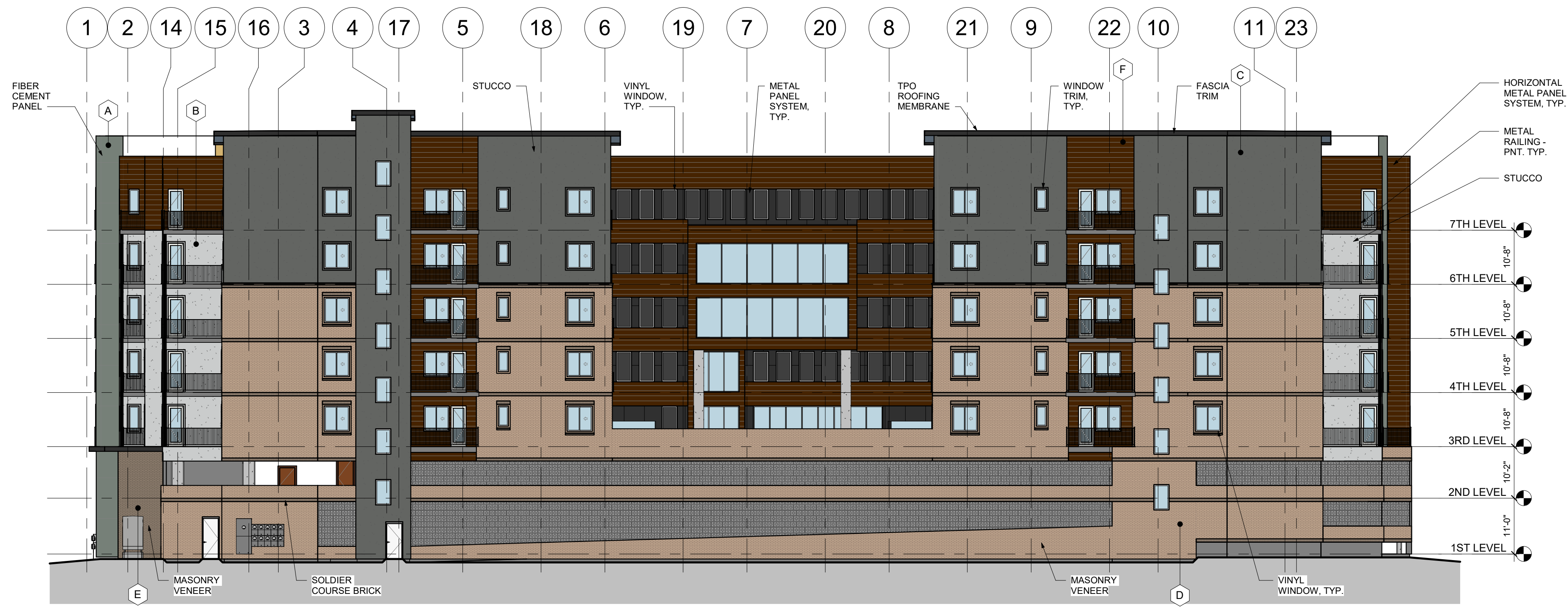
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

COLOR LEGEND*	
A	BODY COLOR 1: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: TAIGA (SW 9654)
B	BODY COLOR 2: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: UNIQUE GRAY (SW 6260)
C	BODY COLOR 3: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: GRIZZLE GRAY (SW 7068)
D	MASONRY: MANUF: SUMMIT BRICK, OR SIM. COLOR: LIGHT GRAY
E	MASONRY: MANUF: SUMMIT BRICK, OR SIM. COLOR: DARK PEWTER
F	METAL PANEL: MANUF: PAC-CLAD WOOD GRAIN COLOR: COPPER

*ALL COLOR INFORMATION IS APPROXIMATE. MANUFACTURER AND FINAL TINT SUBJECT TO CHANGE



2 WEST ELEVATION
1/16" = 1'-0"



1 SOUTH ELEVATION
1/16" = 1'-0"

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK DOF I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR CONSTRUCTION

DATE:
FDP-01-03/24/2023

SHEET TITLE:
PA2 - BUILDING ELEVATIONS

SHEET NUMBER:
A12

CHECKED BY:
FILENAME:

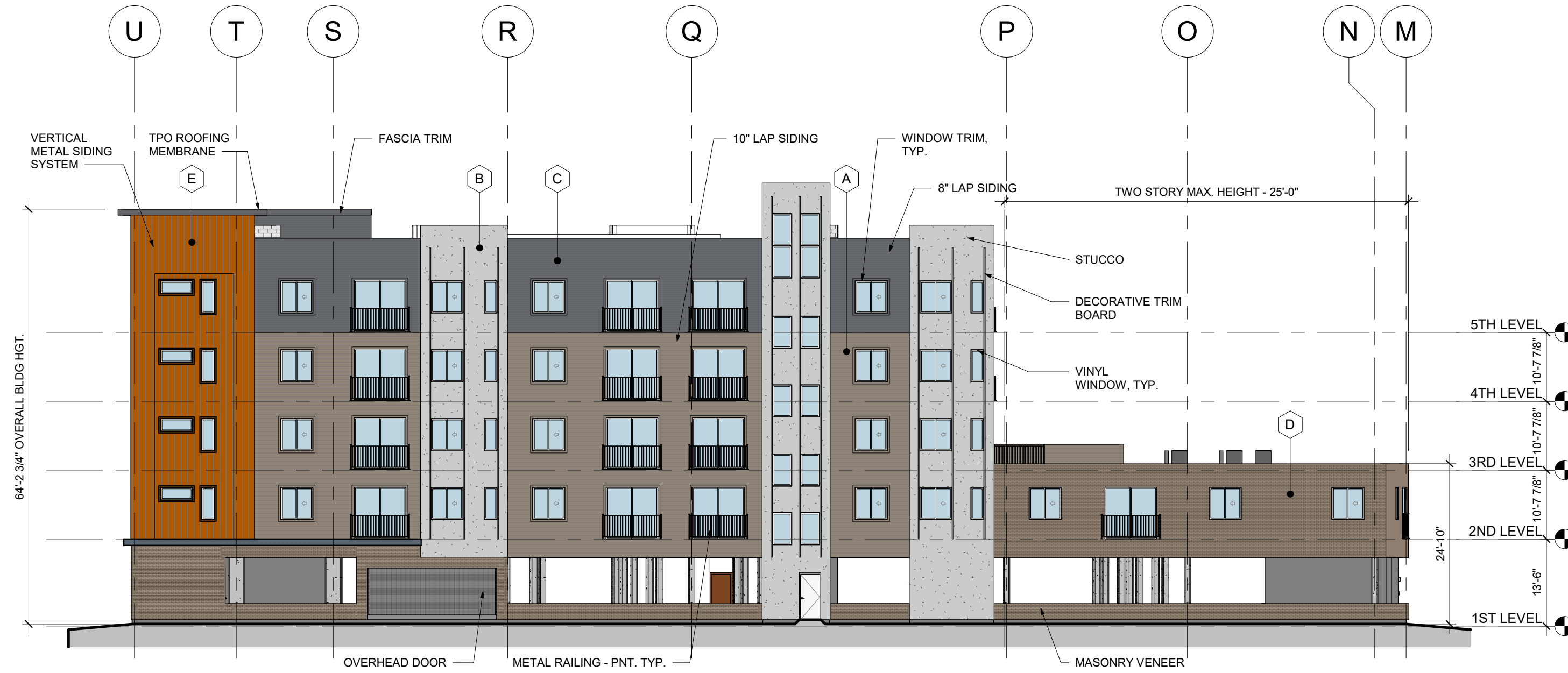
CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

COLOR LEGEND*	
A	BODY COLOR 1: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: TIMELESS TAUPE (SW 9579)
B	BODY COLOR 2: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: UNIQUE GRAY (SW 6260)
C	BODY COLOR 3: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: WEB GRAY (SW 7075)
D	MASONRY: MANUF: SUMMIT BRICK, OR SIM. COLOR: DARK PEWTER
E	METAL PANEL: MANUF: PAC-CLAD WOOD GRAIN COLOR: GOLDEN MAPLE

*ALL COLOR INFORMATION IS APPROXIMATE. MANUFACTURER AND FINAL TINT SUBJECT TO CHANGE



2 EAST ELEVATION
1/16" = 1'-0"



1 NORTH ELEVATION
1/16" = 1'-0"

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK OOF I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR CONSTRUCTION

DATE:
FDP-01-03/24/2023

SHEET TITLE:
PA3 - BUILDING ELEVATIONS

SHEET NUMBER:
A13

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

COLOR LEGEND*	
A	BODY COLOR 1: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: TIMELESS TAUPE (SW 9579)
B	BODY COLOR 2: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: UNIQUE GRAY (SW 6260)
C	BODY COLOR 3: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: WEB GRAY (SW 7075)
D	MASONRY: MANUF: SUMMIT BRICK, OR SIM. COLOR: DARK PEWTER
E	METAL PANEL: MANUF: PAC-CLAD WOOD GRAIN COLOR: GOLDEN MAPLE

*ALL COLOR INFORMATION IS APPROXIMATE. MANUFACTURER AND FINAL TINT SUBJECT TO CHANGE



2 WEST ELEVATION
1/16" = 1'-0"



1 SOUTH ELEVATION
1/16" = 1'-0"

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK DOQ I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR CONSTRUCTION

DATE:
FDP-01-03/24/2023

SHEET TITLE:
PA3 - BUILDING ELEVATIONS

SHEET NUMBER:
A14

CHECKED BY:
FILENAME:

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO

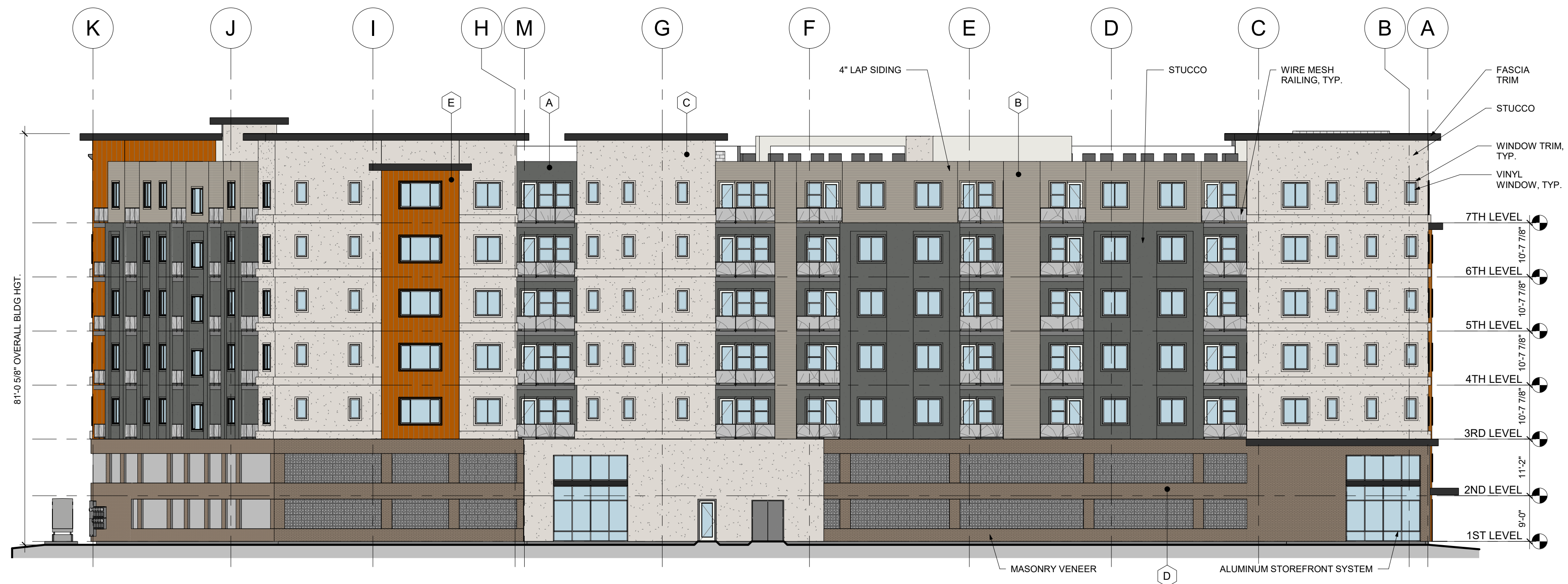
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

COLOR LEGEND*	
A	BODY COLOR 1: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: GRIZZLE GRAY (SW 7068)
B	BODY COLOR 2: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: FAWN BRINDLE (SW 7640)
C	BODY COLOR 3: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: CITY LOFT (SW 7631)
D	MASONRY: MANUF: SUMMIT BRICK, OR SIM. COLOR: DARK PEWTER
E	METAL PANEL: MANUF: PAC-CLAD WOOD GRAIN COLOR: GOLDEN MAPLE

*ALL COLOR INFORMATION IS APPROXIMATE. MANUFACTURER AND FINAL TINT SUBJECT TO CHANGE



2 NORTH ELEVATION
1/16" = 1'-0"



1 EAST ELEVATION
1/16" = 1'-0"

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK DOF I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR CONSTRUCTION

DATE:
FDP-01-03/24/2023

SHEET TITLE:
PA5 - BUILDING ELEVATIONS

SHEET NUMBER:
A15

CHECKED BY:
FILENAME:

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

COLOR LEGEND*	
A	BODY COLOR 1: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: GRIZZLE GRAY (SW 7068)
B	BODY COLOR 2: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: FAWN BRINDLE (SW 7640)
C	BODY COLOR 3: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: CITY LOFT (SW 7631)
D	MASONRY: MANUF: SUMMIT BRICK, OR SIM. COLOR: DARK PEWTER
E	METAL PANEL: MANUF: PAC-CLAD WOOD GRAIN COLOR: GOLDEN MAPLE

*ALL COLOR INFORMATION IS APPROXIMATE. MANUFACTURER AND FINAL TINT SUBJECT TO CHANGE



2 SOUTH ELEVATION
1/16" = 1'-0"

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

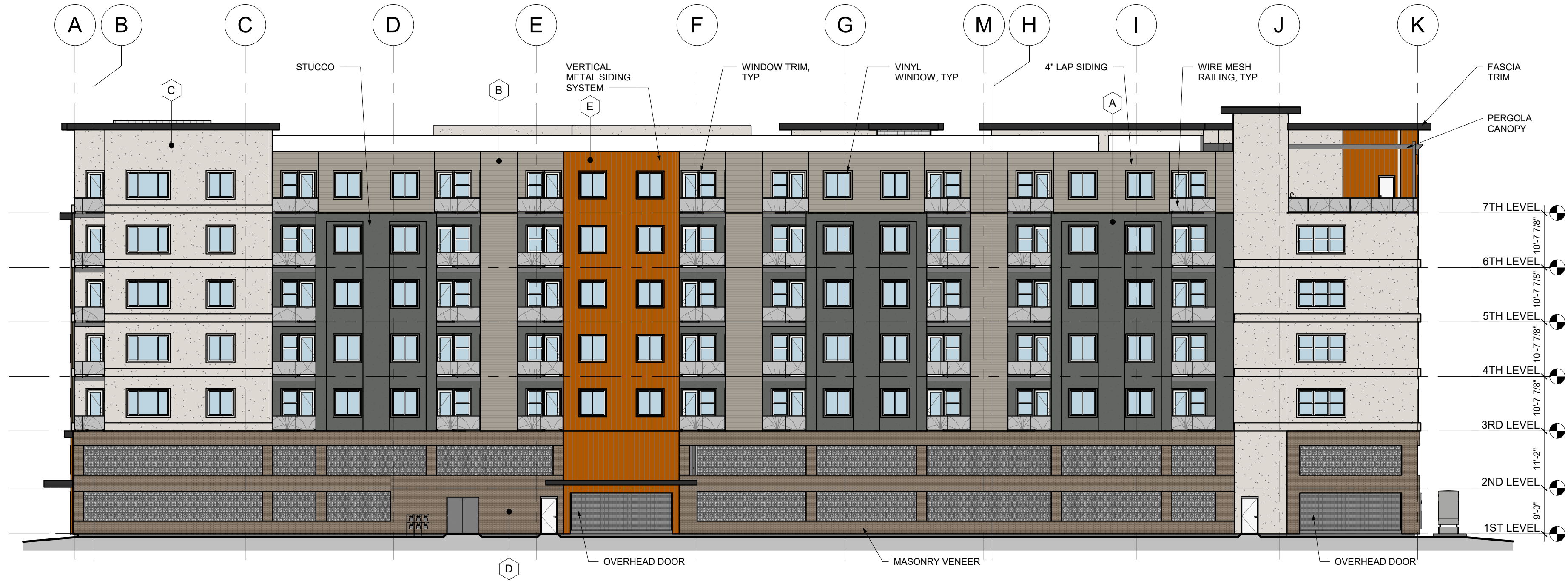
OWNER:
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THISTLE CREEK DOF I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR CONSTRUCTION

DATE:
FDP-01-03/24/2023

SHEET TITLE:
PA5-BUILDING ELEVATIONS

SHEET NUMBER:
A16



1 WEST ELEVATION
1/16" = 1'-0"

CHECKED BY:
FILENAME:

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

Case Number: PRC2012-0003/PUD2015-00017

PLANT SCHEDULE

DECIDUOUS CANOPY TREES

QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
7	ACER MIYABEI 'JFS-KW3AMI' TM	RUGGED RIDGE MIYABE MAPLE	B & B	2" CAL.
31	ACER SACCHARUM 'JFS-CADDO2' TM	FLASHFIRE SUGAR MAPLE	B & B	2" CAL.
10	ACER X FREEMANII 'JEFFERSRED' TM	AUTUMN BLAZE FREEMAN MAPLE	B & B	2" CAL.
9	CATALPA SPECIOSA	NORTHERN CATALPA	B & B	2" CAL.
2	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	2" CAL.
41	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' TM	SHADEMASTER LOCUST	B & B	2" CAL.
18	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE' TM	SKYLINE HONEY LOCUST	B & B	2" CAL.
13	GYMNOCLADUS DIOICA 'ESPRESSO'	KENTUCKY COFFEETREE	B & B	2" CAL.
18	QUERCUS MUEHLENBERGII	CHINKAPIN OAK	B & B	2" CAL.
3	QUERCUS ROBUR	ENGLISH OAK	B & B	2" CAL.
9	TILIA X EUCHLORA 'REDMOND'	REDMOND LINDEN	B & B	2" CAL.
16	ULMUS AMERICANA 'NEW HORIZON'	NEW HORIZON ELM	B & B	2" CAL.
19	ULMUS AMERICANA 'VALLEY FORGE'	VALLEY FORGE AMERICAN ELM	B & B	2" CAL.
21	ULMUS JAPONICA X WILSONIANA 'MORTON' TM	ACCOLADE ELM	B & B	2" CAL.

EVERGREEN TREES

QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
1	PICEA PUNGENS	COLORADO SPRUCE	B & B	6' HT.
3	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMID LIMBER PINE	B & B	6' HT.
3	PINUS NIGRA	AUSTRIAN PINE	B & B	6' HT.
3	PINUS SYLVESTRIS	SCOTCH PINE	B & B	6' HT.

QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
50	JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	B & B	5' HT.
74	JUNIPERUS SCOPULORUM 'COLOGREEN'	COLOGREEN JUNIPER	B & B	5' HT.
54	JUNIPERUS SCOPULORUM 'MOONGLOW'	MOONGLOW JUNIPER	B & B	5' HT.

QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
30	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	B & B	6' HT.
10	PICEA PUNGENS 'BAKERI'	BAKER COLORADO SPRUCE	B & B	6' HT.
8	PINUS EDULIS	PINYON PINE	B & B	6' HT.

QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
21	PINUS LEUCODERMIS 'ISELI FASTIGIATE'	ISELI FASTIGIATE BOSNIAN PINE	B & B	5' HT.
13	PINUS NIGRA 'FRANK'	FRANK AUSTRIAN PINE	B & B	5' HT.

DECIDUOUS ORNAMENTAL TREES

QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
2	ACER GINNALA 'FLAME'	FLAME AMUR MAPLE	B & B	1.5" CAL.
10	ACER TATARICUM 'HOT WINGS'	HOT WINGS TATARIAN MAPLE	B & B	1.5" CAL.
8	PRUNUS CERASIFERA 'NEWPORT'	NEWPORT FLOWERING PLUM	B & B	1.5" CAL.
5	PRUNUS CERASIFERA 'THUNDERCLOUD'	THUNDERCLOUD PURPLE-LEAF PLUM	B & B	1.5" CAL.
14	PYRUS CALLERYANA CHANTICLEER	CHANTICLEER PEAR	B & B	1.5" CAL.
4	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	B & B	1.5" CAL.

QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
3	AMELANCHIER CANADENSIS	CANADIAN SERVICEBERRY	B & B	1" CAL.
12	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	B & B	1" CAL.
6	QUERCUS ROBUR X ALBA 'CRIMSCHMIDT' TM	CRIMSON SPIRE OAK	B & B	1" CAL.

DECIDUOUS SHRUBS

BOTANICAL NAME	COMMON NAME	ROOT	SIZE
JUNIPERUS SCOPULORUM	ROCKY MOUNTAIN JUNIPER	15 GAL	

BOTANICAL NAME	COMMON NAME	ROOT	SIZE
AMELANCHIER ALNIFOLIA 'REGENT'	REGENT SERVICEBERRY	CONT.	5 GAL.
CORNUS SERICEA 'BAILEY'	BAYLEY'S RED TWIG DOGWOOD	CONT.	5 GAL.
LIGUSTRUM VULGARE 'CHEYENNE'	CHEYENNE PRIVET	CONT.	5 GAL.
PHYSOCARPUS OPULIFOLIUS 'COPPERTINA'	COPPERTINA NINEBARK	CONT.	5 GAL.
PHYSOCARPUS OPULIFOLIUS 'DIABOLO'	DIABLO NINEBARK	CONT.	5 GAL.
RHUS TRILOBATA 'AUTUMN AMBER'	AUTUMN AMBER SUMAC	CONT.	5 GAL.
SYRINGA X PRESTONIAE 'MISS CANADA'	MISS CANADA PRESTON LILAC	CONT.	5 GAL.
VIBURNUM LANTANA 'MOHICAN'	MOHICAN WAYFARING TREE	CONT.	5 GAL.

BOTANICAL NAME	COMMON NAME	ROOT	SIZE
AMELANCHIER ALNIFOLIA 'STANDING OVATION' TM	STANDING OVATION SERVICEBERRY	CONT.	5 GAL.
ARONIA MELANOCARPA 'ELATA'	GLOSSY BLACK CHOKEBERRY	CONT.	5 GAL.
COTINUS COGGYRIA 'NCC01' TM	WINECRAFT BLACK SMOKE TREE	CONT.	5 GAL.
ERICAMERIA NAUSEOSA VAR. NAUSEOSIA	TALL BLUE RABBITBRUSH	CONT.	5 GAL.
PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	CONT.	5 GAL.
PHILADELPHUS LEWISII 'CHEYENNE'	LEWIS MOCK ORANGE	CONT.	5 GAL.

DECIDUOUS SHRUBS (CONTINUED)

SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	CONT.	5 GAL.
SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	CONT.	5 GAL.

BOTANICAL NAME	COMMON NAME	ROOT	SIZE
CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	BLUE MIST BLUEBEARD	CONT.	5 GAL.
CORNUS SERICEA 'ARCTIC FIRE'	ARCTIC FIRE DOGWOOD	CONT.	5 GAL.
ERICAMERIA NAUSEOSA SPECIOSA	DWARF BLUE RABBITBRUSH	CONT.	5 GAL.
FRANGULA ALNUS 'COLUMNARIS'	TALL HEDGE BUCKTHORN	CONT.	5 GAL.
LIGUSTRUM VULGARE 'LODENSE'	LODENSE PRIVET	CONT.	5 GAL.
PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE' TM	LITTLE SPIRE RUSSIAN SAGE	CONT.	5 GAL.
POTENTILLA FRUTICOSA 'MCKAY'S WHITE'	MCKAY'S WHITE BUSH CINQUEFOIL	CONT.	5 GAL.

EVERGREEN SHRUBS

RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	CONT.	5 GAL.
SPIRAEA JAPONICA 'ALBIFLORA'	WHITE JAPANESE SPIREA	CONT.	5 GAL.

BOTANICAL NAME	COMMON NAME	ROOT	SIZE
JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	CONT.	5 GAL.
JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	CONT.	5 GAL.

BOTANICAL NAME	COMMON NAME	ROOT	SIZE
JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	CONT.	5 GAL.
PICEA ABIES 'PUMILA'	DWARF GLOBE NORWAY SPRUCE	CONT.	5 GAL.
PINUS MUGO 'PUMILIO'	DWARF MUGO PINE	CONT.	5 GAL.

ORNAMENTAL GRASSES

HESPERALOE PARVIFLORA	RED YUCCA	CONT.	5 GAL.
MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE	CONT.	5 GAL.

BOTANICAL NAME	COMMON NAME	ROOT	SIZE
ANDROPOGON GERARDII	BIG BLUESTEM	CONT.	1 GAL.
MISCANTHUS SINENSIS 'PURPURESCENS'	FLAME GRASS	CONT.	1 GAL.
SCHIZACHYRIUM SCOPARIUM 'BLAZE'	BLAZE LITTLE BLUESTEM	CONT.	1 GAL.

BOTANICAL NAME	COMMON NAME	ROOT	SIZE
CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	CONT.	1 GAL.
PANICUM VIRGATUM 'HEAVY METAL'	BLUE SWITCH GRASS	CONT.	1 GAL.
PANICUM VIRGATUM 'PRAIRIE SKY'	PRAIRIE SKY SWITCH GRASS	CONT.	1 GAL.

PERENNIALS

BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLOND AMBITION BLUE GRAMA GRASS	CONT.	1 GAL.
PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN FOUNTAIN GRASS	CONT.	1 GAL.

BOTANICAL NAME	COMMON NAME	ROOT	SIZE
AGASTACHE RUPESTRIS	LICORICE MINT HYSSOP	CONT.	1 GAL.
AGASTACHE X 'BLUE FORTUNE'	BLUE FORTUNE ANISE HYSSOP	CONT.	1 GAL.
AMSONIA HUBRICHTII	ARKANSAS BLUESTAR	CONT.	1 GAL.
ARTEMISIA X 'POWIS CASTLE'	POWIS CASTLE ARTEMISIA	CONT.	1 GAL.
LAVANDULA X INTERMEDIA 'NIKO' TM	PHENOMENAL LAVENDIN	CONT.	1 GAL.
NEPETA FAASSENII 'SIX HILLS GIANT'	SIX HILLS GIANT CATMINT	CONT.	1 GAL.
PENSTEMON STRICTUS	ROCKY MOUNTAIN PENSTEMON	CONT.	1 GAL.
SALVIA X SYLVESTRIS 'MAINACHT'	MAINACHT SAGE	CONT.	1 GAL.
SALVIA X SYLVESTRIS 'SNOW HILL'	SNOW HILL MEADOW SAGE	CONT.	1 GAL.

BOTANICAL NAME	COMMON NAME	ROOT	SIZE
AGASTACHE CANA	TEXAS HUMMINGBIRD MINT	CONT.	1 GAL.
COREOPSIS VERTICILLATA 'MOONBEAM'	MOONBEAM TICKSEED	CONT.	1 GAL.
ECHINACEA PURPUREA	PURPLE CONEFLOWER	CONT.	1 GAL.
GAILLARDIA ARISTATA	NATIVE BLANKET FLOWER	CONT.	1 GAL.
LINUM LEWISII 'BLUE FLAX'	BLUE FLAX	CONT.	1 GAL.

CLEAR CREEK TRANSIT VILLAGE
 FINAL DEVELOPMENT PLAN
 IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
 CLEAR CREEK VILLAGE, LLC
 THISTLE CREEK QOF I, L.P.
 14034 SOUTH 145th EAST
 DRAPER, UT 84020

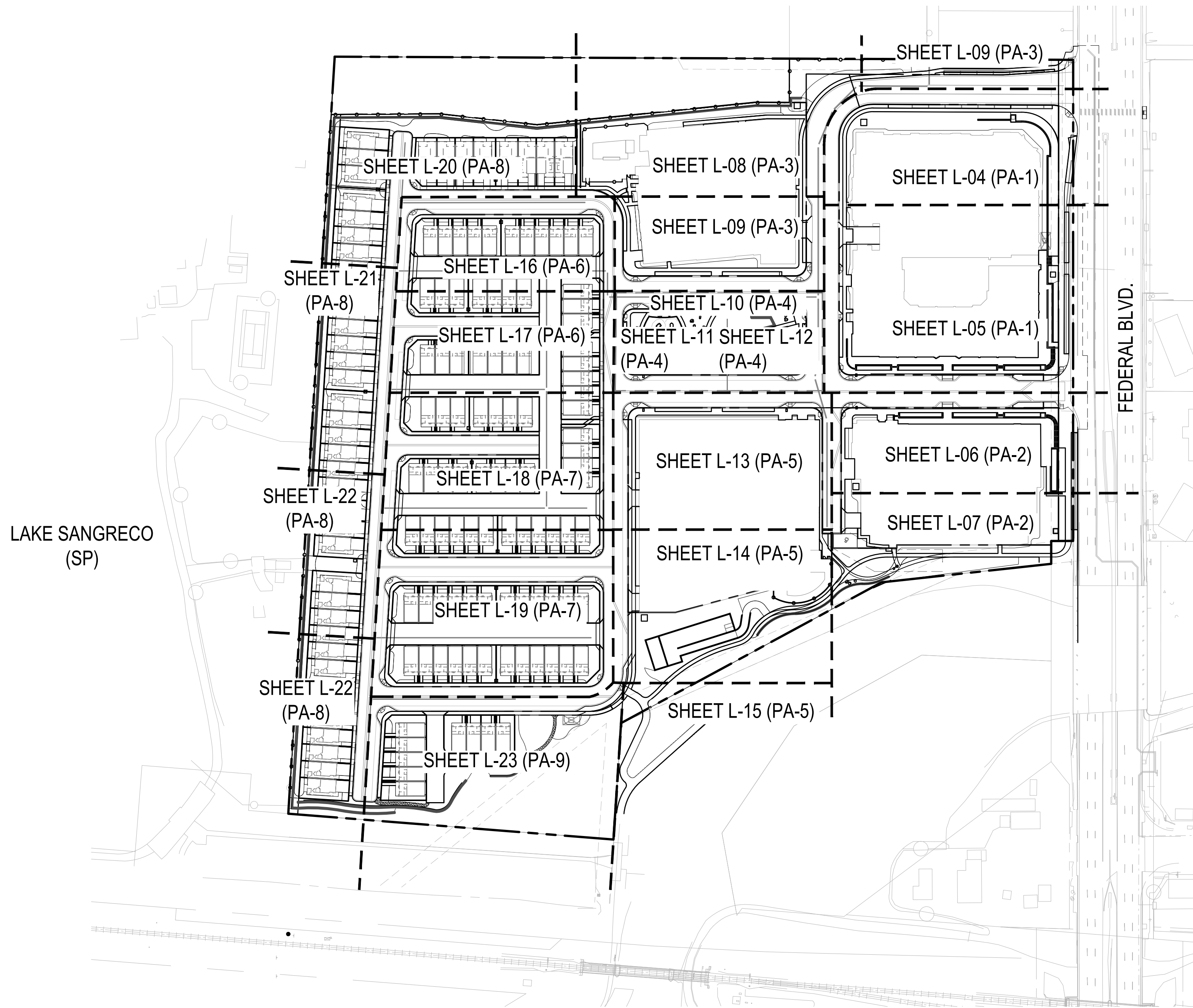
NOT FOR CONSTRUCTION

DATE:
 FDP-01-03/16/2023

SHEET TITLE:
 LANDSCAPE
 NOTES AND
 SCHEDULE
 SHEET NUMBER:

CLEAR CREEK TRANSIT VILLAGE
 AT CLEAR CREEK
 IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
 PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

OVERALL LANDSCAPE PLAN



CLEAR CREEK TRANSIT VILLAGE
 FINAL DEVELOPMENT PLAN
 IN THE COUNTY OF ADAMS, STATE OF COLORADO

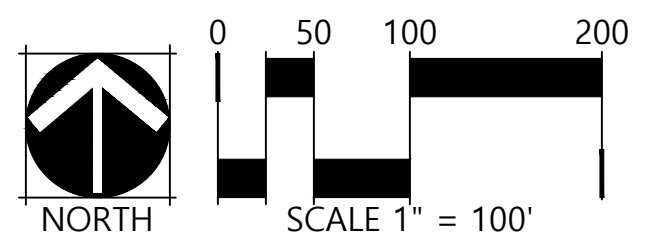
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 14034 SOUTH 145th EAST
 DRAPER, UT 84020

NOT FOR
 CONSTRUCTION

DATE:
 FDP-01-03/16/2023

SHEET TITLE:
 OVERALL
 LANDSCAPE PLAN

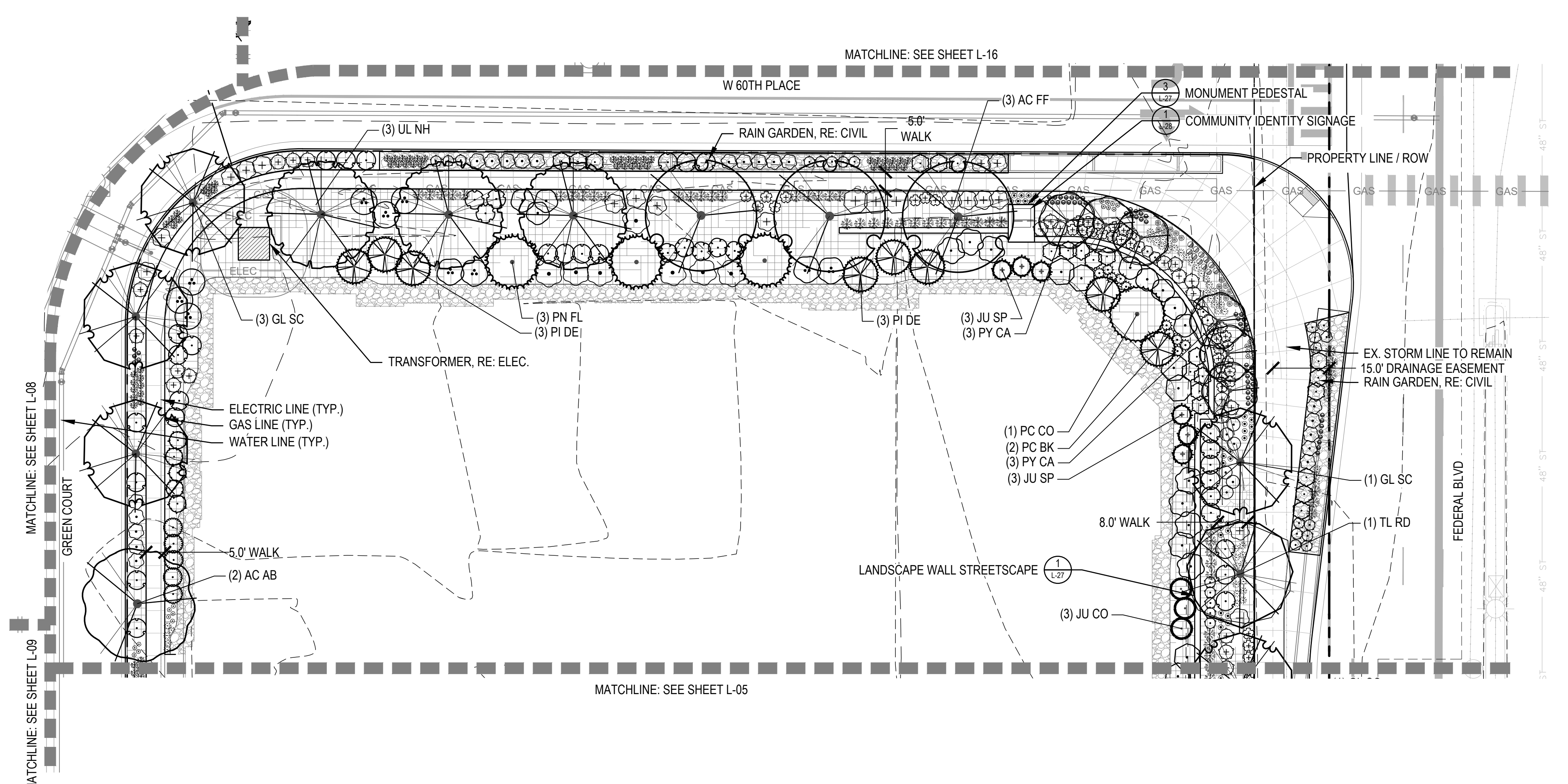
SHEET NUMBER:
L-03



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CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

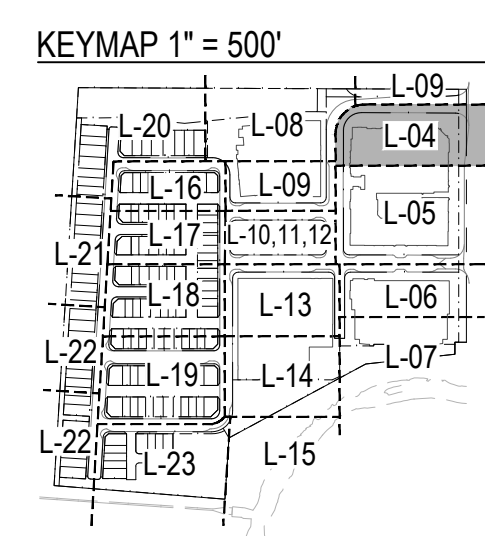
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14034 SOUTH 145th EAST
DRAPER, UT 84020

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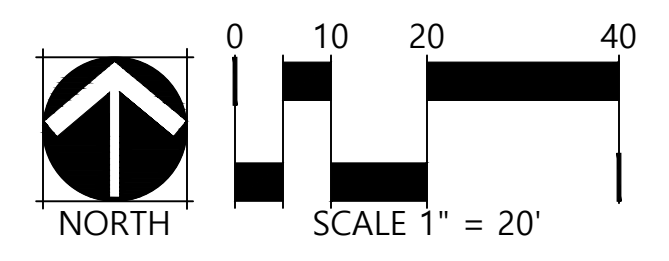
SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
L-04



LEGEND

	MATCH LINE		6' SCREEN FENCE		ROCK MULCH
	PROPERTY LINE		LANDSCAPE FENCE		LANDSCAPE COBBLE
	LIMIT OF WORK		SOD		ENHANCED PAVING 1
	EASEMENT		DRYLAND NATIVE SEED		ENHANCED PAVING 2
	STORM SEWER		WATER QUALITY NATIVE SEED		LANDSCAPE BOULDER
	SANITARY SEWER		CRUSHER FINES		
	WATER LINE				
	ELECTRIC LINE				
	GAS LINE				

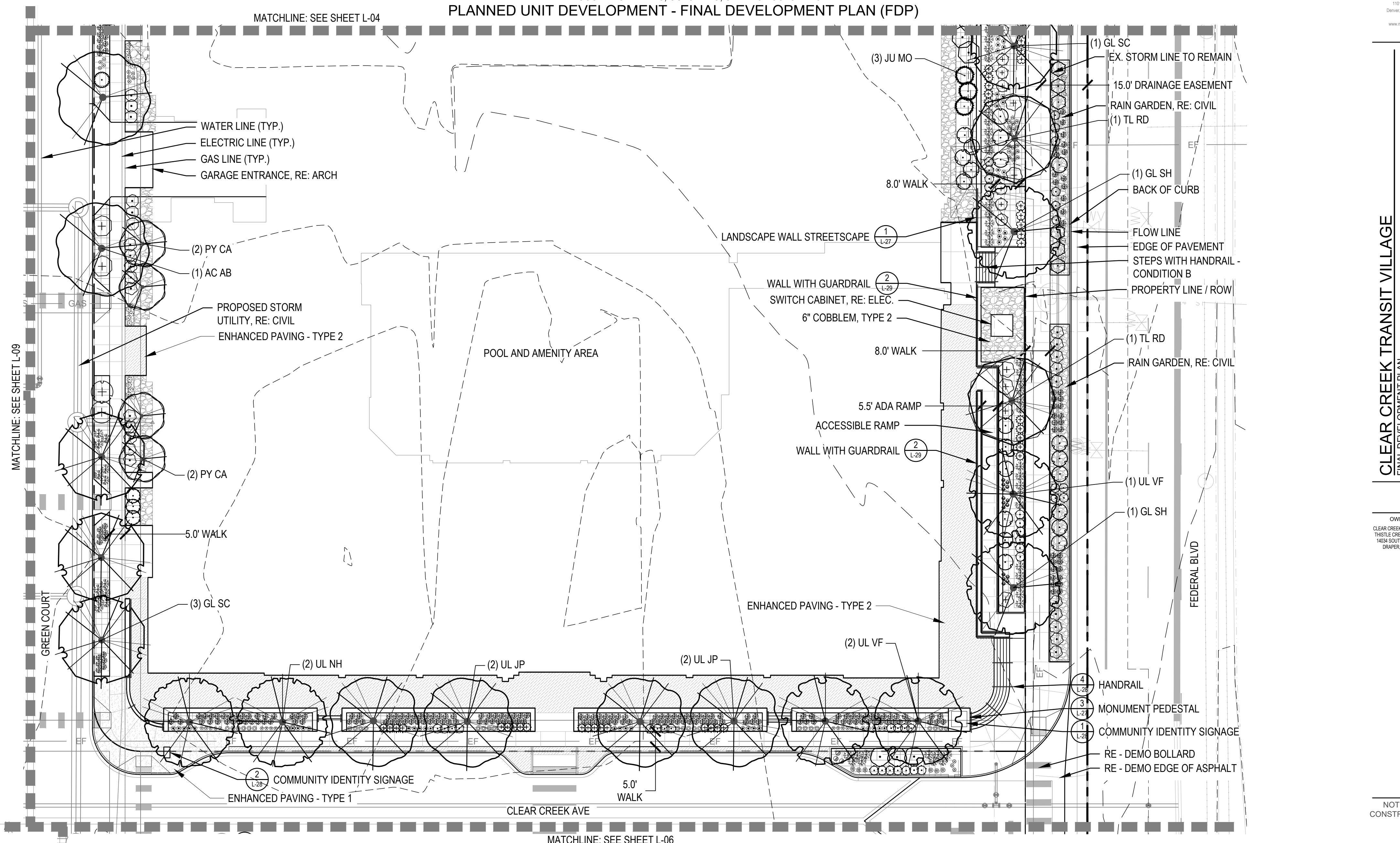


PLANNING AREA - 1

CHECKED BY:
FILENAME:

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
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THISTLE CREEK QOF I, L.P.
14034 SOUTH 145th EAST
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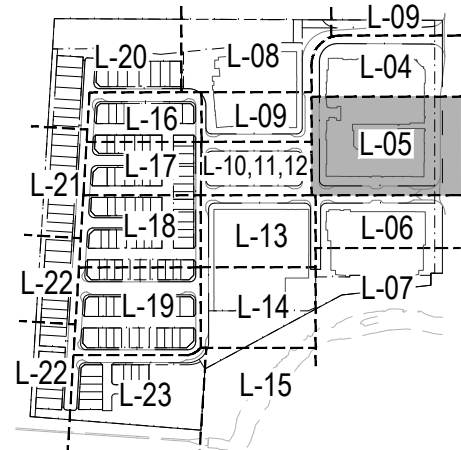
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DATE:
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SHEET TITLE:
LANDSCAPE PLAN

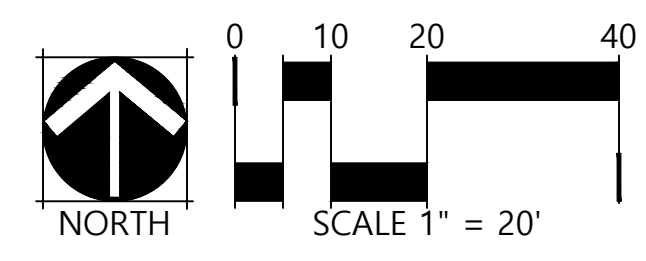
SHEET NUMBER:
L-05

KEYMAP 1" = 500'



LEGEND

- MATCH LINE
- PROPERTY LINE
- LIMIT OF WORK
- EASEMENT
- STORM SEWER
- SANITARY SEWER
- WATER LINE
- ELECTRIC LINE
- GAS LINE
- 6' SCREEN FENCE
- LANDSCAPE FENCE
- SOD
- DRYLAND NATIVE SEED
- WATER QUALITY NATIVE SEED
- CRUSHER FINES
- ROCK MULCH
- LANDSCAPE COBBLE
- ENHANCED PAVING 1
- ENHANCED PAVING 2
- LANDSCAPE BOULDER

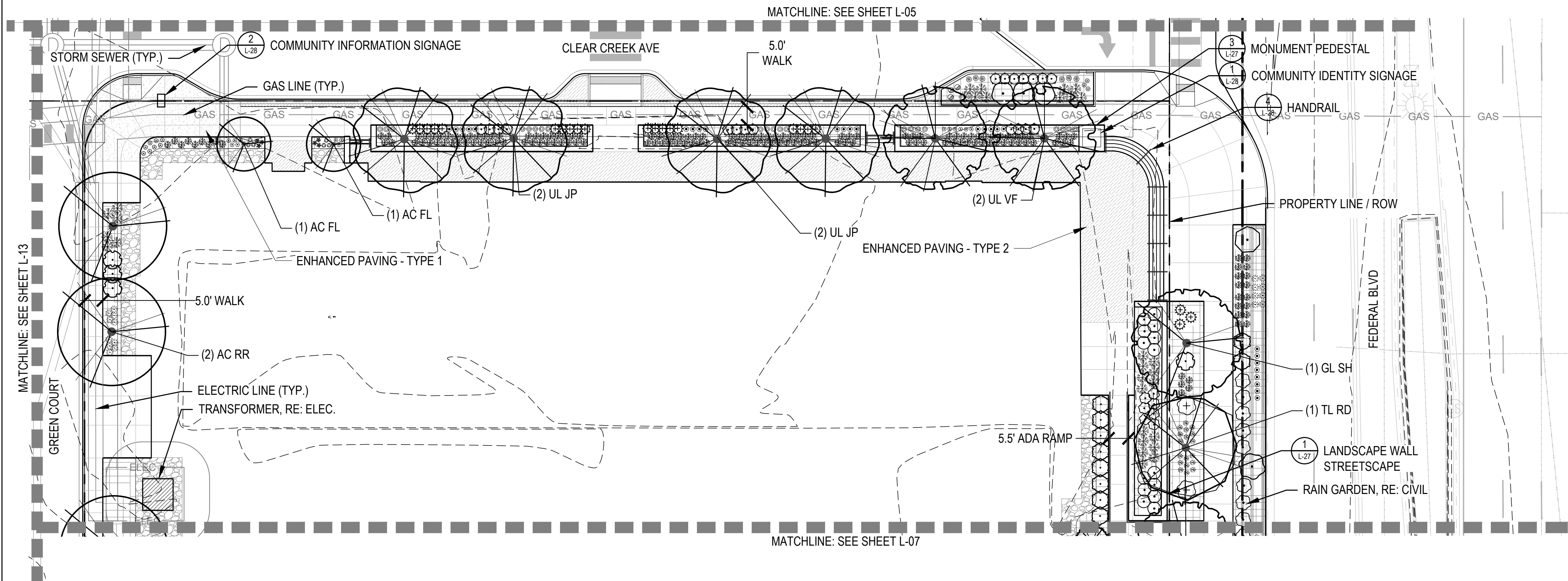


PLANNING AREA - 1

CHECKED BY:
FILENAME:

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



MATCHLINE: SEE SHEET L-13

MATCHLINE: SEE SHEET L-05

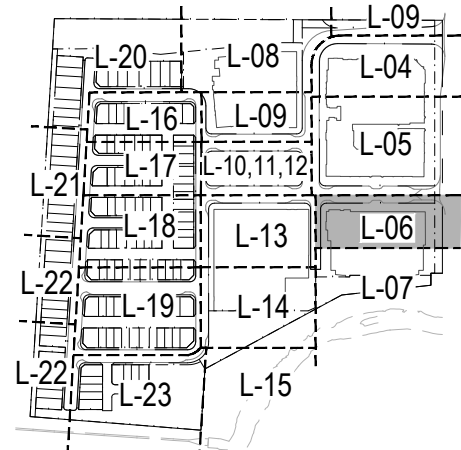
MATCHLINE: SEE SHEET L-07

CLEAR CREEK TRANSIT VILLAGE
 FINAL DEVELOPMENT PLAN
 IN THE COUNTY OF ADAMS, STATE OF COLORADO


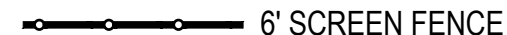





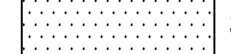












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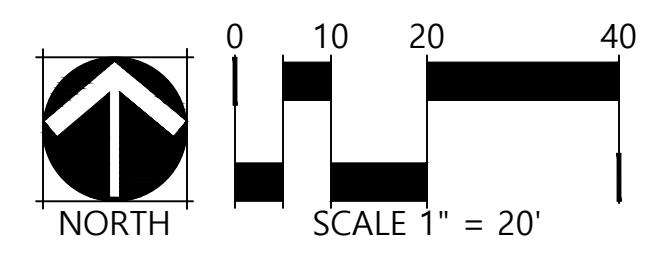
NOT FOR CONSTRUCTION

KEYMAP 1" = 500'



LEGEND

	MATCH LINE		6' SCREEN FENCE		ROCK MULCH
	PROPERTY LINE		LANDSCAPE FENCE		LANDSCAPE COBBLE
	LIMIT OF WORK		SOD		ENHANCED PAVING 1
	EASEMENT		DRYLAND NATIVE SEED		ENHANCED PAVING 2
	STORM SEWER		WATER QUALITY NATIVE SEED		LANDSCAPE BOULDER
	SANITARY SEWER		CRUSHER FINES		
	WATER LINE				
	ELECTRIC LINE				
	GAS LINE				



PLANNING AREA - 2

DATE:
FDP-01-03/16/2023

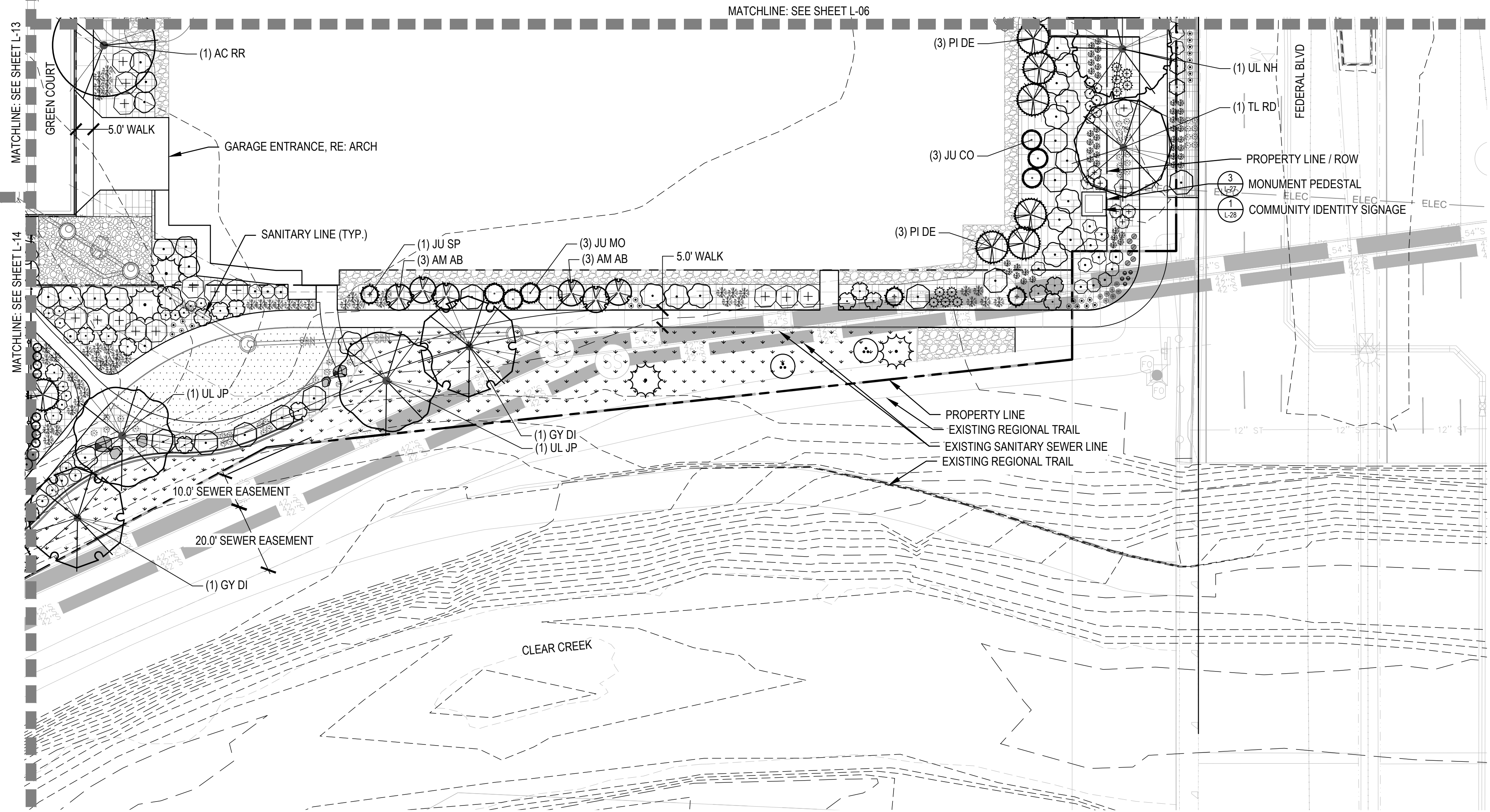
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LANDSCAPE PLAN

SHEET NUMBER:
L-06

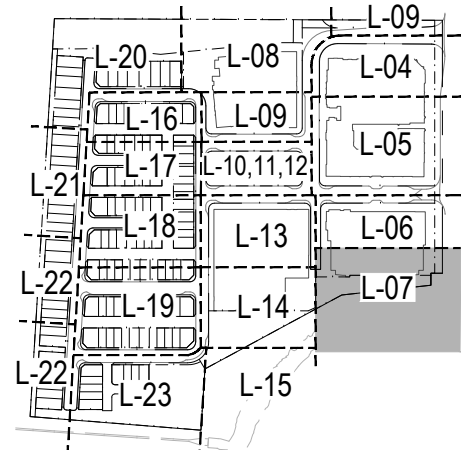
CHECKED BY:
FILENAME:

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

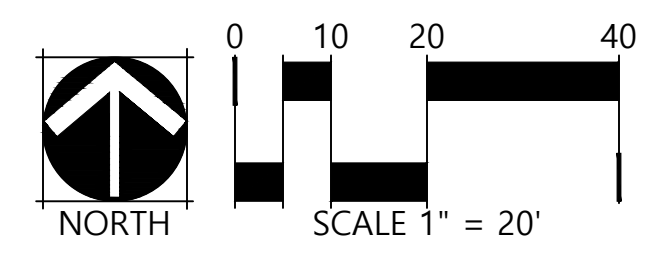


KEYMAP 1" = 500'



LEGEND

	MATCH LINE		6' SCREEN FENCE		ROCK MULCH
	PROPERTY LINE		LANDSCAPE FENCE		LANDSCAPE COBBLE
	LIMIT OF WORK		SOD		ENHANCED PAVING 1
	EASEMENT		DRYLAND NATIVE SEED		ENHANCED PAVING 2
	STORM SEWER		WATER QUALITY NATIVE SEED		LANDSCAPE BOULDER
	SANITARY SEWER		CRUSHER FINES		
	WATER LINE				
	ELECTRIC LINE				
	GAS LINE				



PLANNING AREA - 2

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK QOF I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

DATE:
FDP-01-03/16/2023

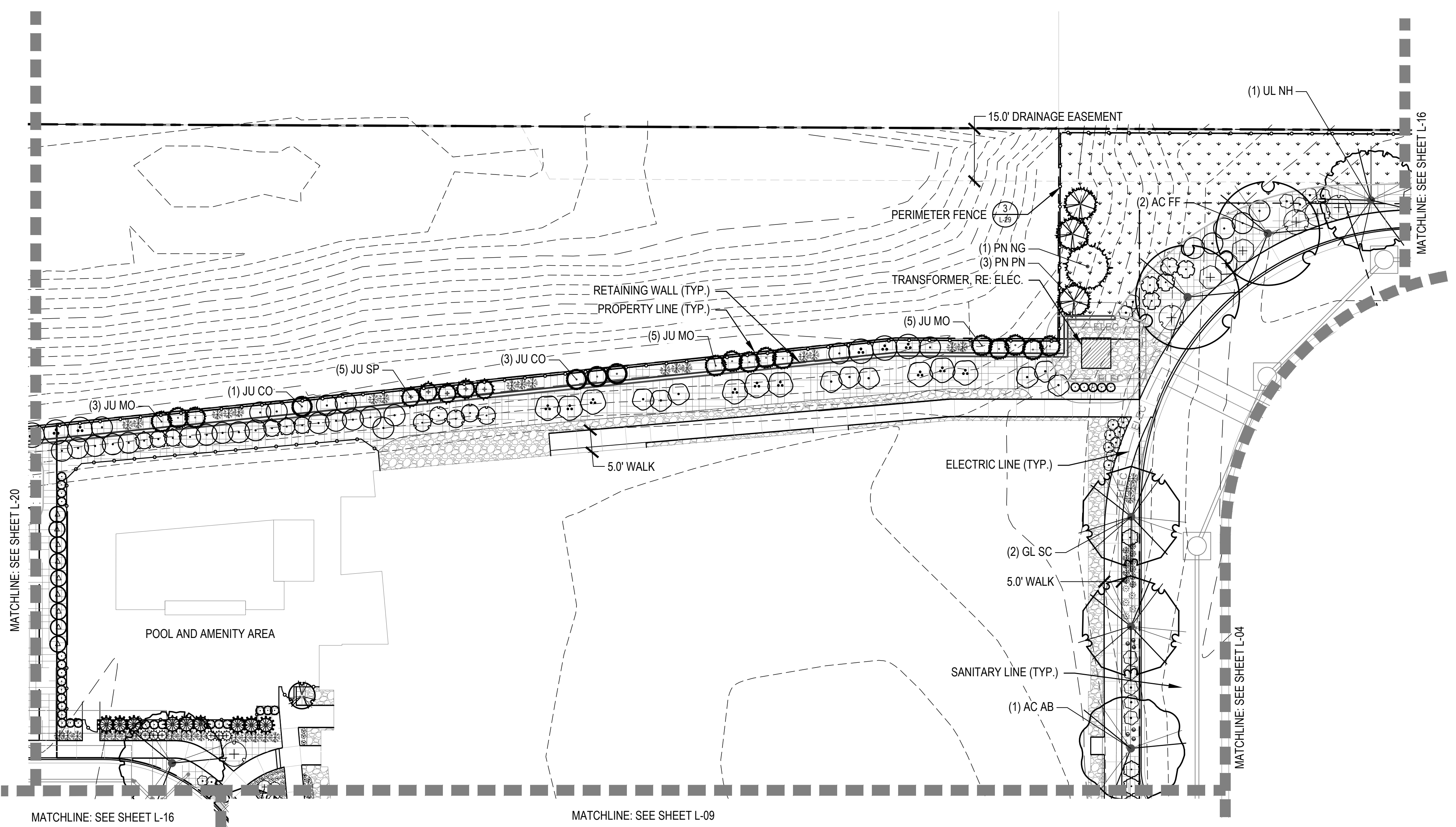
SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
L-07

CHECKED BY:
FILENAME:

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

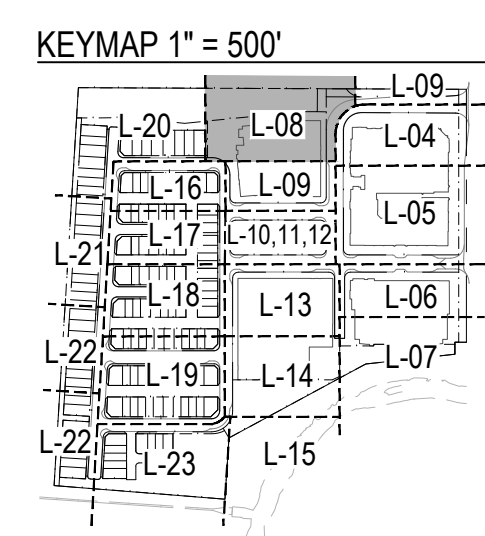
OWNER:
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK QOF I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

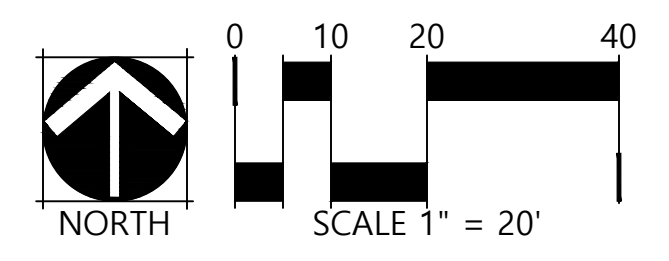
DATE:
FDP-01-03/16/2023

SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
L-08



LEGEND			
	MATCH LINE		6' SCREEN FENCE
	PROPERTY LINE		LANDSCAPE FENCE
	LIMIT OF WORK		SOD
	EASEMENT		DRYLAND NATIVE SEED
	STORM SEWER		WATER QUALITY NATIVE SEED
	SANITARY SEWER		CRUSHER FINES
	WATER LINE		ROCK MULCH
	ELECTRIC LINE		LANDSCAPE COBBLE
	GAS LINE		ENHANCED PAVING 1
			ENHANCED PAVING 2
			LANDSCAPE BOULDER

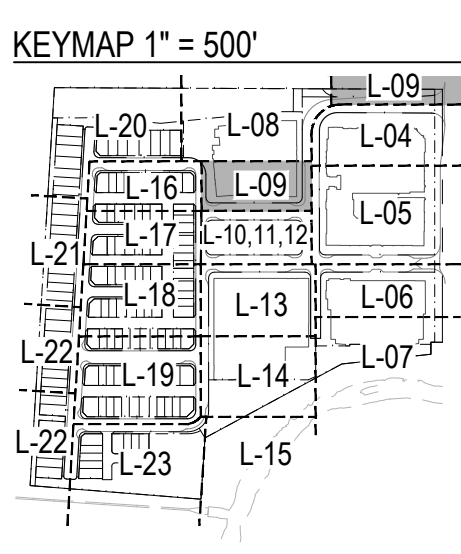
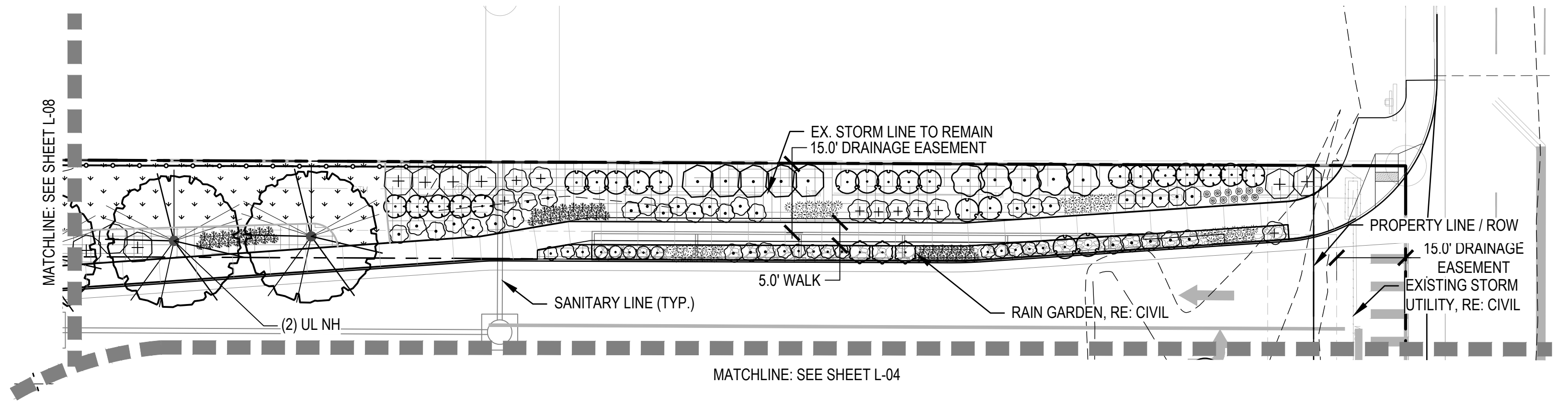
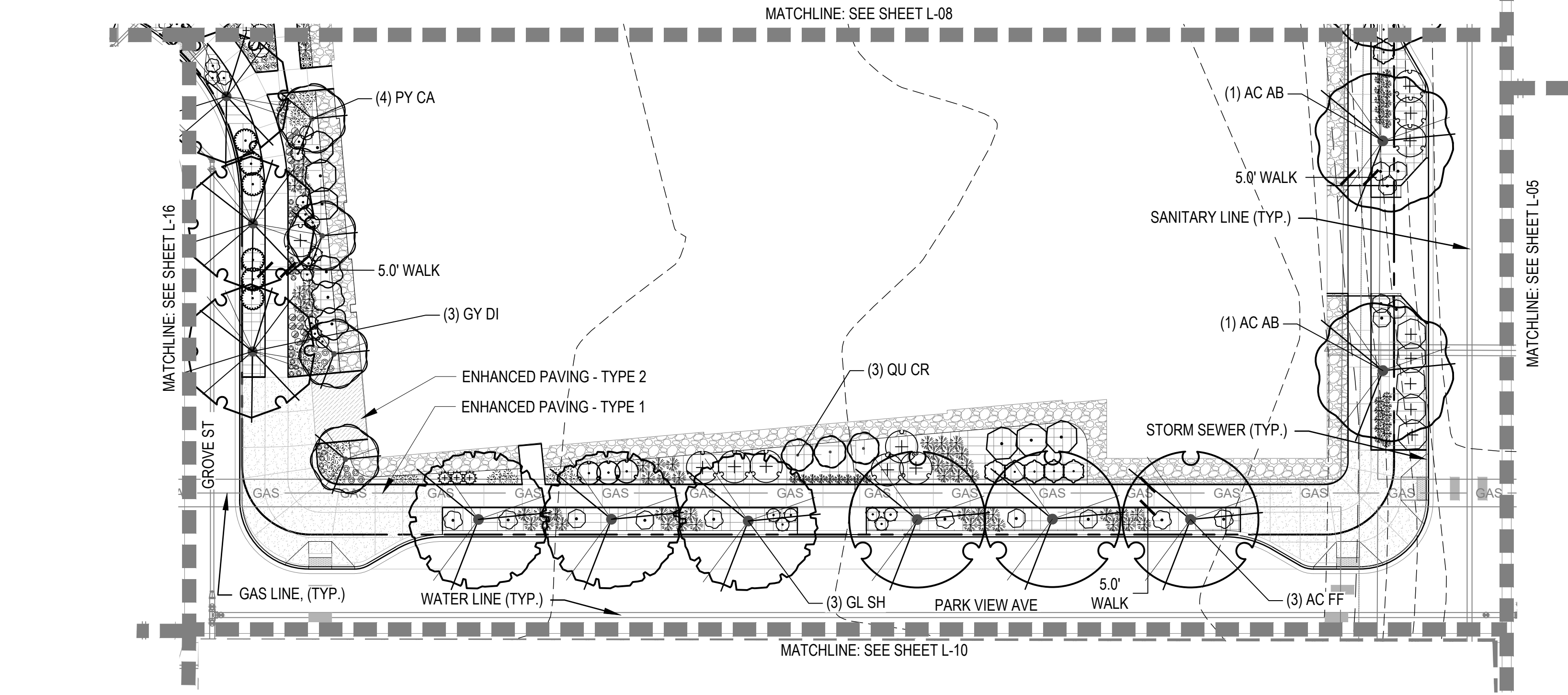


PLANNING AREA - 3

CHECKED BY:
FILENAME:

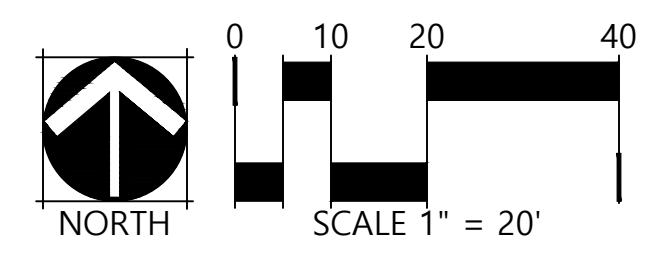
CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



LEGEND

	MATCH LINE		6' SCREEN FENCE		ROCK MULCH
	PROPERTY LINE		LANDSCAPE FENCE		LANDSCAPE COBBLE
	LIMIT OF WORK		SOD		ENHANCED PAVING 1
	EASEMENT		DRYLAND NATIVE SEED		ENHANCED PAVING 2
	STORM SEWER		WATER QUALITY NATIVE SEED		LANDSCAPE BOULDER
	SANITARY SEWER		CRUSHER FINES		
	WATER LINE				
	ELECTRIC LINE				
	GAS LINE				



PLANNING AREA - 3

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK QOF I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

DATE:
FDP-01-03/16/2023

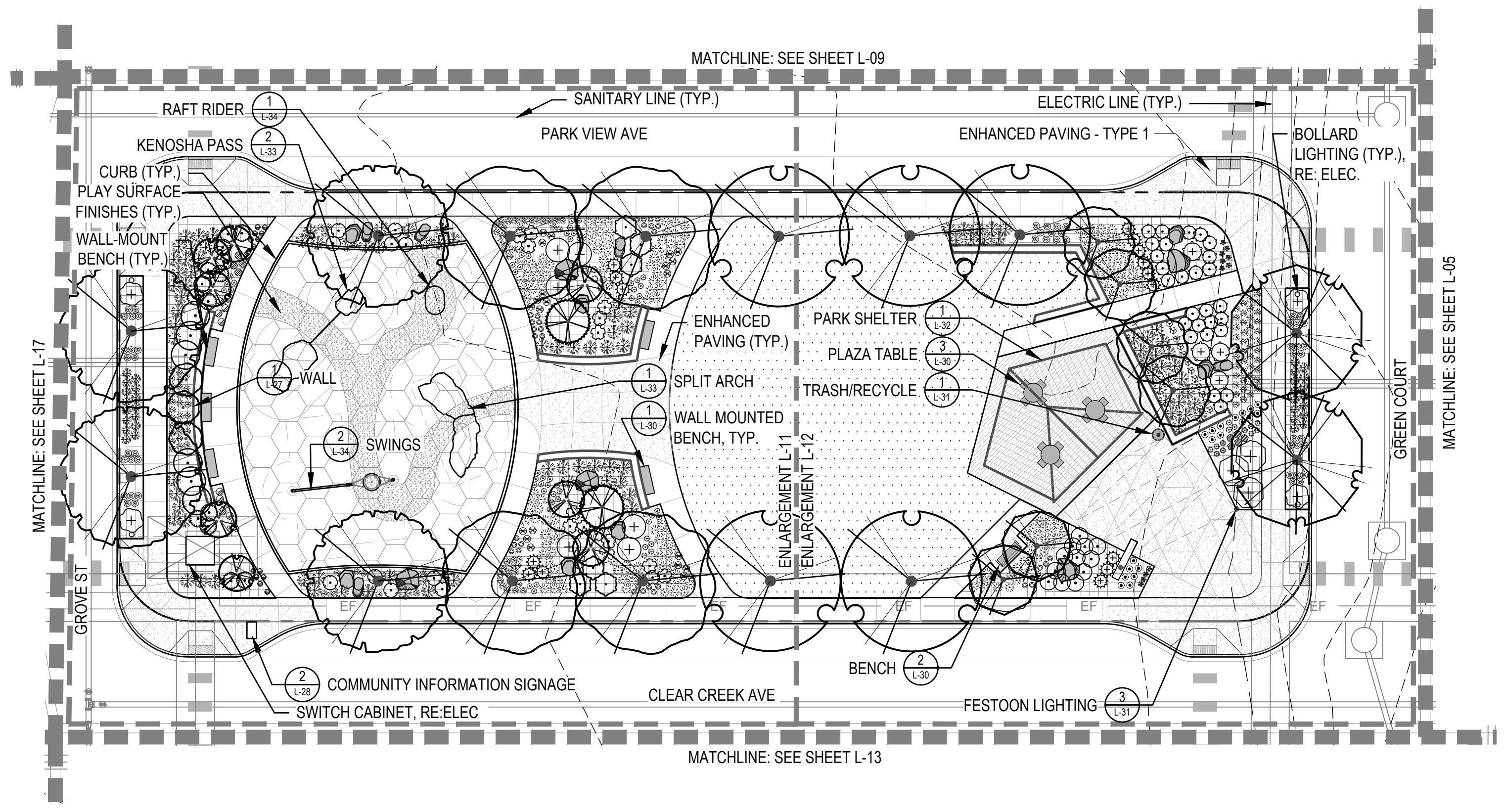
SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
L-09

CHECKED BY:
FILENAME:

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



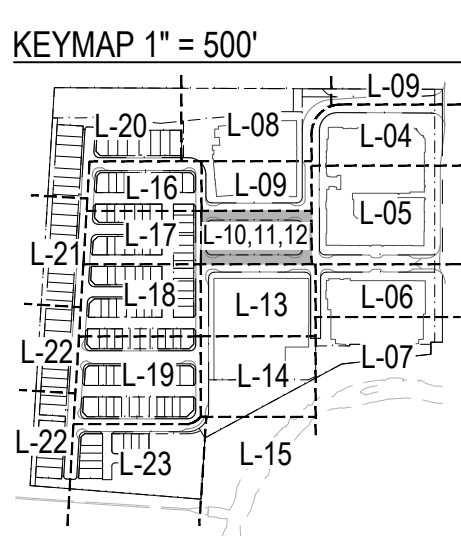
OWNER:
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK QOF I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

DATE:
FDP-01-03/16/2023

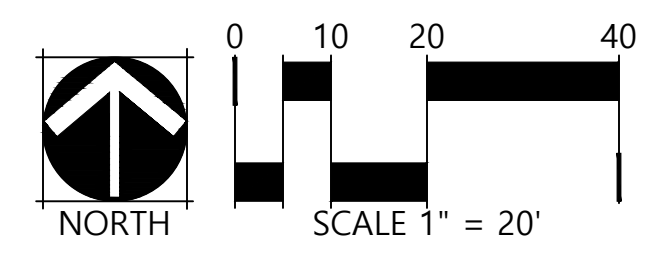
SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
L-10



LEGEND

	MATCH LINE		6' SCREEN FENCE		ROCK MULCH
	PROPERTY LINE		LANDSCAPE FENCE		LANDSCAPE COBBLE
	LIMIT OF WORK		SOD		ENHANCED PAVING 1
	EASEMENT		DRYLAND NATIVE SEED		ENHANCED PAVING 2
	STORM SEWER		WATER QUALITY NATIVE SEED		LANDSCAPE BOULDER
	SANITARY SEWER		CRUSHER FINES		
	WATER LINE				
	ELECTRIC LINE				
	GAS LINE				

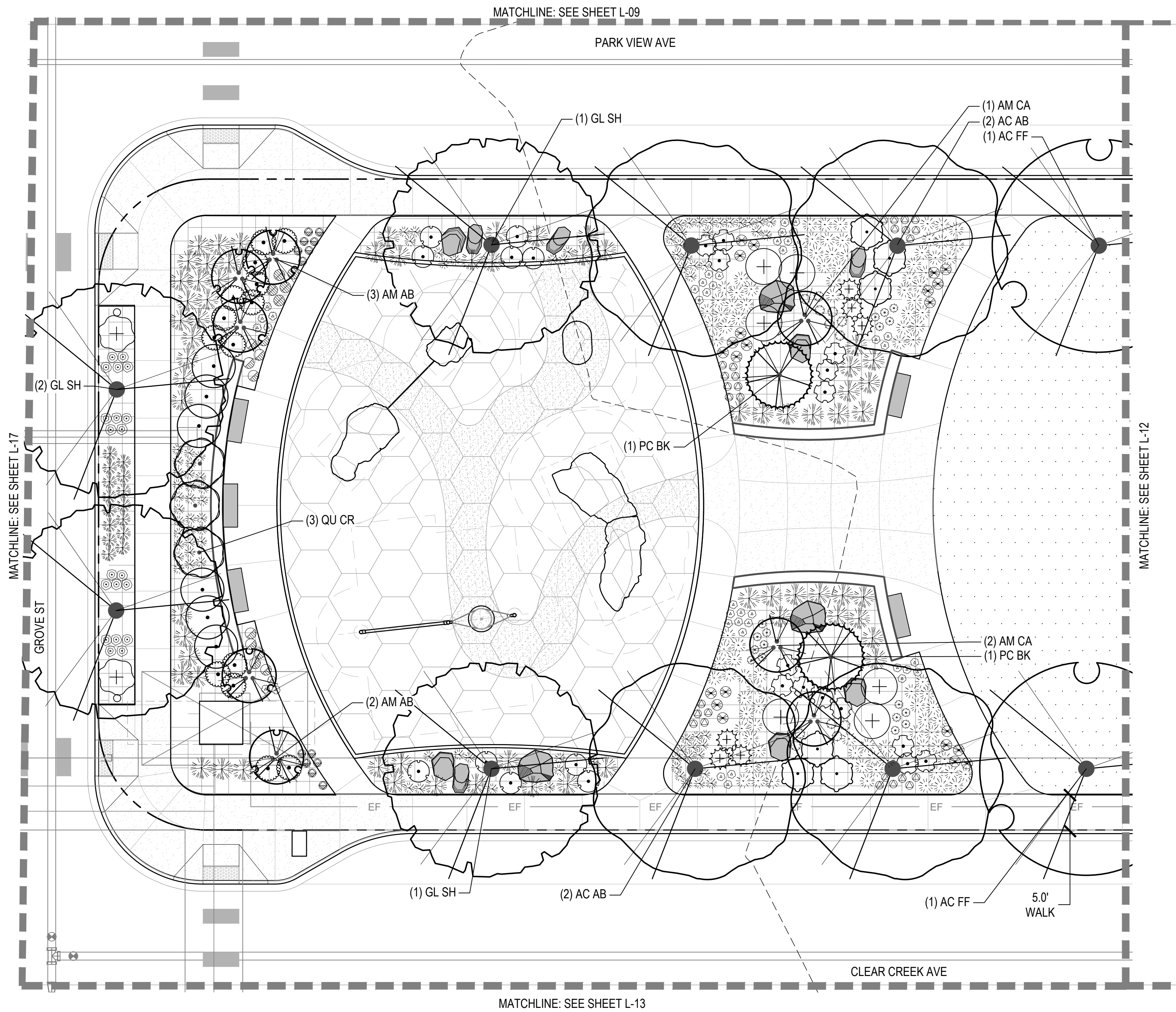
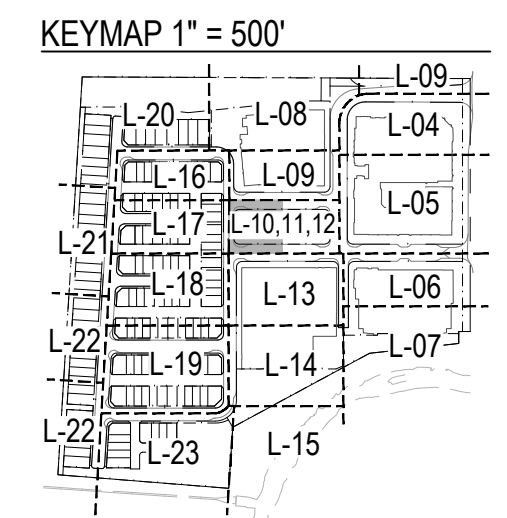


PLANNING AREA - 4

CHECKED BY:
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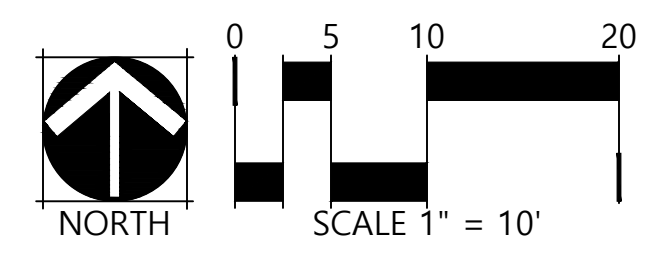
CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



LEGEND

	MATCH LINE
	PROPERTY LINE
	LIMIT OF WORK
	EASEMENT
	STORM SEWER
	SANITARY SEWER
	WATER LINE
	ELECTRIC LINE
	GAS LINE
	6' SCREEN FENCE
	LANDSCAPE FENCE
	SOD
	DRYLAND NATIVE SEED
	WATER QUALITY NATIVE SEED
	CRUSHER FINES
	ROCK MULCH
	LANDSCAPE COBBLE
	ENHANCED PAVING 1
	ENHANCED PAVING 2
	LANDSCAPE BOULDER



PLANNING AREA - 4

CLEAR CREEK TRANSIT VILLAGE
 FINAL DEVELOPMENT PLAN
 IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
 CLEAR CREEK VILLAGE, LLC
 THISTLE CREEK QOF I, L.P.
 14034 SOUTH 145th EAST
 DRAPER, UT 84020

NOT FOR
 CONSTRUCTION

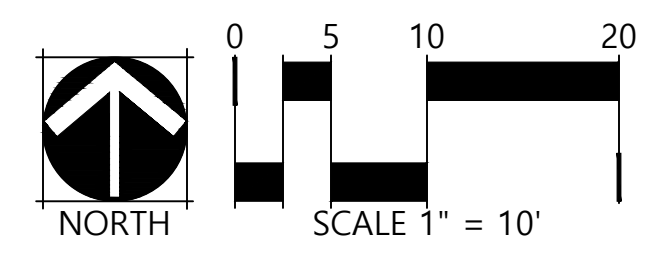
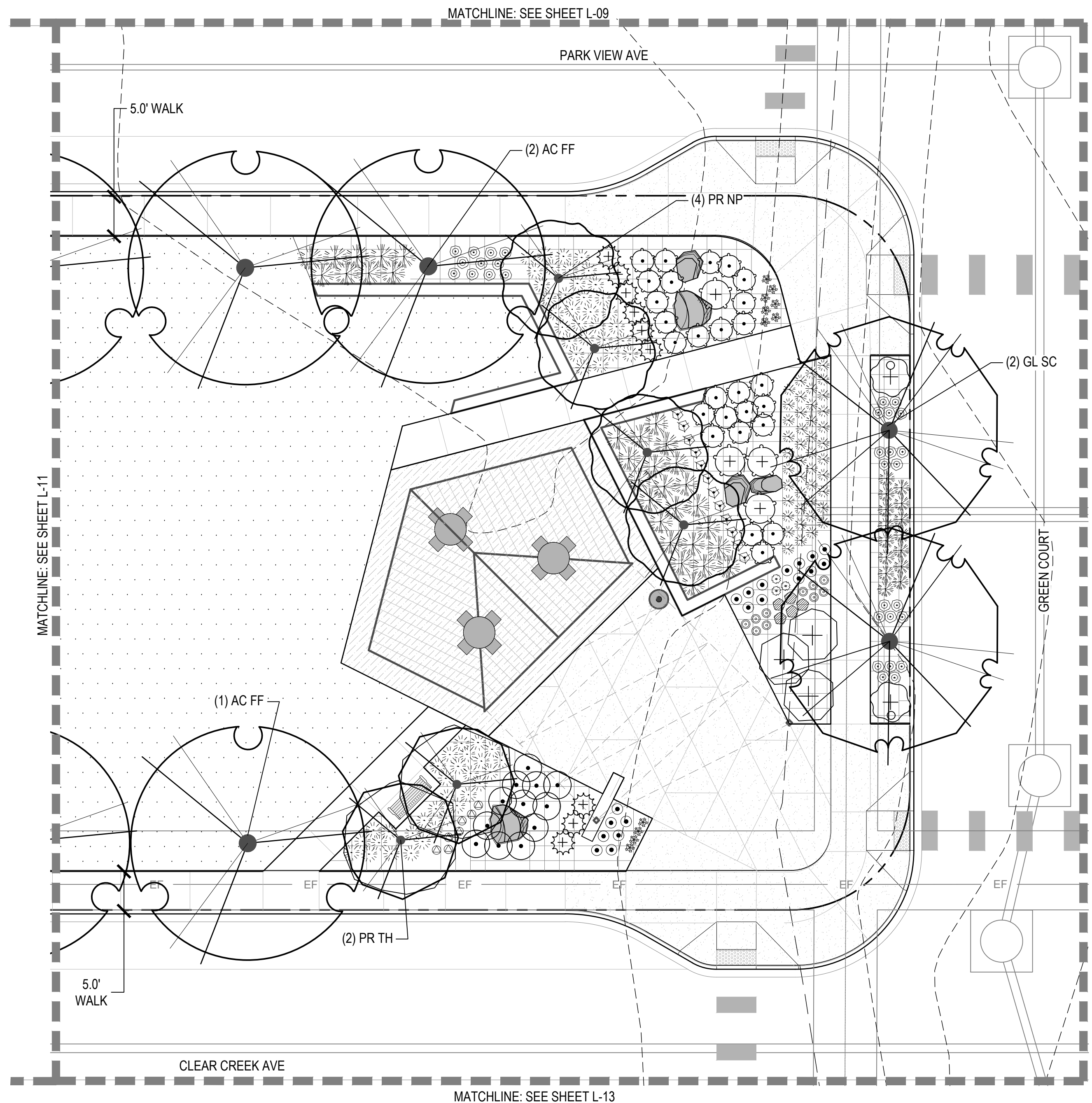
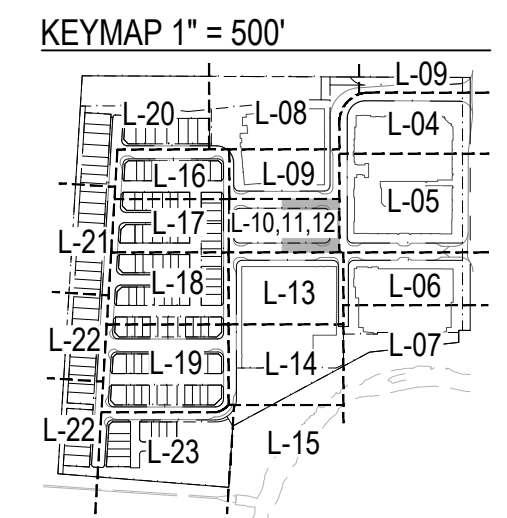
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 FDP-01-03/16/2023

SHEET TITLE:
 LANDSCAPE -
 PLANTING -
 ENLARGEMENT
 SHEET NUMBER:
L-11

CHECKED BY:
 FILENAME:

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



PLANNING AREA - 4

CLEAR CREEK TRANSIT VILLAGE
 FINAL DEVELOPMENT PLAN
 IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
 CLEAR CREEK VILLAGE, LLC
 THISTLE CREEK QOF I, L.P.
 14034 SOUTH 145th EAST
 DRAPER, UT 84020

NOT FOR CONSTRUCTION

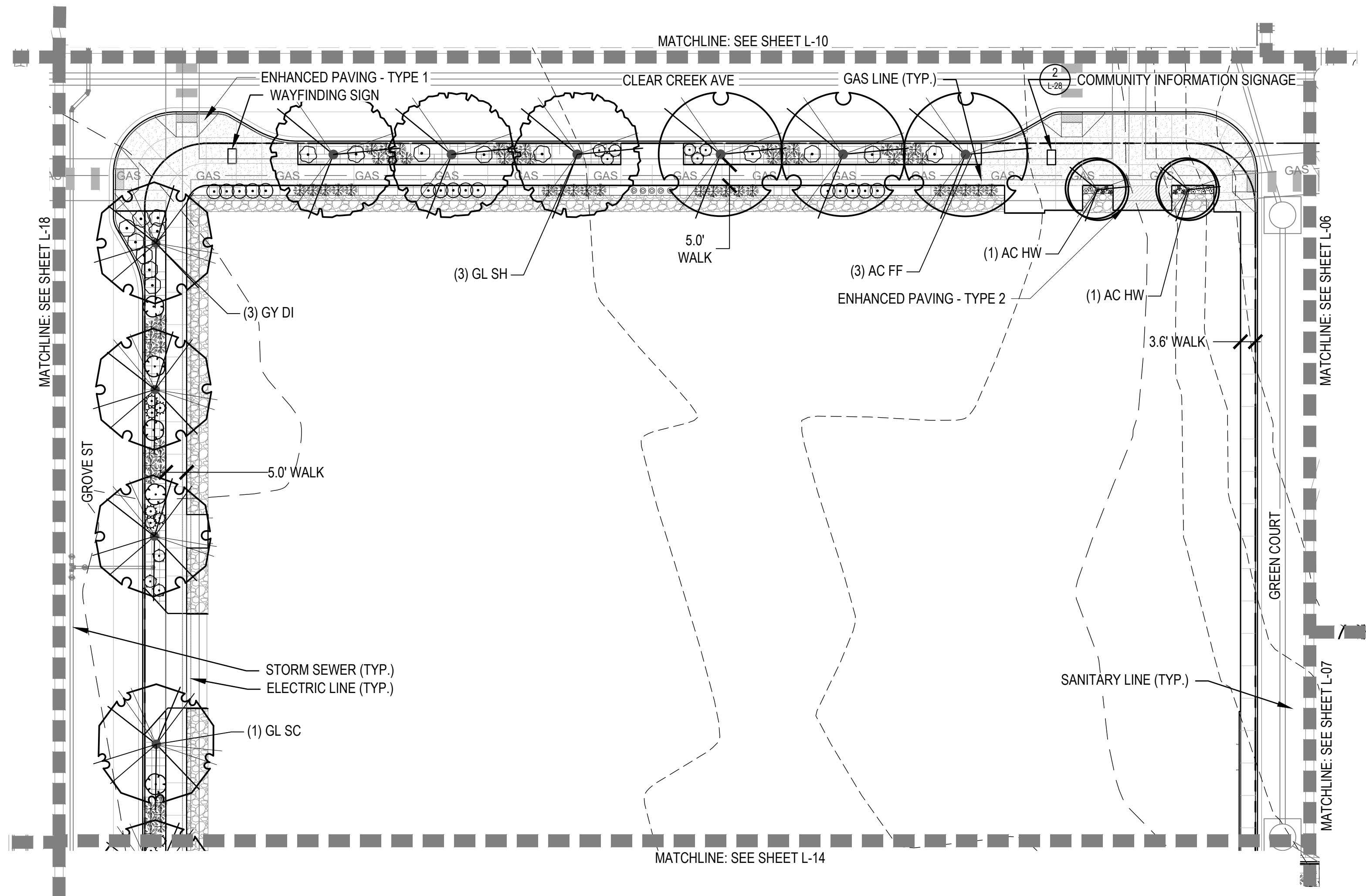
DATE:
 FDP-01-03/16/2023

SHEET TITLE:
 LANDSCAPE -
 PLANTING
 ENLARGEMENT
 SHEET NUMBER:
L-12

CHECKED BY:
 FILENAME:

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

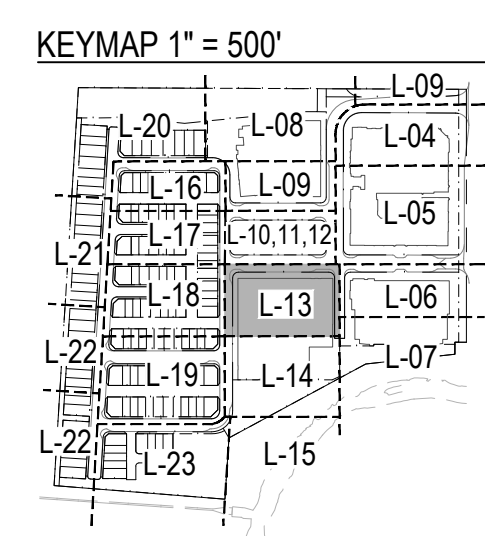
OWNER:
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK QOF I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

DATE:
FDP-01-03/16/2023

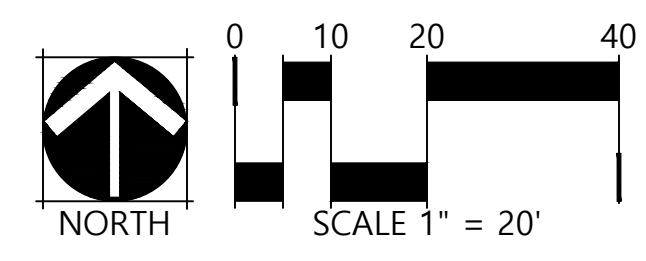
SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
L-13



LEGEND

	MATCH LINE		6' SCREEN FENCE		ROCK MULCH
	PROPERTY LINE		LANDSCAPE FENCE		LANDSCAPE COBBLE
	LIMIT OF WORK		SOD		ENHANCED PAVING 1
	EASEMENT		DRYLAND NATIVE SEED		ENHANCED PAVING 2
	STORM SEWER		WATER QUALITY NATIVE SEED		LANDSCAPE BOULDER
	SANITARY SEWER		CRUSHER FINES		
	WATER LINE				
	ELECTRIC LINE				
	GAS LINE				

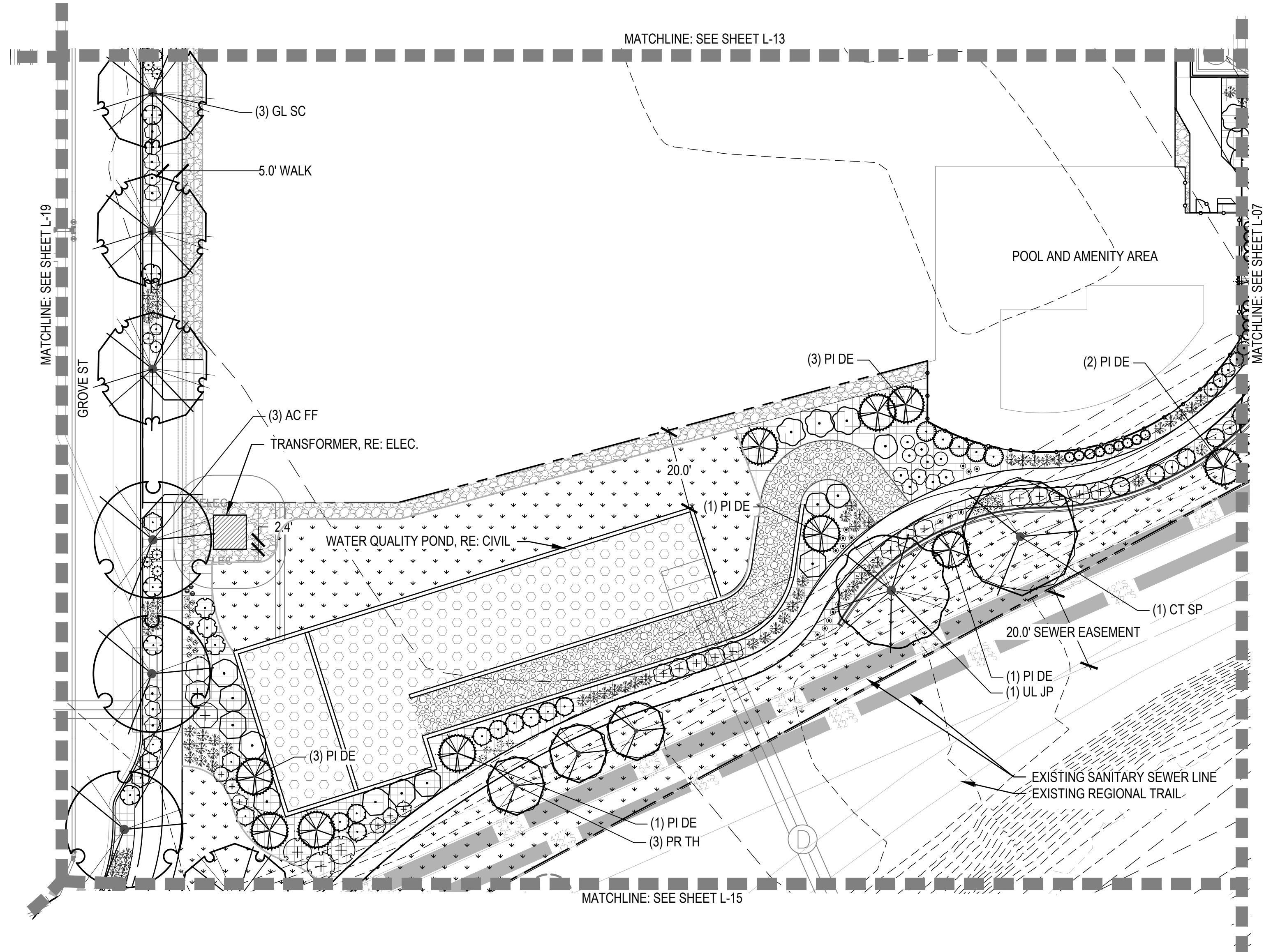


PLANNING AREA - 5

CHECKED BY:
FILENAME:

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK QOF I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

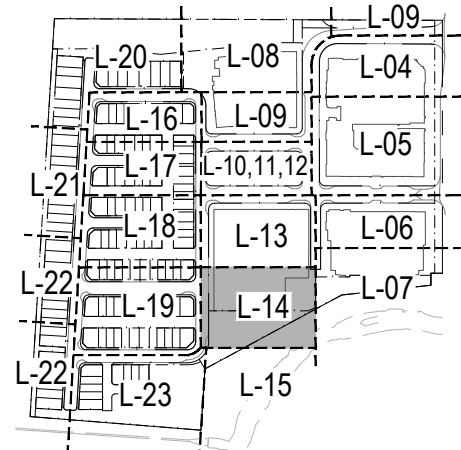
NOT FOR
CONSTRUCTION

DATE:
FDP-01-03/16/2023

SHEET TITLE:
LANDSCAPE PLAN

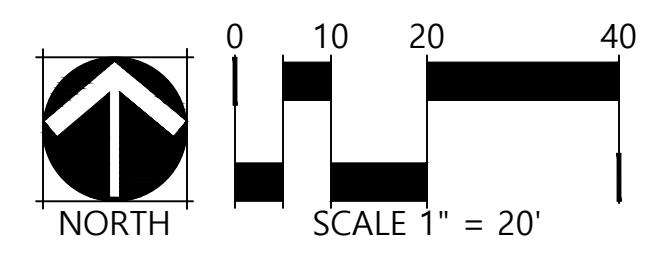
SHEET NUMBER:
L-14

KEYMAP 1" = 500'



LEGEND

	MATCH LINE		6' SCREEN FENCE		ROCK MULCH
	PROPERTY LINE		LANDSCAPE FENCE		LANDSCAPE COBBLE
	LIMIT OF WORK		SOD		ENHANCED PAVING 1
	EASEMENT		DRYLAND NATIVE SEED		ENHANCED PAVING 2
	STORM SEWER		WATER QUALITY NATIVE SEED		LANDSCAPE BOULDER
	SANITARY SEWER		CRUSHER FINES		
	WATER LINE				
	ELECTRIC LINE				
	GAS LINE				

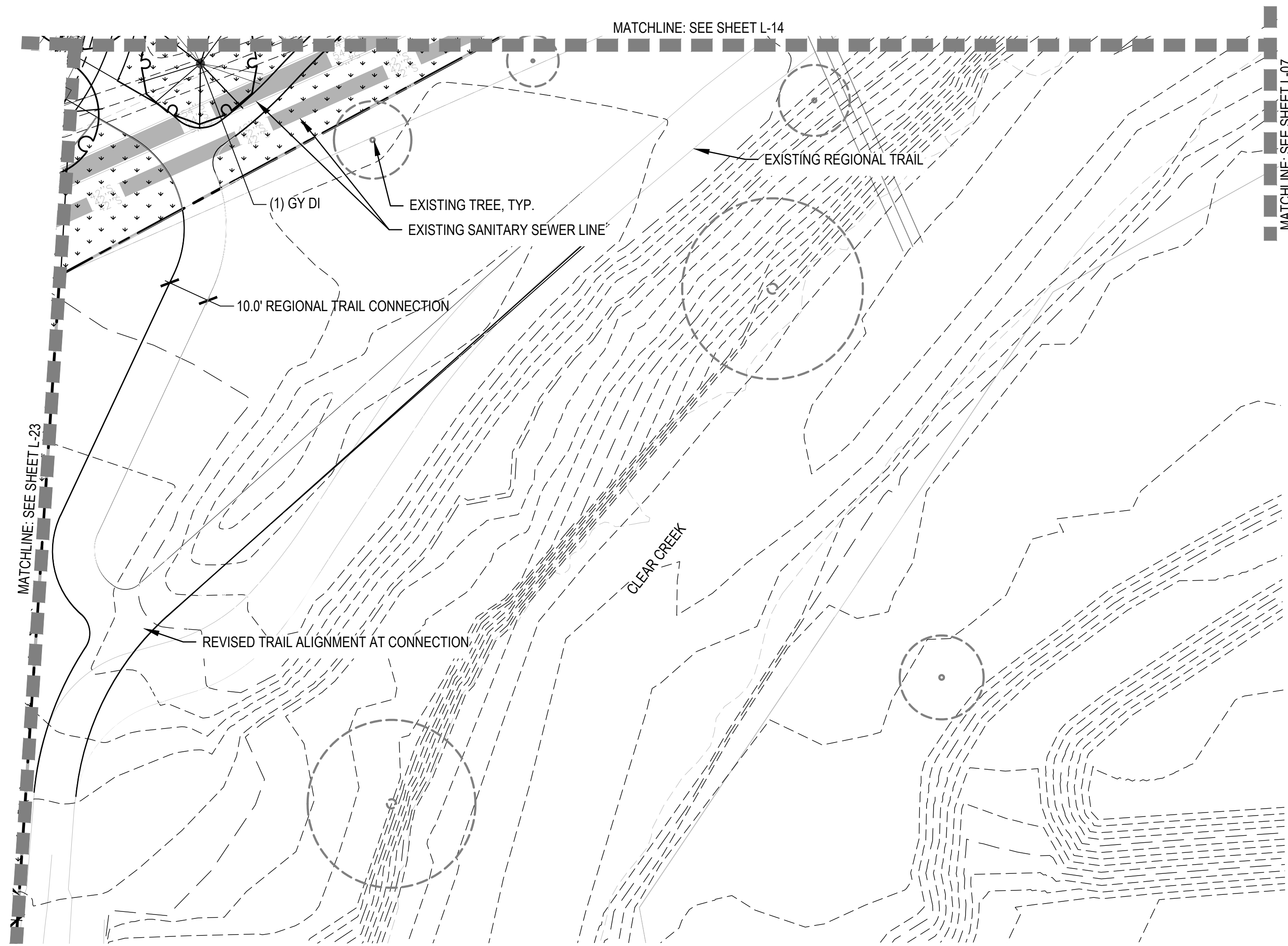


PLANNING AREA - 5

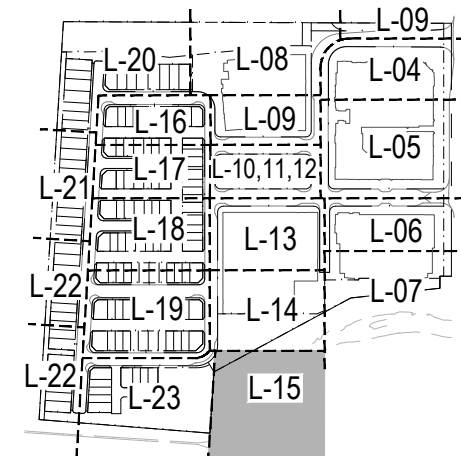
CHECKED BY:
FILENAME:

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

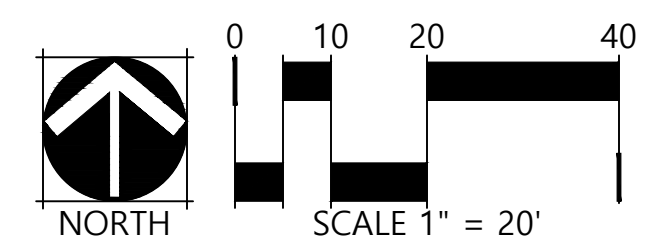


KEYMAP 1" = 500'



LEGEND

	MATCH LINE		6' SCREEN FENCE		ROCK MULCH
	PROPERTY LINE		LANDSCAPE FENCE		LANDSCAPE COBBLE
	LIMIT OF WORK		SOD		ENHANCED PAVING 1
	EASEMENT		DRYLAND NATIVE SEED		ENHANCED PAVING 2
	STORM SEWER		WATER QUALITY NATIVE SEED		LANDSCAPE BOULDER
	SANITARY SEWER		CRUSHER FINES		
	WATER LINE				
	ELECTRIC LINE				
	GAS LINE				



PLANNING AREA - 5

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK QOF I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

DATE:
FDP-01-03/16/2023

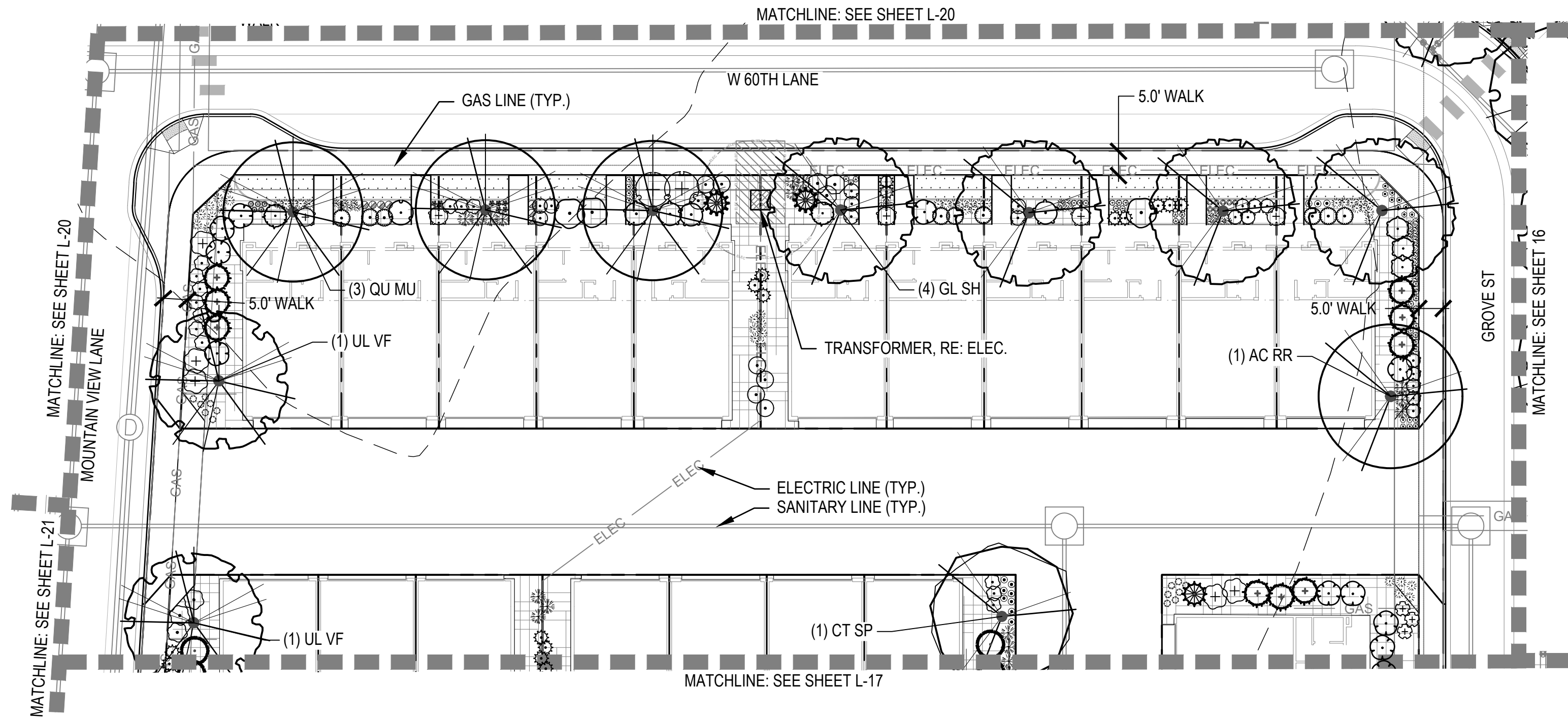
SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
L-15

CHECKED BY:
FILENAME:

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK QOF I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

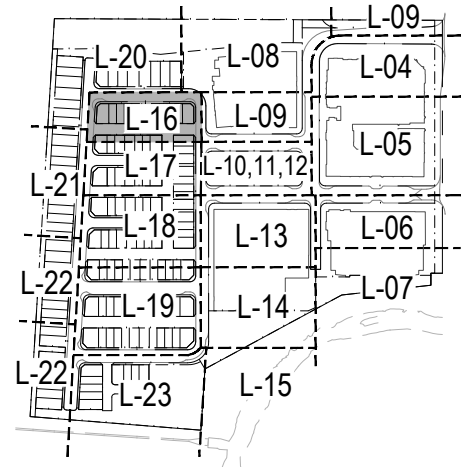
NOT FOR
CONSTRUCTION

DATE:
FDP-01-03/16/2023

SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
L-16

KEYMAP 1" = 500'



LEGEND

	MATCH LINE		6' SCREEN FENCE		ROCK MULCH
	PROPERTY LINE		LANDSCAPE FENCE		LANDSCAPE COBBLE
	LIMIT OF WORK		SOD		ENHANCED PAVING 1
	EASEMENT		DRYLAND NATIVE SEED		ENHANCED PAVING 2
	STORM SEWER		WATER QUALITY NATIVE SEED		LANDSCAPE BOULDER
	SANITARY SEWER		CRUSHER FINES		
	WATER LINE				
	ELECTRIC LINE				
	GAS LINE				

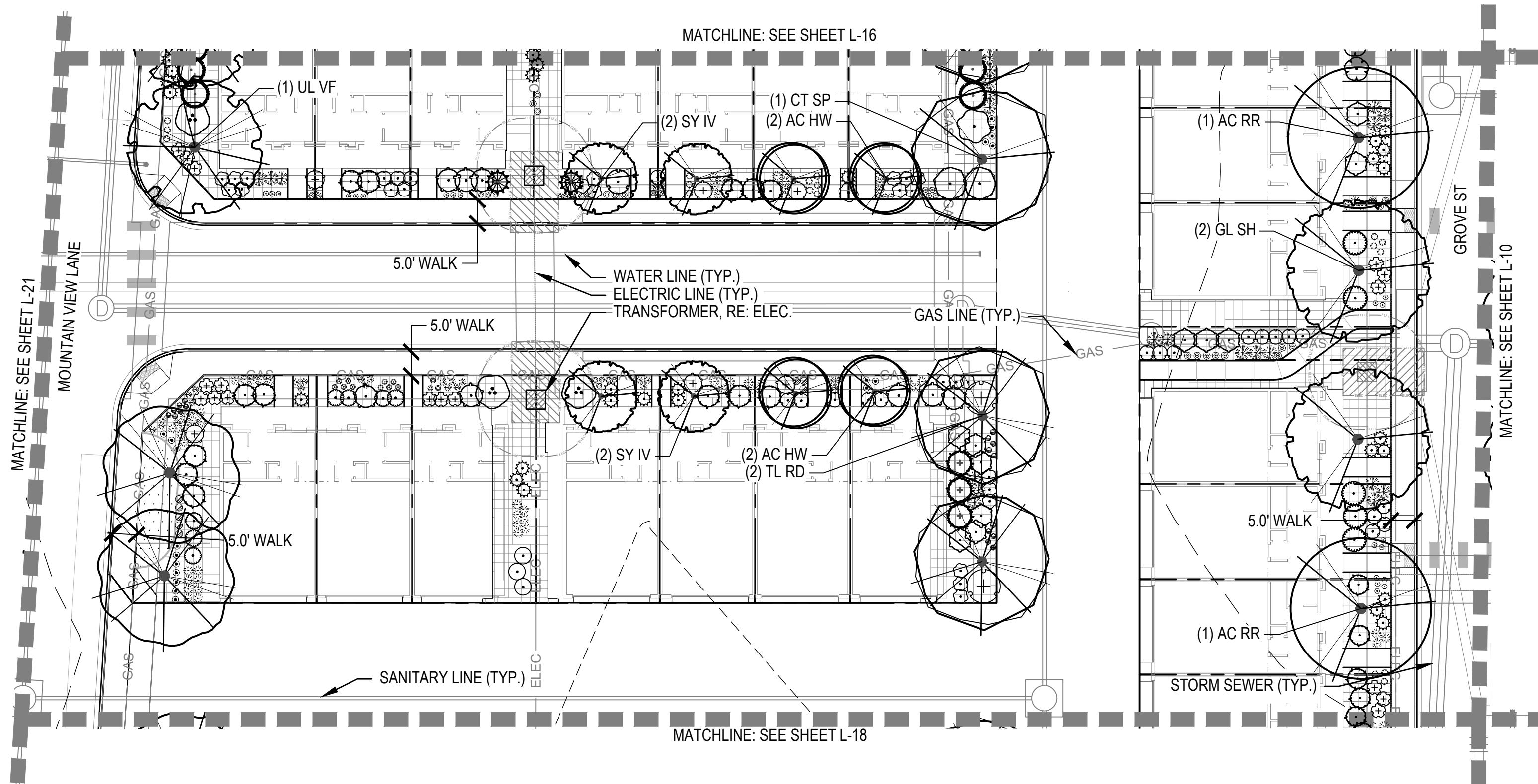


PLANNING AREA - 6

CHECKED BY:
FILENAME:

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK QOF I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

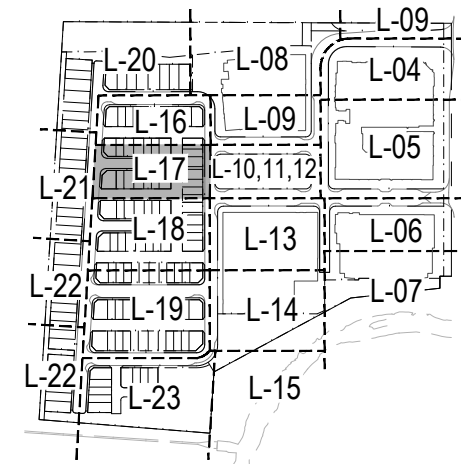
NOT FOR
CONSTRUCTION

DATE:
FDP-01-03/16/2023

SHEET TITLE:
LANDSCAPE PLAN

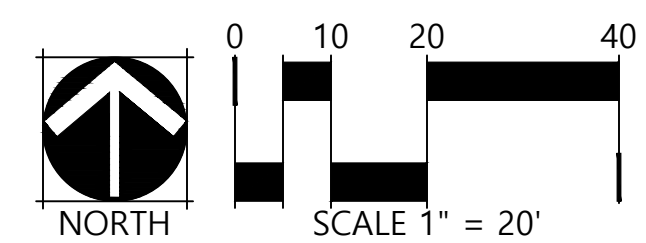
SHEET NUMBER:
L-17

KEYMAP 1" = 500'



LEGEND

	MATCH LINE		6' SCREEN FENCE		ROCK MULCH
	PROPERTY LINE		LANDSCAPE FENCE		LANDSCAPE COBBLE
	LIMIT OF WORK		SOD		ENHANCED PAVING 1
	EASEMENT		DRYLAND NATIVE SEED		ENHANCED PAVING 2
	STORM SEWER		WATER QUALITY NATIVE SEED		LANDSCAPE BOULDER
	SANITARY SEWER		CRUSHER FINES		
	WATER LINE				
	ELECTRIC LINE				
	GAS LINE				

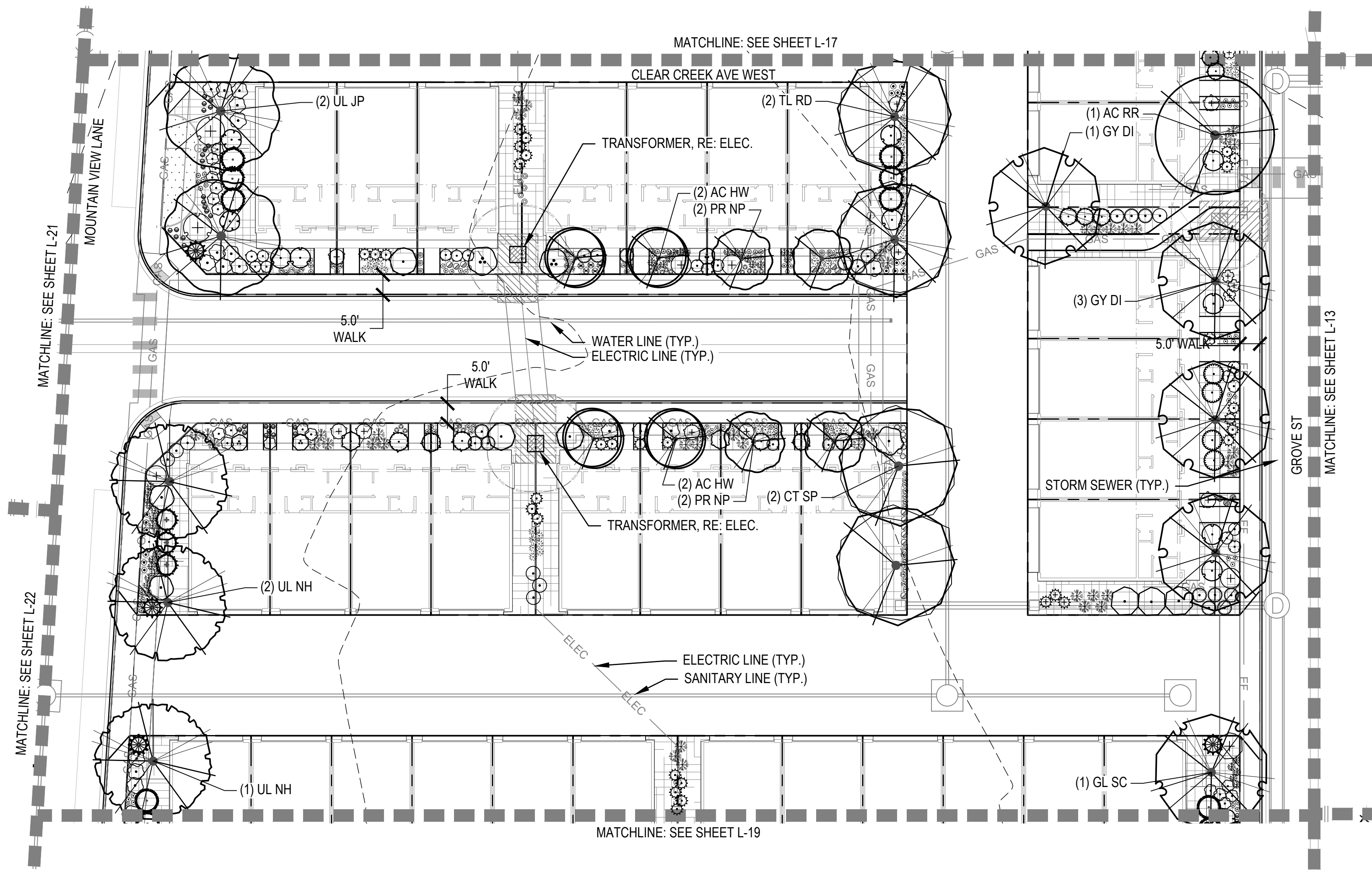


PLANNING AREA - 6

CHECKED BY:
FILENAME:

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

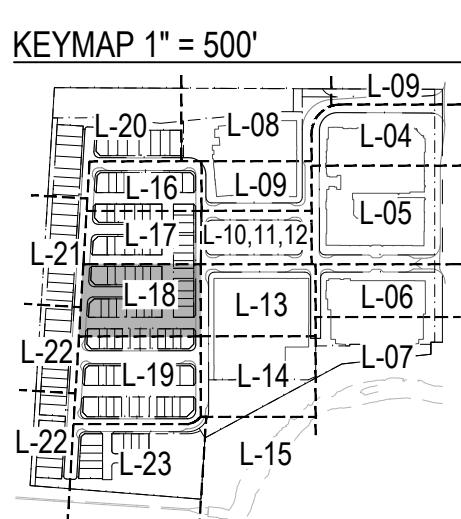
OWNER:
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK QOF I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

DATE:
FDP-01-03/16/2023

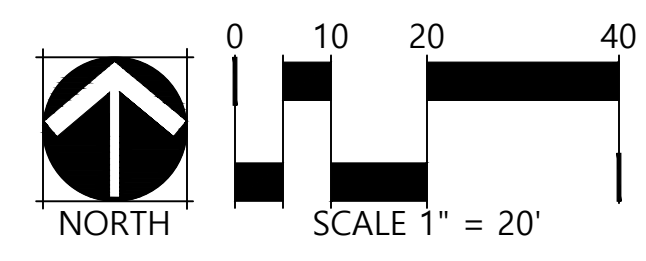
SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
L-18



LEGEND

	MATCH LINE		6' SCREEN FENCE		ROCK MULCH
	PROPERTY LINE		LANDSCAPE FENCE		LANDSCAPE COBBLE
	LIMIT OF WORK		SOD		ENHANCED PAVING 1
	EASEMENT		DRYLAND NATIVE SEED		ENHANCED PAVING 2
	STORM SEWER		WATER QUALITY NATIVE SEED		LANDSCAPE BOULDER
	SANITARY SEWER		CRUSHER FINES		
	WATER LINE				
	ELECTRIC LINE				
	GAS LINE				

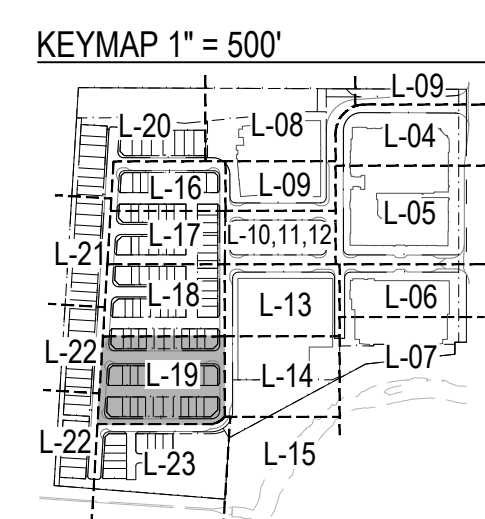
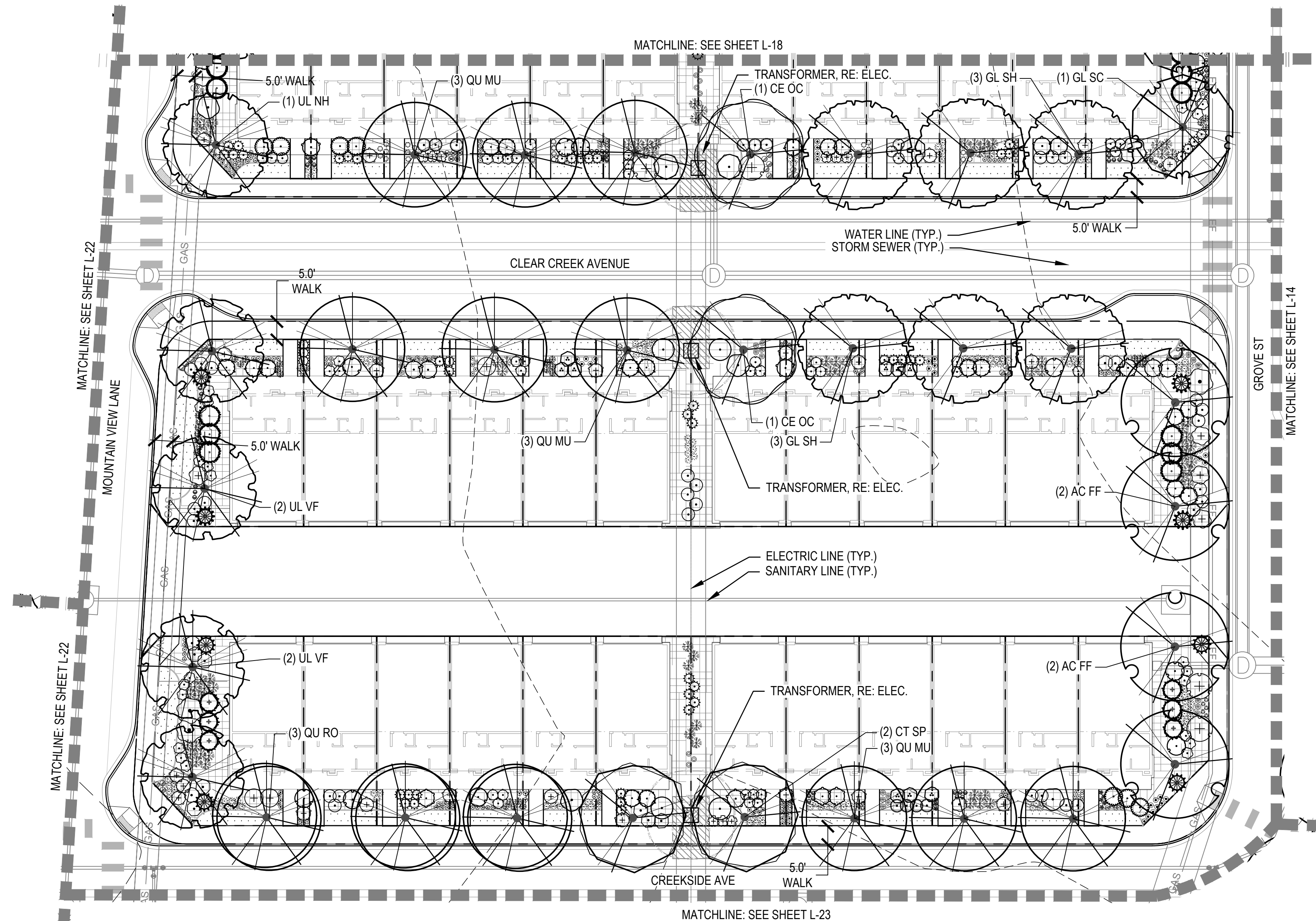


PLANNING AREA - 7

CHECKED BY:
FILENAME:

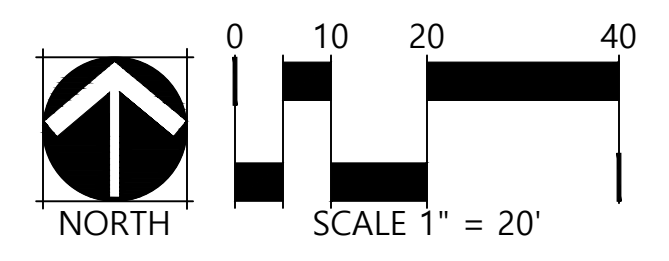
CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



LEGEND

MATCH LINE	6' SCREEN FENCE	ROCK MULCH
PROPERTY LINE	LANDSCAPE FENCE	LANDSCAPE COBBLE
LIMIT OF WORK	SOD	ENHANCED PAVING 1
EASEMENT	DRYLAND NATIVE SEED	ENHANCED PAVING 2
STORM SEWER	WATER QUALITY NATIVE SEED	LANDSCAPE BOULDER
SANITARY SEWER	CRUSHER FINES	
WATER LINE		
ELECTRIC LINE		
GAS LINE		



PLANNING AREA - 7

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK QOF I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

DATE:
FDP-01-03/16/2023

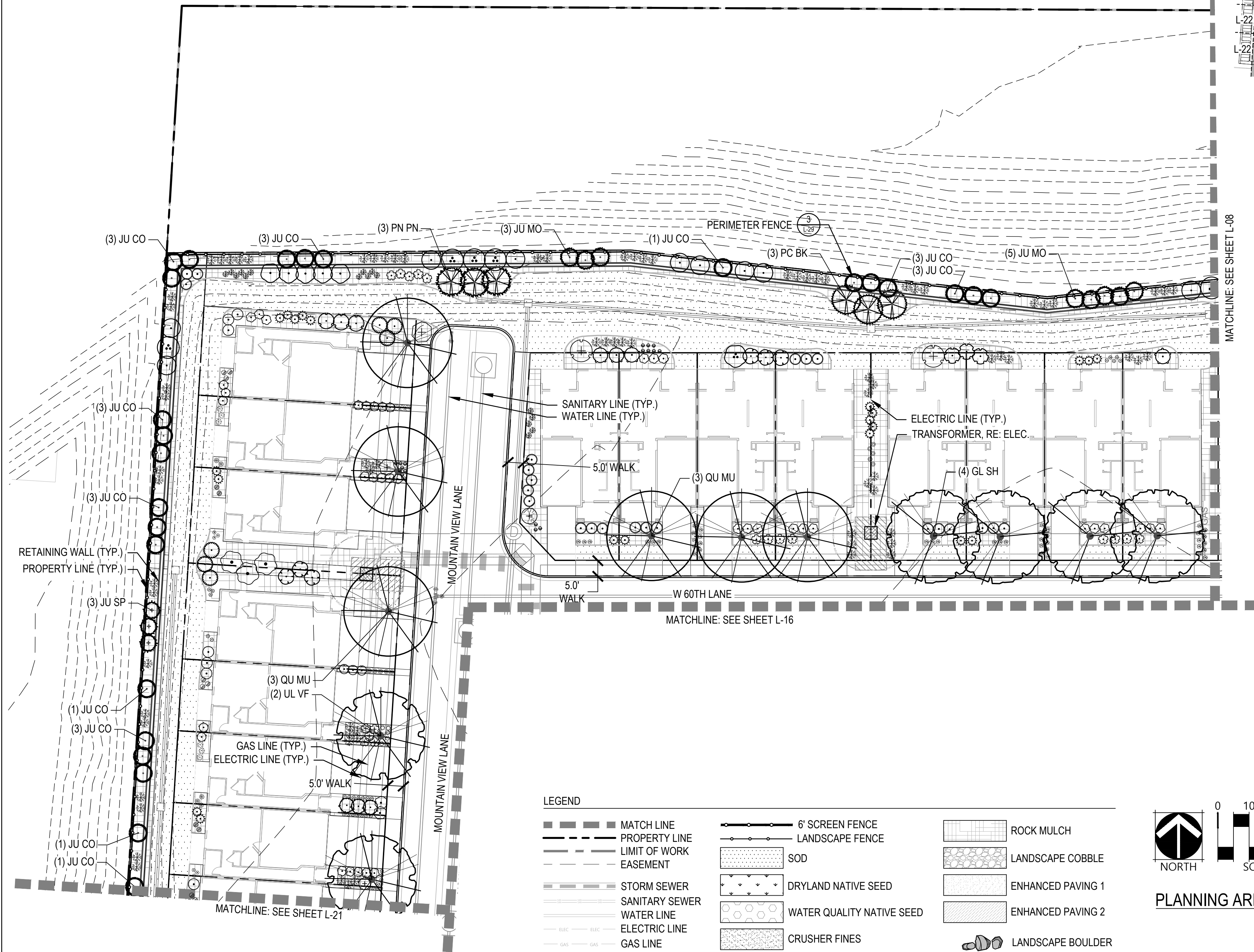
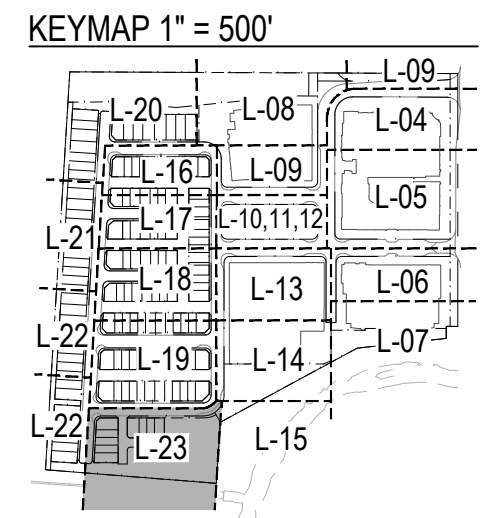
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LANDSCAPE PLAN

SHEET NUMBER:
L-19

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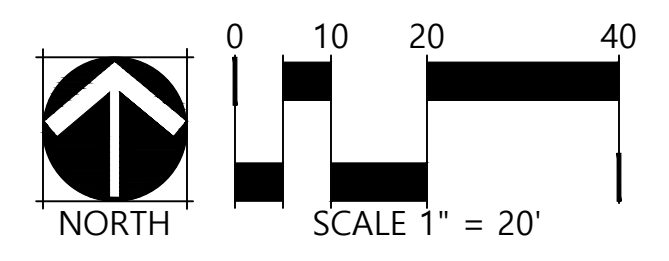
CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



LEGEND

	MATCH LINE		6' SCREEN FENCE		ROCK MULCH
	PROPERTY LINE		LANDSCAPE FENCE		LANDSCAPE COBBLE
	LIMIT OF WORK		SOD		ENHANCED PAVING 1
	EASEMENT		DRYLAND NATIVE SEED		ENHANCED PAVING 2
	STORM SEWER		WATER QUALITY NATIVE SEED		LANDSCAPE BOULDER
	SANITARY SEWER		CRUSHER FINES		
	WATER LINE				
	ELECTRIC LINE				
	GAS LINE				



PLANNING AREA - 8

MATCHLINE: SEE SHEET L-08

MATCHLINE: SEE SHEET L-16

MATCHLINE: SEE SHEET L-21

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK QOF I, L.P.
14034 SOUTH 148th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

DATE:
FDP-01-03/16/2023

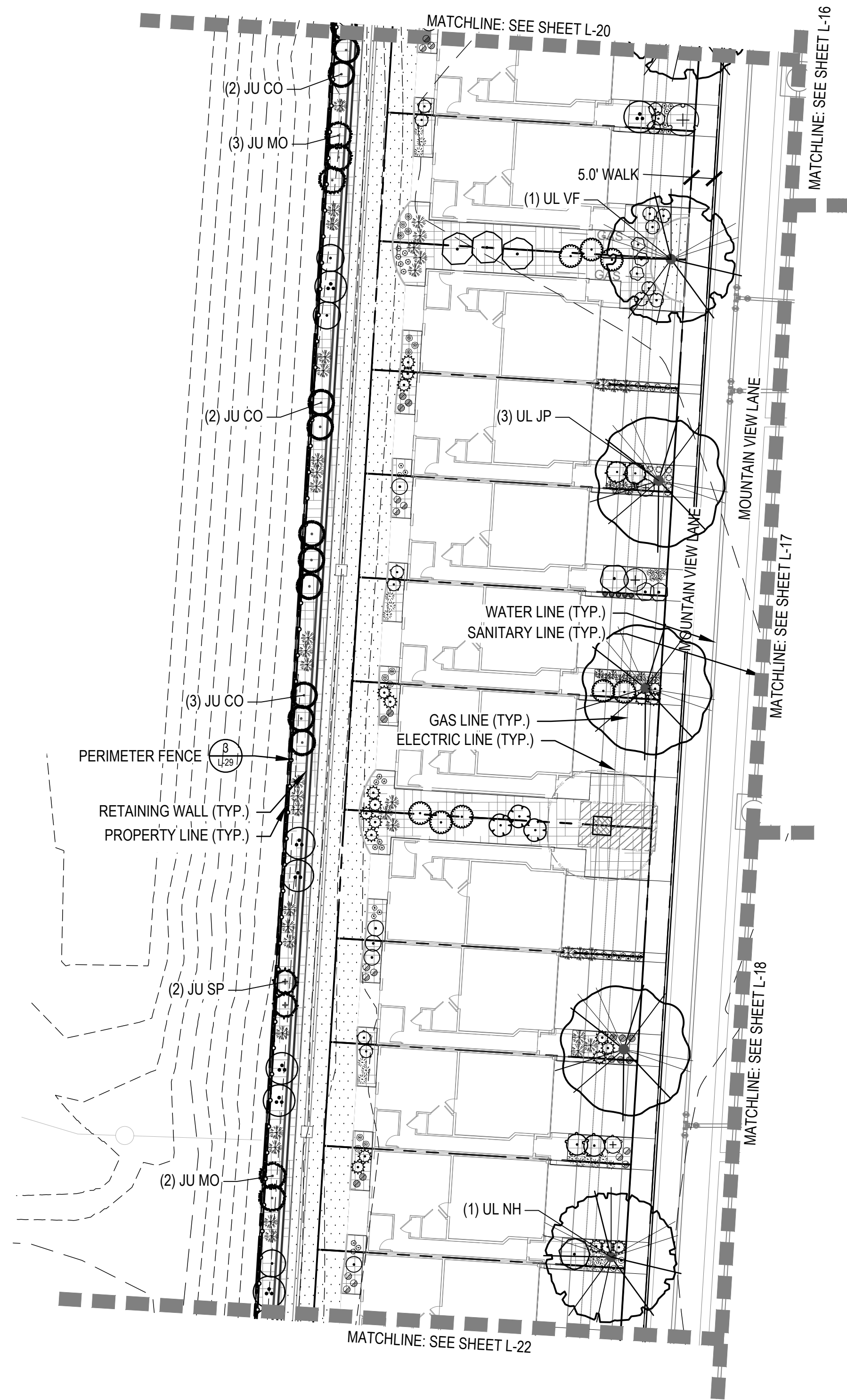
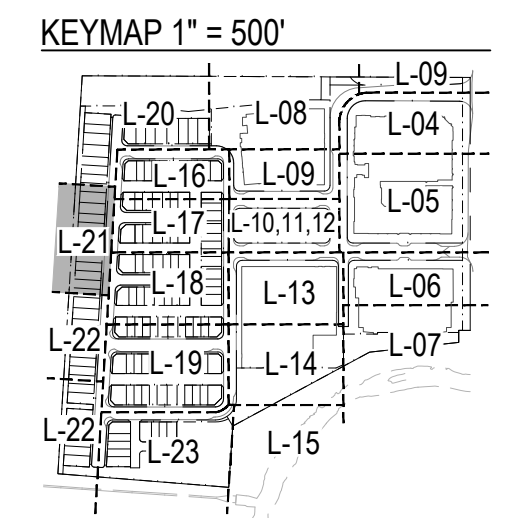
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LANDSCAPE PLAN

SHEET NUMBER:
L-20

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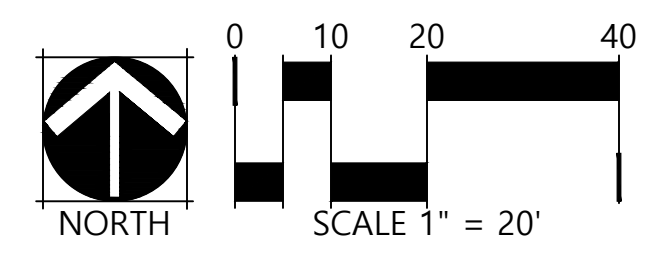
CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



LEGEND

	MATCH LINE
	PROPERTY LINE
	LIMIT OF WORK
	EASEMENT
	STORM SEWER
	SANITARY SEWER
	WATER LINE
	ELECTRIC LINE
	GAS LINE
	6' SCREEN FENCE
	LANDSCAPE FENCE
	SOD
	DRYLAND NATIVE SEED
	WATER QUALITY NATIVE SEED
	CRUSHER FINES
	ROCK MULCH
	LANDSCAPE COBBLE
	ENHANCED PAVING 1
	ENHANCED PAVING 2
	LANDSCAPE BOULDER



PLANNING AREA - 8

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
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THISTLE CREEK QOF I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

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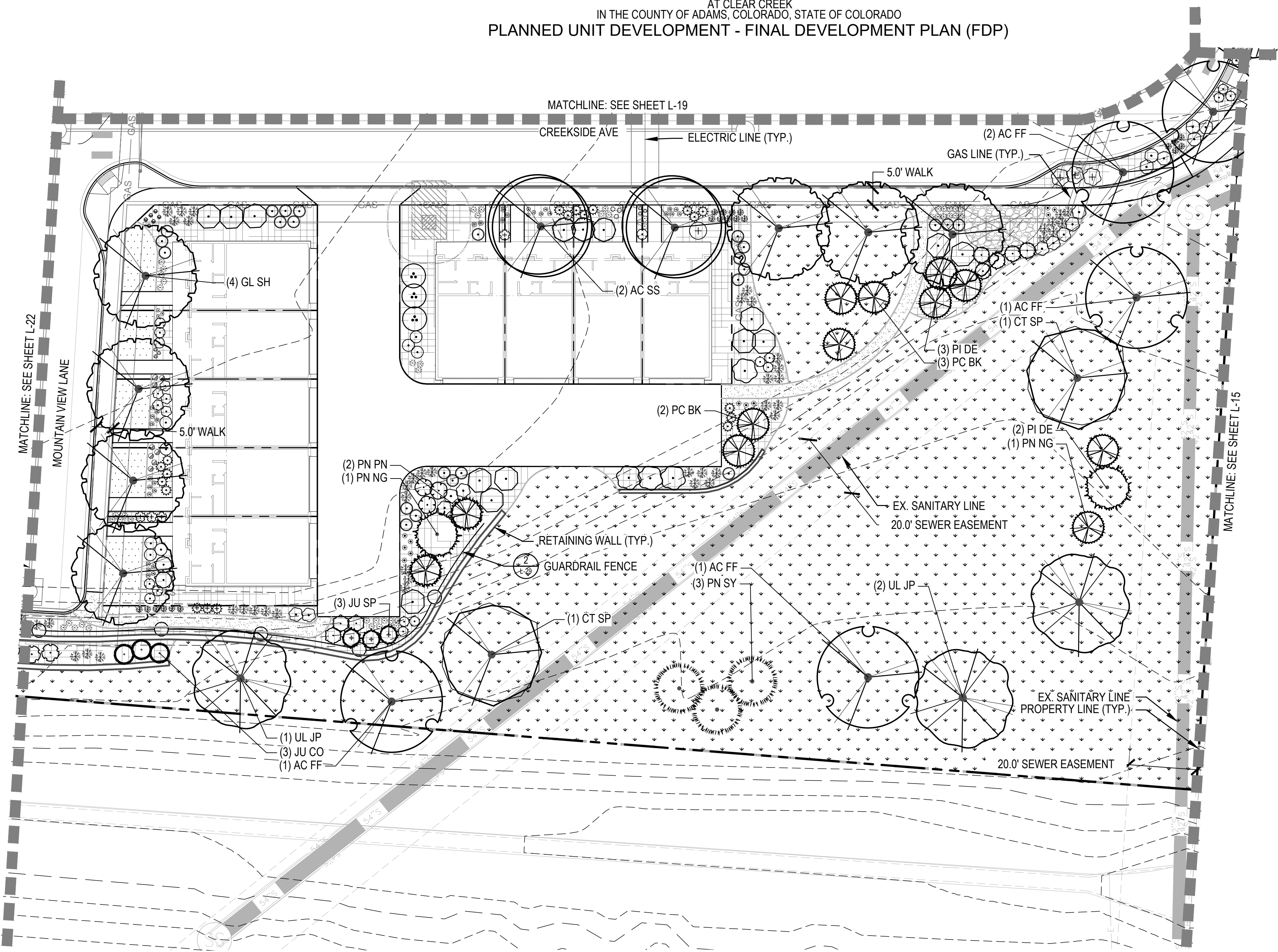
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LANDSCAPE PLAN

SHEET NUMBER:
L-21

CHECKED BY:
FILENAME:

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



MATCHLINE: SEE SHEET L-22

MATCHLINE: SEE SHEET L-15

CLEAR CREEK TRANSIT VILLAGE
 FINAL DEVELOPMENT PLAN
 IN THE COUNTY OF ADAMS, STATE OF COLORADO

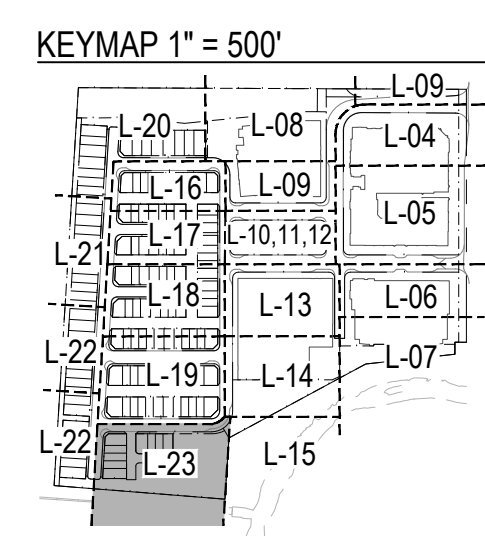
OWNER:
 CLEAR CREEK VILLAGE, LLC
 THISTLE CREEK QOF I, L.P.
 14034 SOUTH 145th EAST
 DRAPER, UT 84020

NOT FOR CONSTRUCTION

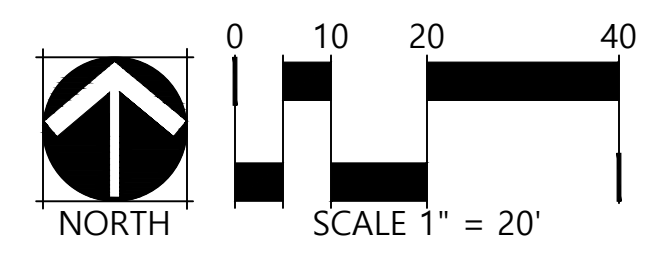
DATE:
 FDP-01-03/16/2023

SHEET TITLE: LANDSCAPE PLAN

SHEET NUMBER: L-23



LEGEND			
	MATCH LINE		6' SCREEN FENCE
	PROPERTY LINE		LANDSCAPE FENCE
	LIMIT OF WORK		SOD
	EASEMENT		DRYLAND NATIVE SEED
	STORM SEWER		WATER QUALITY NATIVE SEED
	SANITARY SEWER		CRUSHER FINES
	WATER LINE		ROCK MULCH
	ELECTRIC LINE		LANDSCAPE COBBLE
	GAS LINE		ENHANCED PAVING 1
			ENHANCED PAVING 2
			LANDSCAPE BOULDER



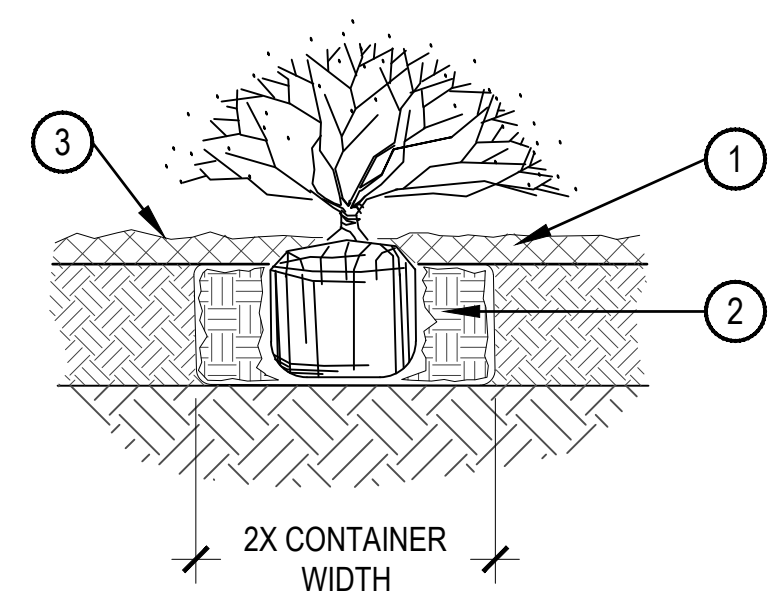
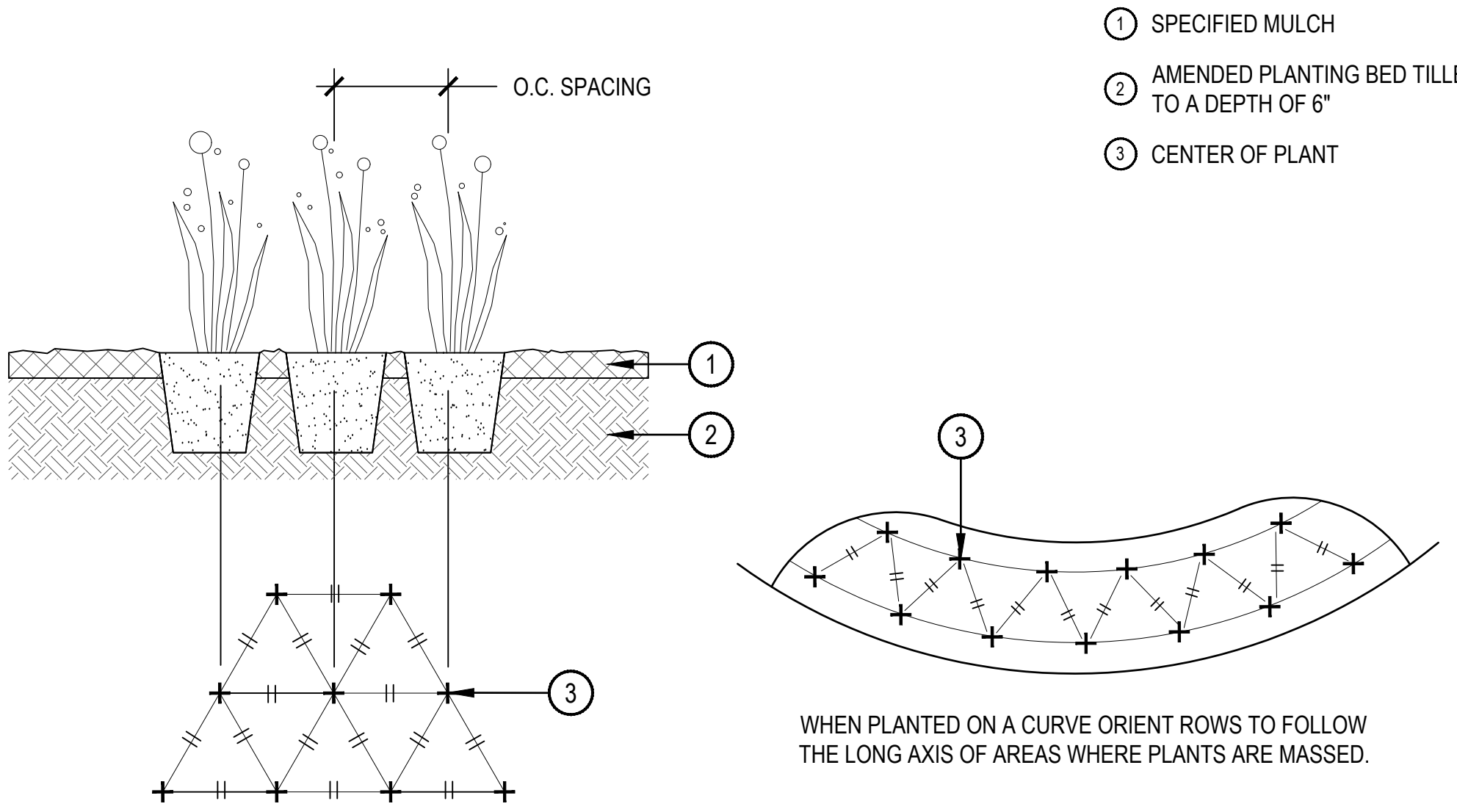
PLANNING AREA - 9

CHECKED BY: FILENAME

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



- ① SPECIFIED MULCH
- ② AMENDED PLANTING BED TILLED TO A DEPTH OF 6"
- ③ CENTER OF PLANT

- ① SPECIFIED MULCH
- ② AMENDED SOIL IN PLANTING BED PER SPECIFICATIONS. TILL SOIL TO A DEPTH OF EIGHT INCHES.
- ③ FINISH GRADE (TOP OF SOIL)

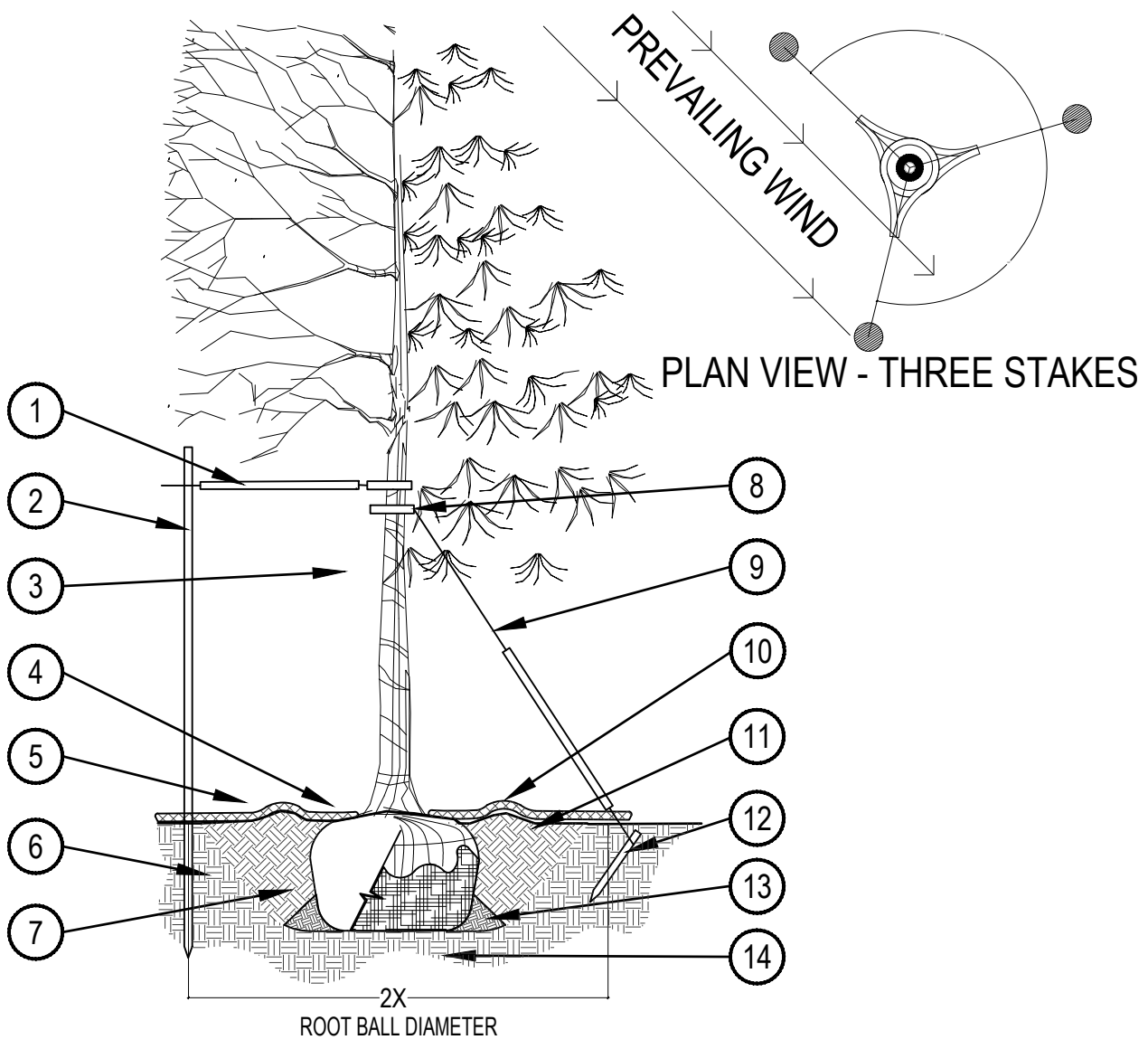
- NOTE:**
1. BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED
 2. CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER
 3. ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE SOIL LAYER
 4. DIG PLANT PIT TWICE AS WIDE AND HIGH AS THE CONTAINER
 5. PRUNE ALL DEAD OR DAMAGED WOOD PRIOR TO PLANTING
 6. SET SHRUB ROOT-BALL 1" ABOVE SOIL GRADE OF BED

① PERENNIAL PLANT LAYOUT

SCALE: 1" = 1'-0"

② SHRUB PLANTING

SCALE: 1-1/2" = 1'-0"



- PRUNING NOTES:**
1. ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
 2. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKING NOTES:**
1. STAKE TREES PER FOLLOWING SCHEDULE, THEN REMOVE AT END OF FIRST GROWING SEASON.
 - 1.1 1-1/2" CALIPER SIZE - MIN. 1 STAKE ON SIDE OF PREVAILING WIND (GENERALLY N.W. SIDE)
 - 1.2 1-1/2" - 3" CALIPER SIZE - MIN. 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE)
 - 1.3 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM
 2. WIRE OR CABLE SHALL BE MIN. 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.

- ① PLACE MIN. 1/2" PVC PIPE AROUND EACH WIRE. EXPOSED WIRE SHALL BE MAX. 2" EACH SIDE
- ② 6 FT. UNTREATED WOOD POST (MIN. 1.5" DIAMETER). ALL SHALL BE DRIVEN OUTSIDE ROOTBALL AND IN UNDISTURBED SOIL.
- ③ TREE WRAP TO BE INSTALLED ONLY FROM OCTOBER 1 THROUGH APRIL 30. (DECIDUOUS ONLY)
- ④ PLANT TREE SO THAT FIRST ORDER MAJOR ROOT IS 1"-2" ABOVE FINAL GRADE.
- ⑤ 3" DEEP MULCH RING PLACED A MINIMUM OF 4 FT. IN DIAMETER. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK (FINISHED GRADE REFERENCES TOP OF MULCH).
- ⑥ 1:1 SLOPE ON SIDES OF PLANTING HOLE.
- ⑦ REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM ENTIRE ROOT BALL AND TRUNK
- ⑧ GROMMETED NYLON STRAPS
- ⑨ GALVANIZED WIRE, MIN. 12 GAUGE CABLE - TWIST WIRE ONLY TO KEEP FROM SLIPPING.
- ⑩ 4-6" HIGH WATER SAUCER IN NON-TURF AREAS.
- ⑪ BACKFILL WITH BLEND OF EXISTING SOIL AND A MAXIMUM 20% (BY VOLUME) ORGANIC MATERIAL. WATER THOROUGHLY WHEN BACKFILLING
- ⑫ 2 FT. STEEL T-POST. ALL SHALL BE DRIVEN BELOW GRADE AND OUTSIDE ROOTBALL IN UNDISTURBED SOIL.
- ⑬ PLACE SOIL AROUND ROOT BALL FIRMLY, DO NOT COMPACT OR TAMP. SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS.
- ⑭ PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT.

③ TREE PLANTING DETAIL

SCALE: 3/16" = 1'-0"

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 14034 SOUTH 145th EAST
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NOT FOR CONSTRUCTION

DATE:
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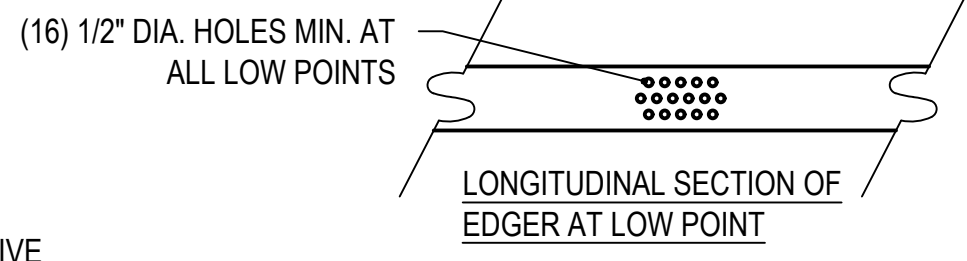
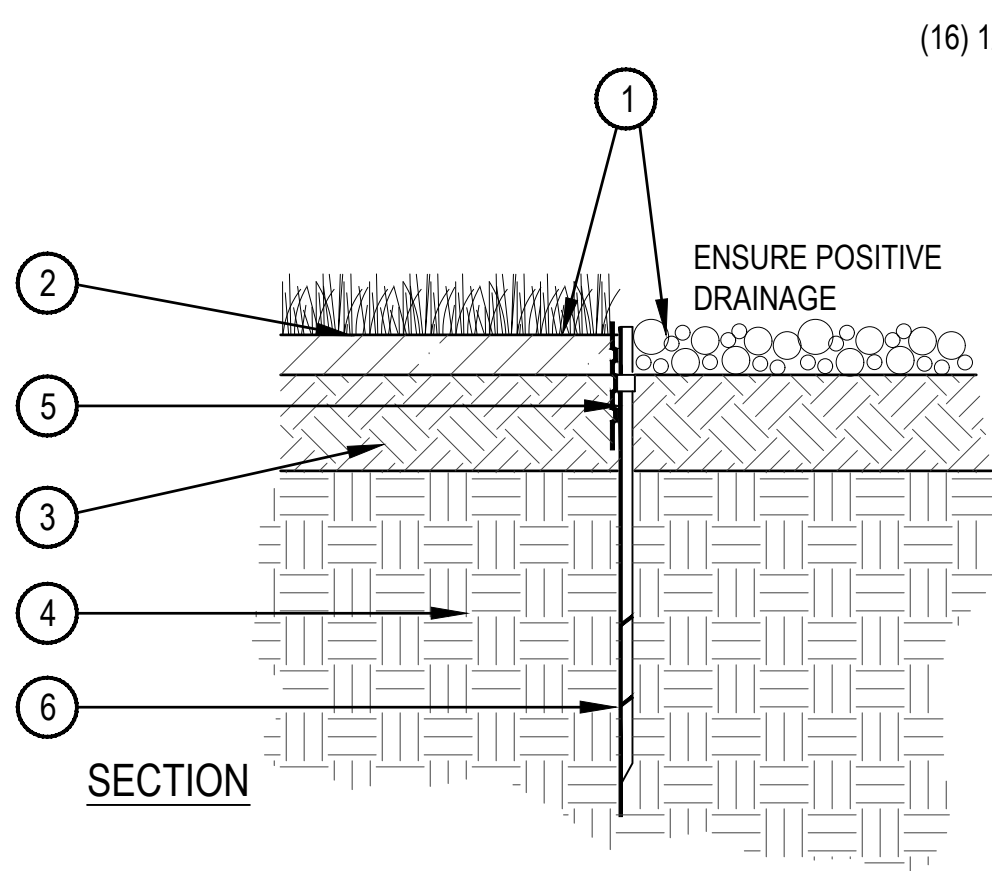
SHEET TITLE:
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SHEET NUMBER:
 L-24

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CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

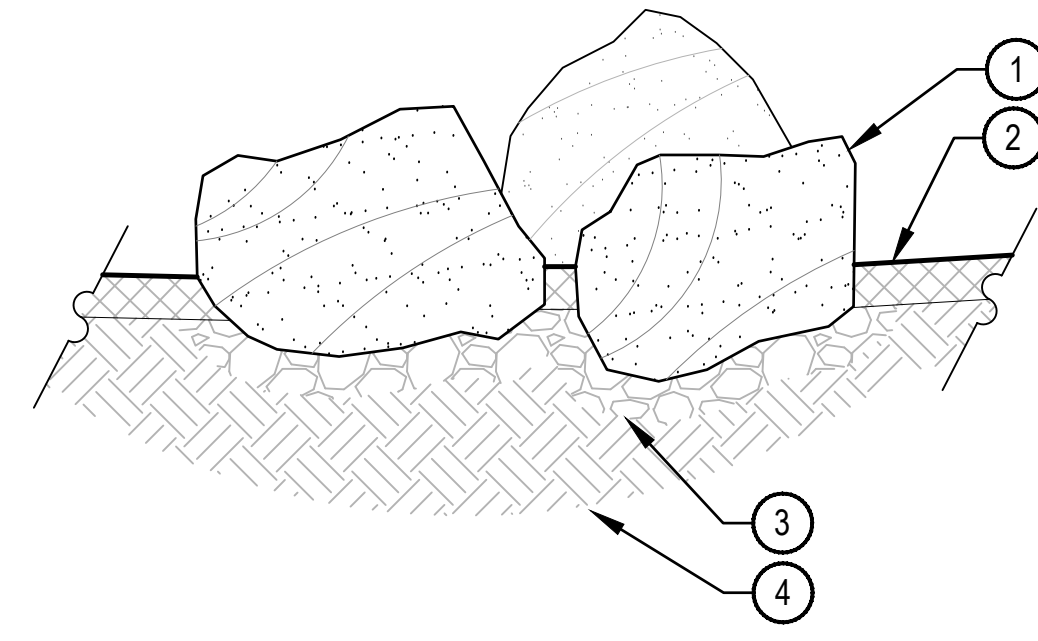


- ① FINISHED GRADE - TOP OF SOD THATCH LAYER AND TOP OF MULCH OR NATIVE SEED SHALL BE FLUSH WITH TOP OF EDGER
- ② TURF THATCH
- ③ AMENDED SOIL PER SPECIFICATIONS
- ④ COMPACTED SUBGRADE
- ⑤ METAL EDGER, BLACK POWDERCOATED RYERSON OR APPROVED EQUAL - DRILL (16) 1/2" DIA. HOLES 1" O.C. MIN. AT ALL LOW POINTS OR POORLY DRAINING AREAS IN ORDER TO ENSURE ADEQUATE DRAINAGE
- ⑥ STAKE PER MANUFACTURER SPECIFICATION

- NOTES:
1. THERE SHALL BE NO EXPOSED SHARP / JAGGED EDGES.
 2. CONTRACTOR SHALL INSTALL STAKES AS REQUIRED BY THE MANUFACTURER.

① METAL EDGER

SCALE: 1" = 1'-0"



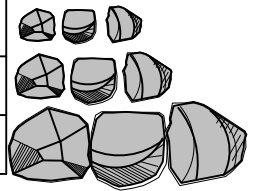
- ① BUFF SANDSTONE BOULDERS FROM ON-SITE OR NEARBY QUARRY, BOULDER SHOULD BE SIMILAR TO ROCK FOUND THROUGHOUT SITE
- ② SPECIFIED MULCH OR SOIL FLUSH TO EDGE OF BOULDER, RE: PLAN
- ③ AMENDED TOPSOIL
- ④ BURY BOULDER 1/4 OF HEIGHT FOR NATURAL APPEARANCE
- ⑤ 4" MIN. COMPACTED AGGREGATE BASE COURSE

- NOTES:
1. REFER TO PLANS FOR LOCATIONS.
 2. BOULDERS SHALL MEET OR EXCEED SIZE REQUIREMENTS

② LANDSCAPE BOULDER

SCALE: 1/2" = 1'-0"

BOULDER SIZES	
ITEM	SIZE
'A' SIZED BOULDER	24 - 30" DIAMETER X 18" MIN. HT.
'B' SIZED BOULDER	30 - 48" DIAMETER X 24" MIN. HT.
'C' SIZED BOULDER	48 - 60" DIAMETER X 24" MIN. HT.



CLEAR CREEK TRANSIT VILLAGE
 FINAL DEVELOPMENT PLAN
 IN THE COUNTY OF ADAMS, STATE OF COLORADO

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 14034 SOUTH 145th EAST
 DRAPER, UT 84020

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DATE:
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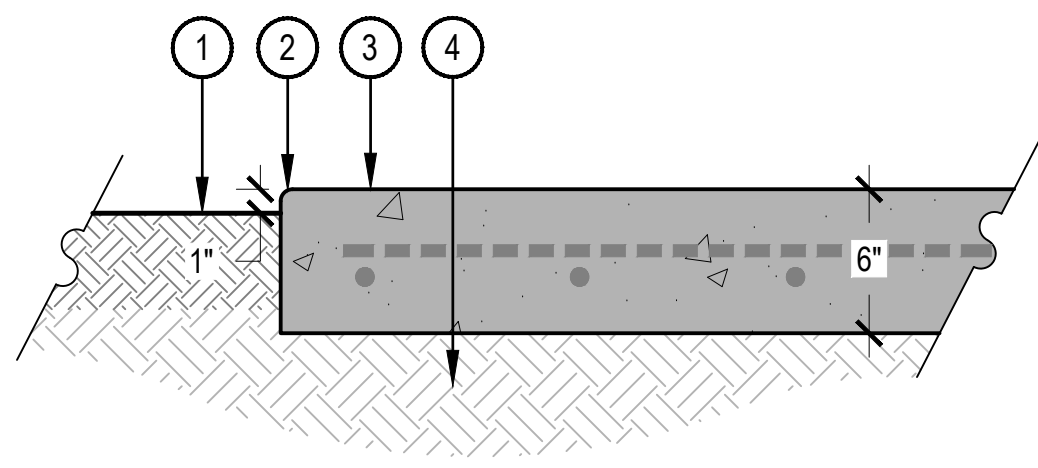
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LANDSCAPE
DETAILS

SHEET NUMBER:
L-25

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CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

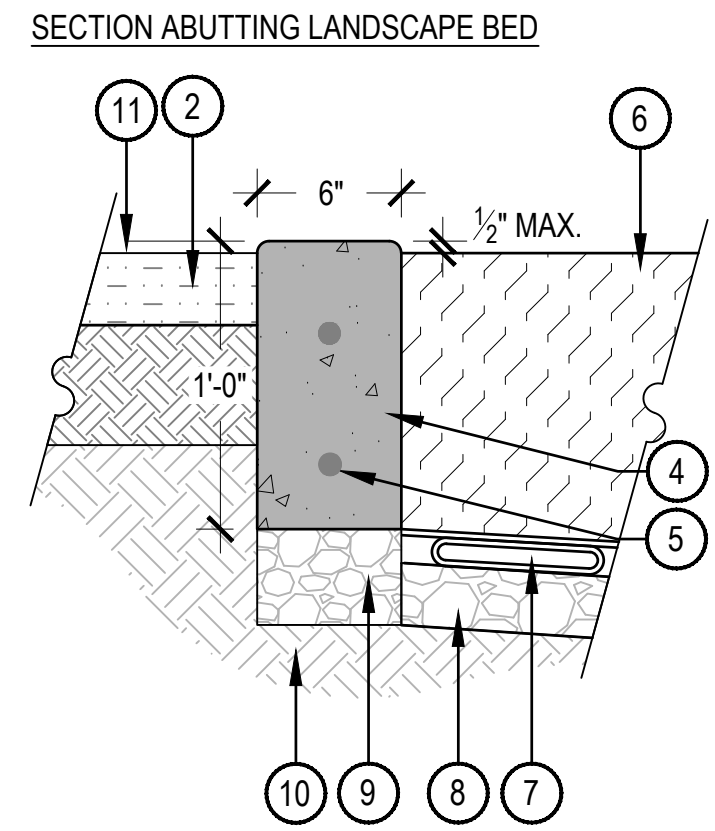
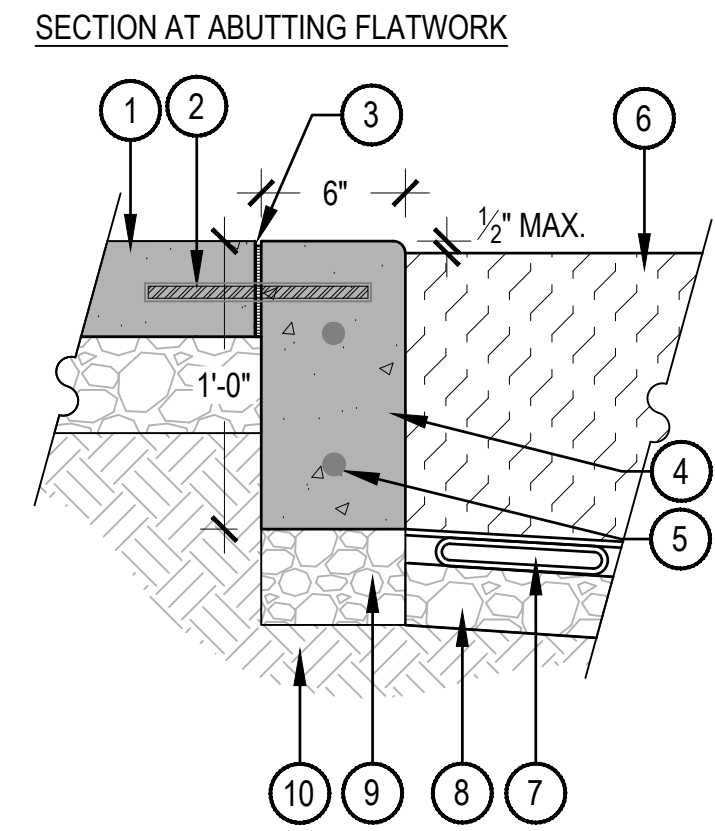


- ① ADJACENT LANDSCAPE, REFER TO PLANS
- ② 1" RADIUS ON ALL EDGES OF CONCRETE SLAB
- ③ CAST IN PLACE CONCRETE SLAB WITH FIBER MESH FABRIC REINFORCING
- ④ SUBGRADE COMPACTED TO 95% STANDARD PROXY DENSITY

- NOTES:**
1. CONTROL JOINTS 4'-0" O.C. EACH WAY UNLESS INDICATED OTHERWISE ON PLANS.
 2. PROVIDE A 1" REVEAL FOR ALL ADJACENT GROUND PLANE TREATMENTS UNLESS OTHERWISE NOTED.
 3. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 / 4,000 PSI. AT 28 DAYS, UNLESS OTHERWISE STATED BY A LICENSED ENGINEER.
 4. STEEL REINFORCEMENT TO BE INCLUDED PER SPECIFICATIONS BY STRUCTURAL ENGINEER.

① CONCRETE SLAB

SCALE: 1 1/2" = 1'-0"

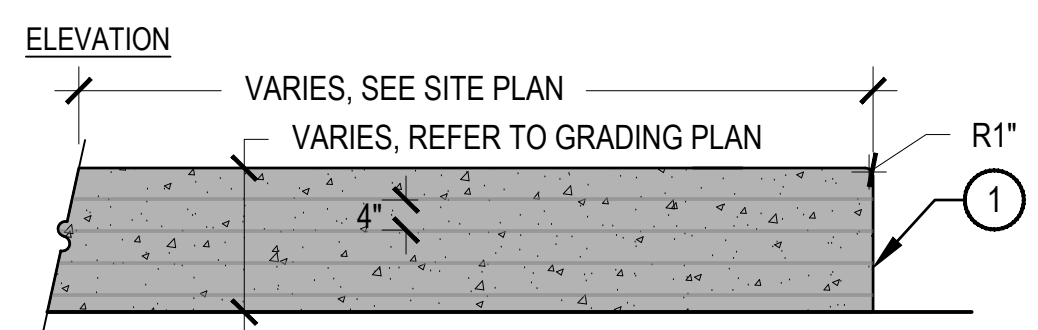


- NOTES:**
1. ALL CONCRETE SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 2,500 / 4,000 PSI AT 28 DAYS.
 2. SCORE JOINTS SHALL BE 5'-0" ON CENTER AND RUN THROUGH TOP AND SIDES OF CURB.
 3. POUR IN PLACE RUBBER PLAYGROUND SURFACING TO BE DESIGNED AND INSTALLED BY PLAY EQUIPMENT REPRESENTATIVE.
 4. DRAIN TILE SYSTEM TO BE DESIGNED AND INSTALLED BY PLAY EQUIPMENT REPRESENTATIVE.

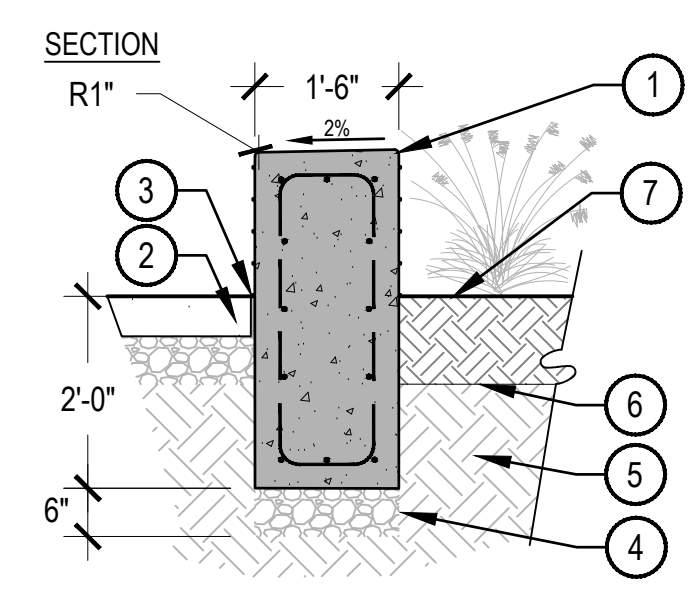
- ① ADJACENT PAVING, REFER TO LANDSCAPE PLANS
- ② 4" EXPANSION DOWEL 18" O.C.
- ③ EXPANSION JOINT
- ④ CONCRETE CURB
- ⑤ (2) #4 REBAR 24" ON CENTER
- ⑥ POUR IN PLACE RUBBER PLAYGROUND SURFACING
- ⑦ DRAIN TILE, SEE NOTES
- ⑧ 3/4" CLEAN WASHED AGGREGATE
- ⑨ 4" COMPACTED AGGREGATE BASE
- ⑩ COMPACTED SUBGRADE TO 95% STANDARD PROCTOR DENSITY
- ⑪ ADJACENT LANDSCAPE, REFER TO LANDSCAPE PLANS

② CONCRETE PLAYGROUND CURB

SCALE: 1 1/2" = 1'-0"



- ① CAST IN PLACE, 4" BOARD FORM FINISH, CONCRETE SEAT WALL. TOP OF WALL TO BE SMOOTH FINISH WITH 2% CROSS SLOPE
- ② ADJACENT PAVING. SEE PLAN
- ③ 1/2" EXPANSION JOINT. CAULK TO MATCH CONCRETE COLOR.
- ④ COMPACTED AGGREGATE BASE
- ⑤ COMPACTED SUBGRADE
- ⑥ AMENDED TOP SOIL
- ⑦ ADJACENT LANDSCAPE. REFER TO PLANS



- NOTES:**
1. CONTRACTOR TO HAVE STRUCTURAL ENGINEER TO REVIEW AND APPROVE FOOTING AND STEEL REINFORCEMENT PRIOR TO CONSTRUCTION.
 2. NORRIS DESIGN TO APPROVE MOCK-UP IN FIELD PRIOR TO CONSTRUCTION.

③ CONCRETE SEAT WALL

SCALE: 1/2" = 1'-0"

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 14034 SOUTH 145th EAST
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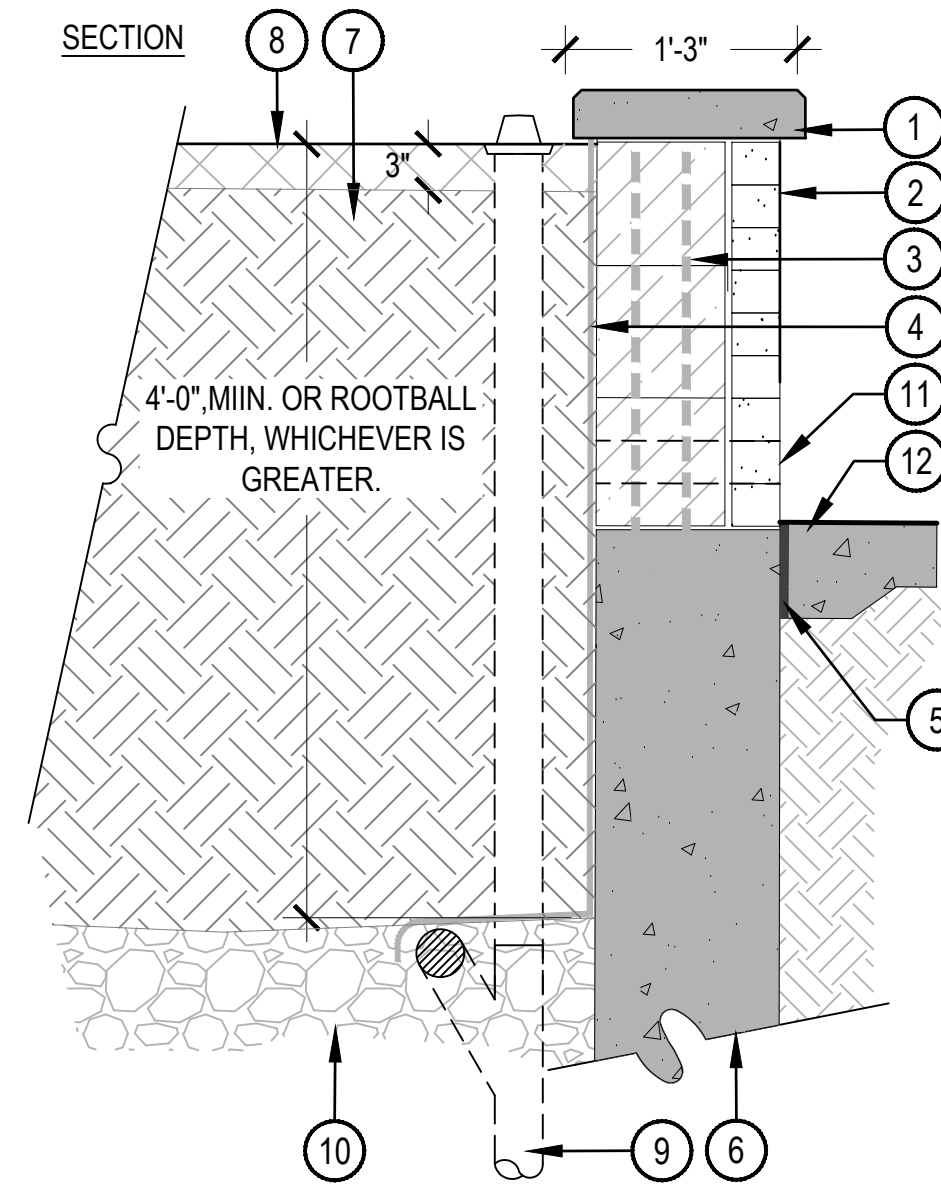
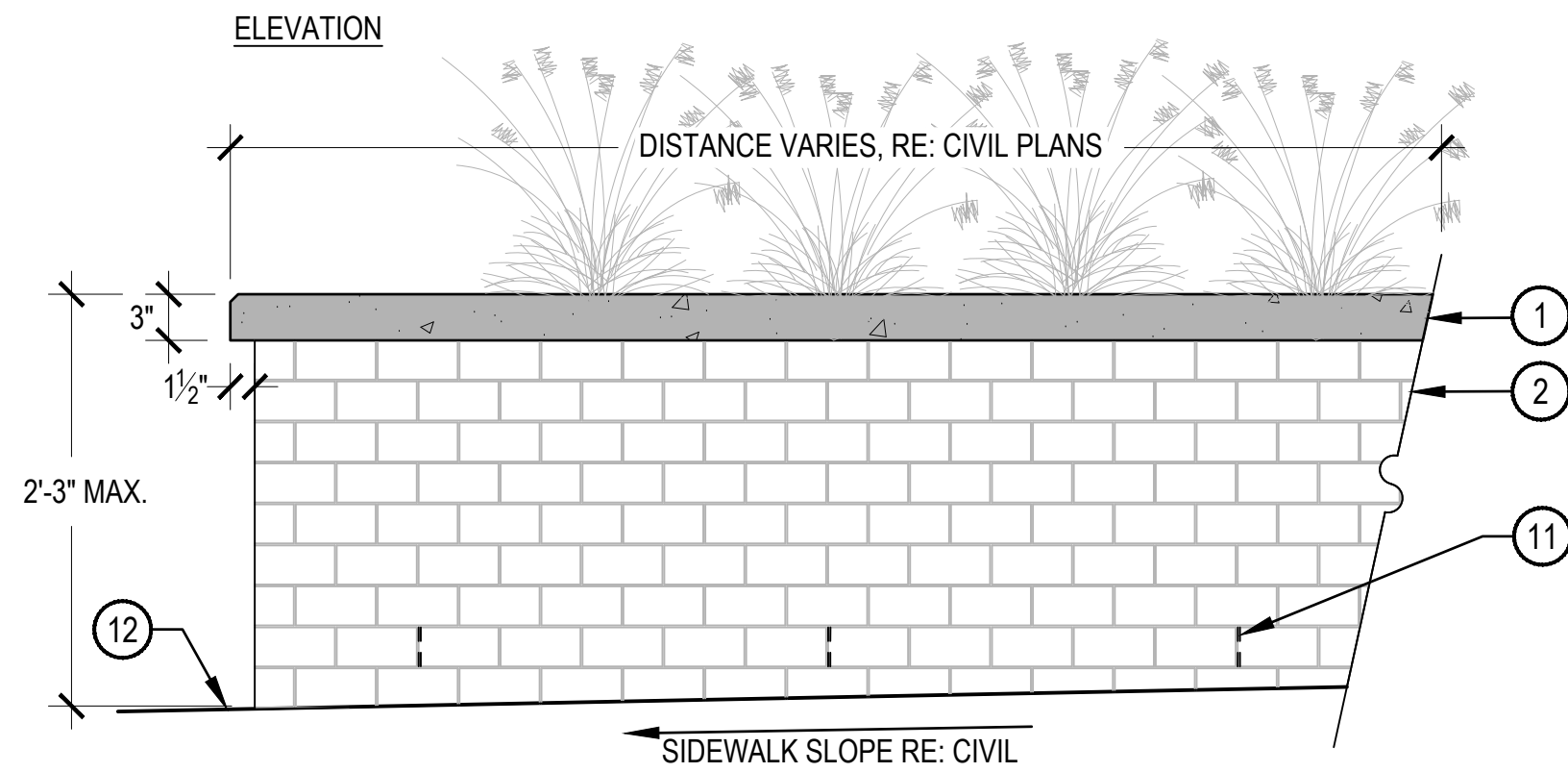
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SHEET NUMBER:
 L-26

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 FILENAME:

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

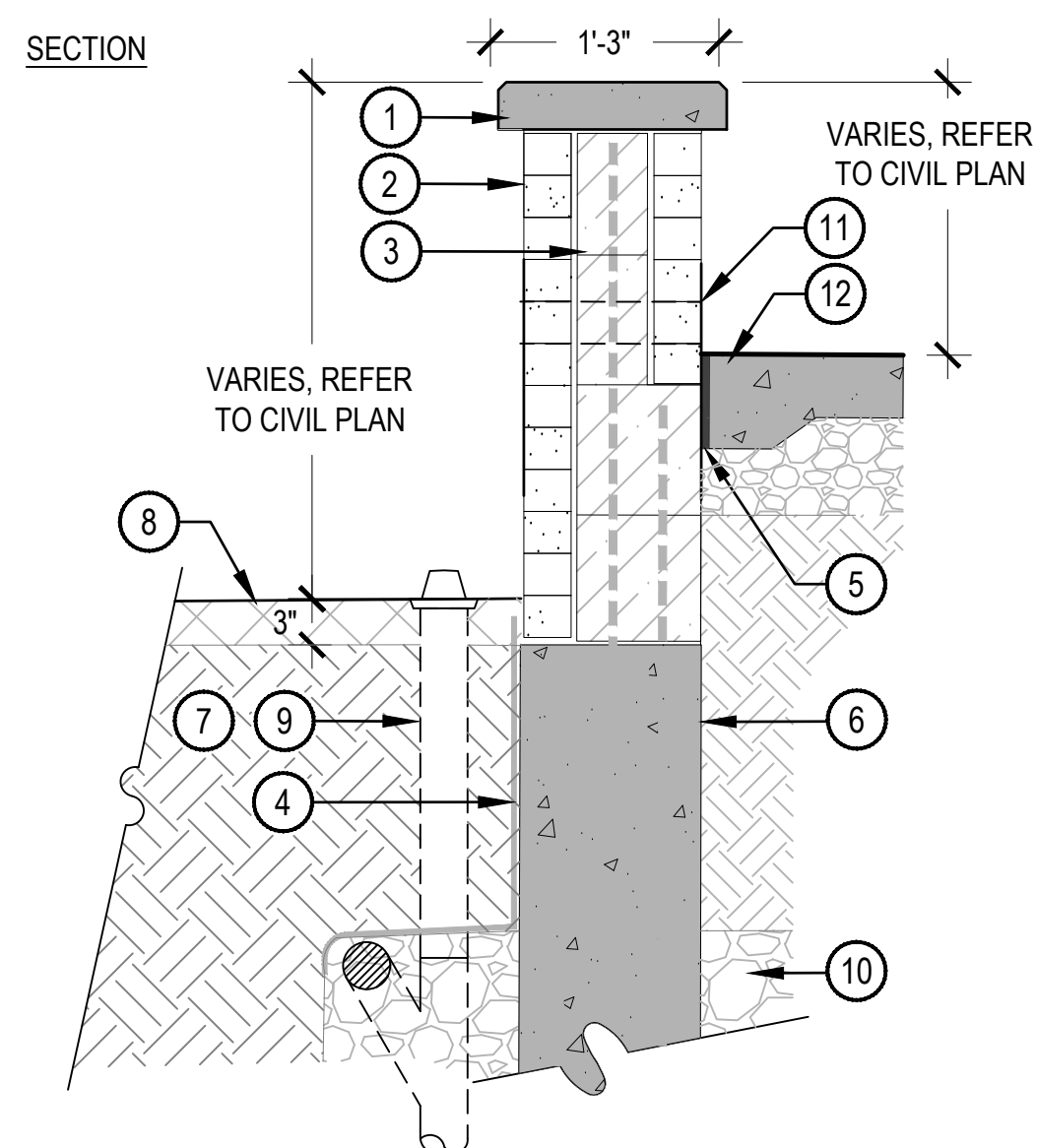


- ① PRECAST CONCRETE CAP TO MATCH ARCHITECTURE
- ② BRICK VENEER AND MORTAR JOINTING TO MATCH ARCHITECTURE, REFER TO ARCH PLANS
- ③ CMU BLOCK WALL WITH STEEL REINFORCEMENT, FULLY MORTARED
- ④ WATERPROOF LINER, SEE NOTES
- ⑤ PROVIDE EXPANSION JOINT WHERE ABUTTING HARDSCAPE
- ⑥ CONCRETE WALL FOOTING, PER STRUCTURAL ENGINEER
- ⑦ AMENDED PLANTING TOPSOIL, REFER TO PLANTING DETAILS
- ⑧ LANDSCAPE MULCH PER LANDSCAPE PLAN
- ⑨ OVERFLOW DRAIN WITH FILTER CAP AND SUBSURFACE PERFORATED PIPE DRAIN PER CIVIL ENGINEER PLANS
- ⑩ SUBGRADE PER STRUCTURAL ENGINEER
- ⑪ WEEP ABOVE FINISHED GRADE
- ⑫ FINISHED GRADE

NOTES:
1. REFER TO CIVIL PLAN FOR WALL LAYOUT.
2. REFER TO CIVIL ENGINEER FOR DRAIN LOCATIONS.

1 LANDSCAPE WALL - STREETSCAPE

SCALE: 1" = 1'-0"

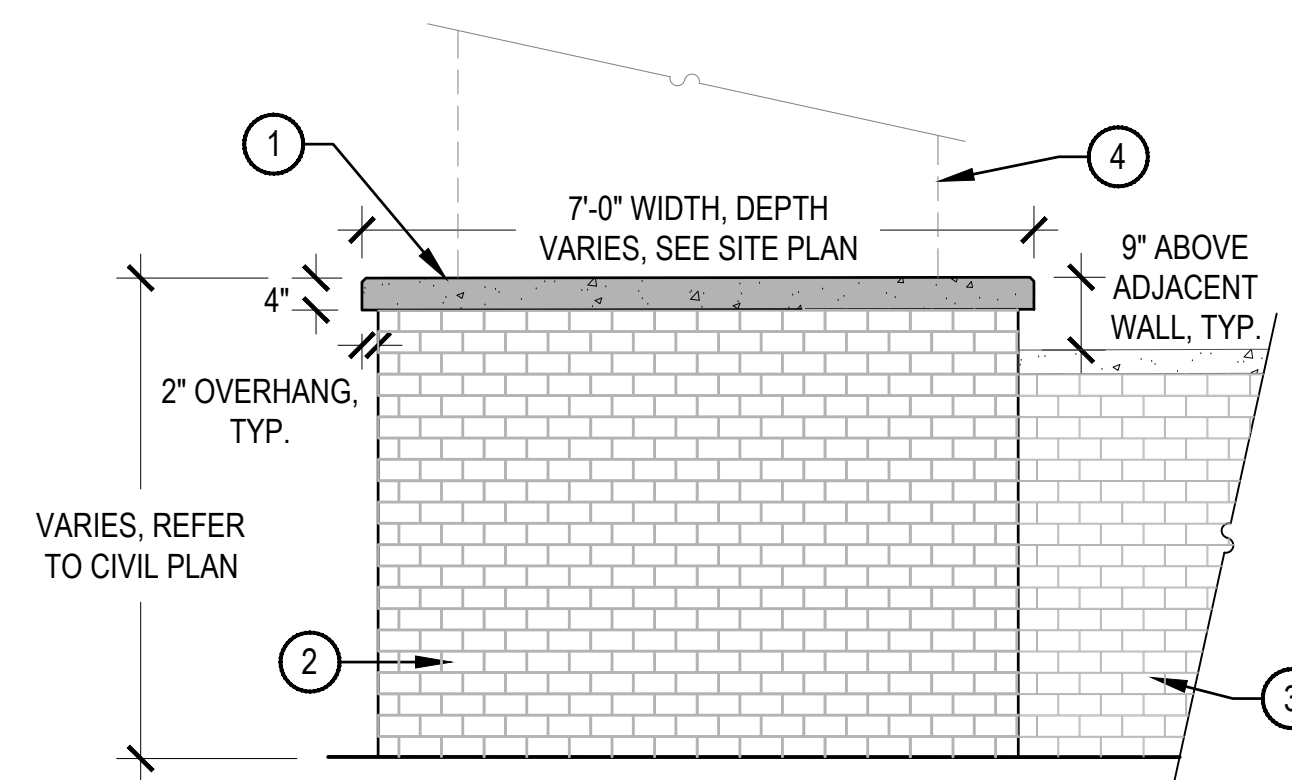


- ① PRECAST CONCRETE CAP TO MATCH ARCHITECTURE
- ② BRICK VENEER AND MORTAR JOINTING TO MATCH ARCHITECTURE, REFER TO ARCH PLANS
- ③ CMU BLOCK WALL WITH STEEL REINFORCEMENT, FULLY MORTARED
- ④ WATERPROOF LINER, SEE NOTES
- ⑤ PROVIDE EXPANSION JOINT WHERE ABUTTING HARDSCAPE
- ⑥ CONCRETE WALL FOOTING, PER STRUCTURAL ENGINEER
- ⑦ AMENDED PLANTING TOPSOIL, REFER TO PLANTING DETAILS
- ⑧ MULCH, SEE MATERIAL SCHEDULE
- ⑨ OVERFLOW DRAIN WITH FILTER CAP AND SUBSURFACE PERFORATED PIPE DRAIN PER CIVIL ENGINEER PLANS
- ⑩ SUBGRADE PER STRUCTURAL ENGINEER
- ⑪ WEEP ABOVE FINISHED GRADE
- ⑫ FINISHED GRADE

NOTES:
1. REFER TO CIVIL PLAN FOR WALL LAYOUT.
2. REFER TO CIVIL ENGINEER FOR DRAIN LOCATIONS.

2 LANDSCAPE WALL - STREETSCAPE PARAPET

SCALE: 1" = 1'-0"



NOTES:
1. REFER TO CIVIL PLAN FOR WALL LAYOUT.
2. REFER TO CIVIL ENGINEER FOR DRAIN LOCATIONS.
3. WALL STRUCTURE, WEEP/DRAINAGE AND FOOTING PER STRUCTURAL ENGINEER.

3 MONUMENT PEDESTAL

SCALE: 1/2" = 1'-0"

- ① PRECAST CONCRETE CAP TO MATCH ARCHITECTURE
- ② BRICK VENEER AND MORTAR JOINTING TO MATCH ARCHITECTURE, REFER TO ARCH PLANS
- ③ ABUTTING WALL, REFER TO SITE PLAN FOR LAYOUT AND ELEVATIONS
- ④ PROJECT IDENTITY SIGN LOCATION

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
CLEAR CREEK VILLAGE, LLC
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14034 SOUTH 145th EAST
DRAPER, UT 84020

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CONSTRUCTION

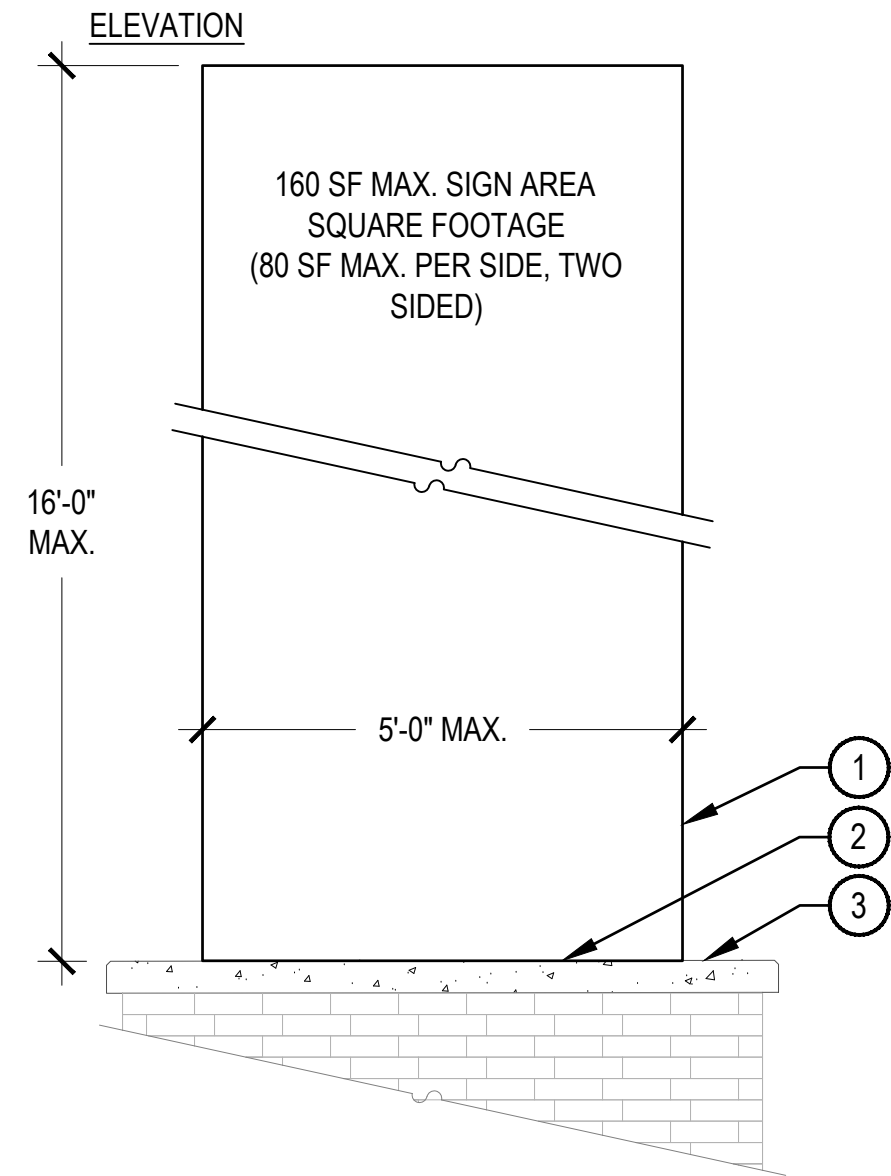
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FDP-01-03/16/2023

SHEET TITLE:
LANDSCAPE
DETAILS

SHEET NUMBER:
L-27

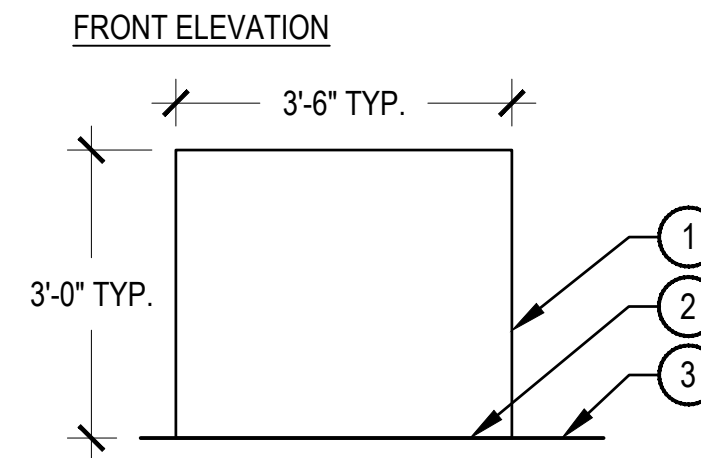
CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



- ① PROJECT IDENTITY SIGN
- ② SIGN STRUCTURE AND FOOTING, SEE NOTES
- ③ MONUMENT PEDESTAL, SEE DETAIL

- NOTES:**
1. FINAL PROJECT IDENTITY SIGN SHALL BE DEVELOPED PER SIGN MANUFACTURER SHOP DRAWINGS, TO MEET THE PDP REQUIREMENTS;
 - 1.1. TO DISPLAY PROJECT AND TENANT LOGOS/SIGNAGE, DIRECTIONAL INFORMATION, OR GENERAL SEASONAL/EVENT RELATED INFORMATION
 - 1.2. MATERIALS TO BE STONE AND/OR CONCRETE WITH METAL ACCENT.
 2. PROJECT IDENTITY SIGN STRUCTURE, FOOTING, AND LIGHTING PER SIGN MANUFACTURER ENGINEERED SHOP DRAWINGS.
 3. LETTERING, FONT, AND TEXT TO BE REVIEWED AND APPROVED BY OWNERSHIP REPRESENTATIVE WITH SIGN MANUFACTURER.

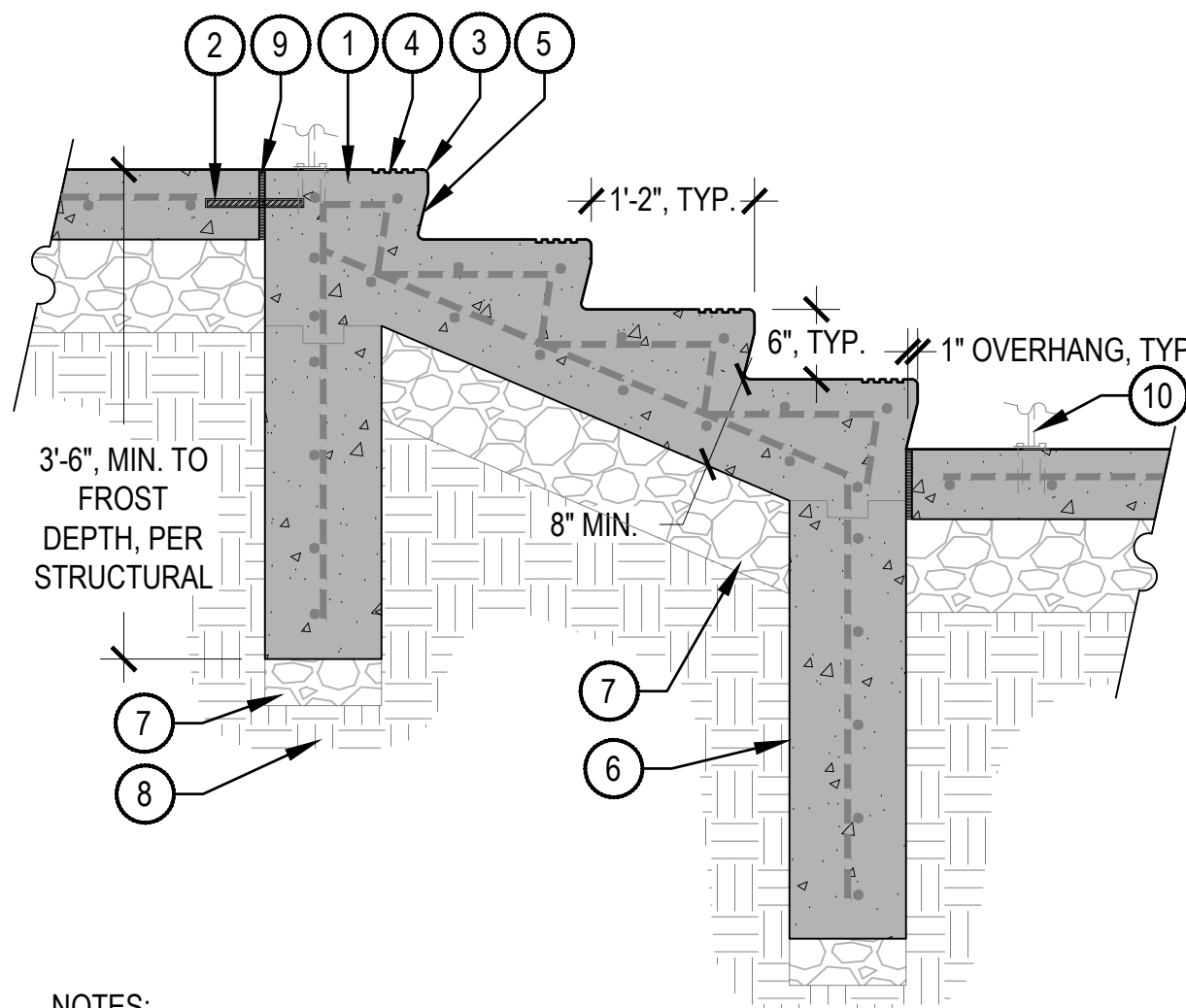


- ① PROJECT INFORMATION SIGN
- ② SURFACE MOUNT, SEE NOTES
- ③ FINISHED GRADE

- NOTES:**
1. PROJECT INFORMATION SIGN SHALL BE DEVELOPED PER SIGN MANUFACTURER SHOP DRAWINGS, TO MEET THE PDP REQUIREMENTS;
 - 1.1. TO CONVEY PROJECT RELATED MESSAGES OR INFORMATION REGARDING EVENTS, USES AND SERVICES.
 - 1.2. MATERIALS METAL, CONCRETE, OR OTHER MATERIALS TO ALIGN WITH ARCHITECTURAL MATERIAL AND COLORS.
 2. SURFACE MOUNT AND LIGHTING PER SIGN MANUFACTURER ENGINEERED SHOP DRAWINGS.
 3. LETTERING, FONT, AND TEXT TO BE REVIEWED AND APPROVED BY OWNERSHIP REPRESENTATIVE WITH SIGN MANUFACTURER.

① COMMUNITY IDENTITY SIGNAGE

SCALE: 1/2" = 1'-0"



- ① CONCRETE STAIRS WITH STEEL REINFORCEMENT, SEE NOTES
- ② 4" EXPANSION DOWEL 18" O.C.
- ③ 1/2" RADIUS EDGE
- ④ 1/4" D X 3" W LINEAR TREAD SAFETY SCORING
- ⑤ 1" DEPTH TOE KICK
- ⑥ CONCRETE STEM WALL, SEE NOTES
- ⑦ COMPACTED AGGREGATE BASE, SEE NOTES
- ⑧ COMPACTED SUBGRADE TO 95% PROCTOR DENSITY
- ⑨ EXPANSION JOINT AT ABUTTING HARDSCAPE, SEE NOTES
- ⑩ HANDRAIL, REFER TO DETAIL

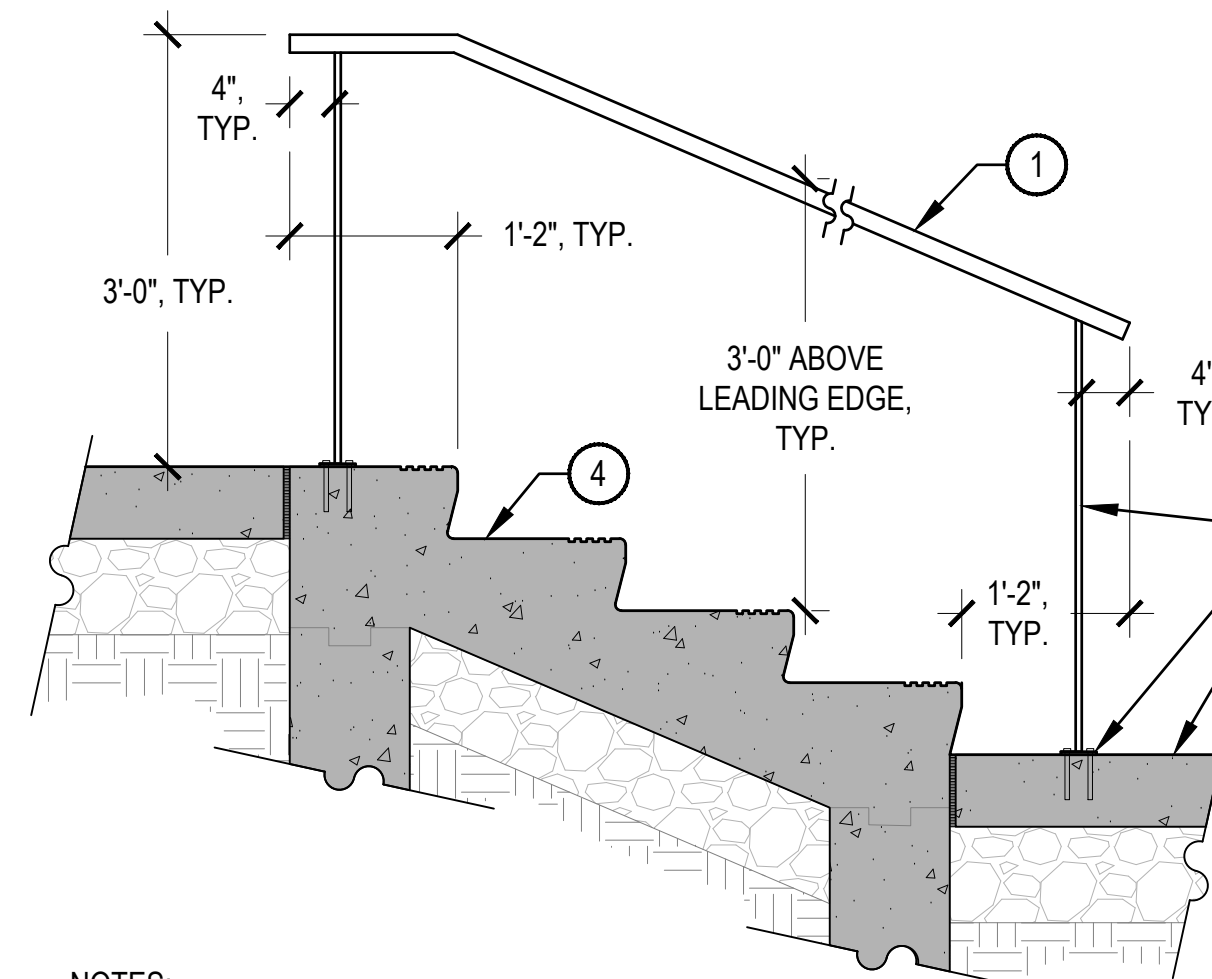
- NOTES:**
1. REFER TO SITE PLAN AND GRADING FOR TOTAL NUMBER OF STEPS AND STAIR LAYOUT.
 2. STAIR CONCRETE, STEEL REINFORCEMENT, STEM WALL DEPTH, AND AGGREGATE BASE PER STRUCTURAL ENGINEER.
 3. REFER TO SITE PLAN AND LANDSCAPE PLAN FOR ABUTTING CONDITIONS.

③ LANDSCAPE STAIRS

SCALE: 3/4" = 1'-0"

② COMMUNITY INFORMATION SIGNAGE

SCALE: 1/2" = 1'-0"



- ① METAL TUBE HANDRAIL WITH CAPPED ENDS, SEE NOTES
- ② 1-1/2" W X 1/2" METAL BAR POST AT TOP AND BOTTOM, ADDITIONAL POSTS ON EQUAL SPACING EVERY 4TH STAIR IF MORE THAN FOUR STAIRS, SEE NOTES
- ③ SURFACE MOUNTING BRACKET FULLY WELDED, WITH ZINC PLATED MOUNTING HARDWARE, EPOXY SET
- ④ LANDSCAPE STAIRS, REFER TO DETAIL AND SITE PLAN
- ⑤ ABUTTING FLATWORK, REFER TO DETAIL AND SITE PLAN

- NOTES:**
1. REFER TO SITE PLAN AND GRADING FOR TOTAL NUMBER OF STEPS AND STAIR LAYOUT. LENGTH OF HANDRAIL VARIES PER NUMBER OF STAIRS.
 2. REFER TO SITE PLAN AND LANDSCAPE PLAN FOR ABUTTING CONDITIONS.
 3. FINAL MATERIALS, FINISHES AND LAYOUT PER HANDRAIL FABRICATOR SHOP DRAWINGS

④ STAIR HANDRAIL

SCALE: 3/4" = 1'-0"

CLEAR CREEK TRANSIT VILLAGE
 FINAL DEVELOPMENT PLAN
 IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
 CLEAR CREEK VILLAGE, LLC
 THISTLE CREEK QOF I, L.P.
 14034 SOUTH 145th EAST
 DRAPER, UT 84020

NOT FOR CONSTRUCTION

DATE:
FDP-01-03/16/2023

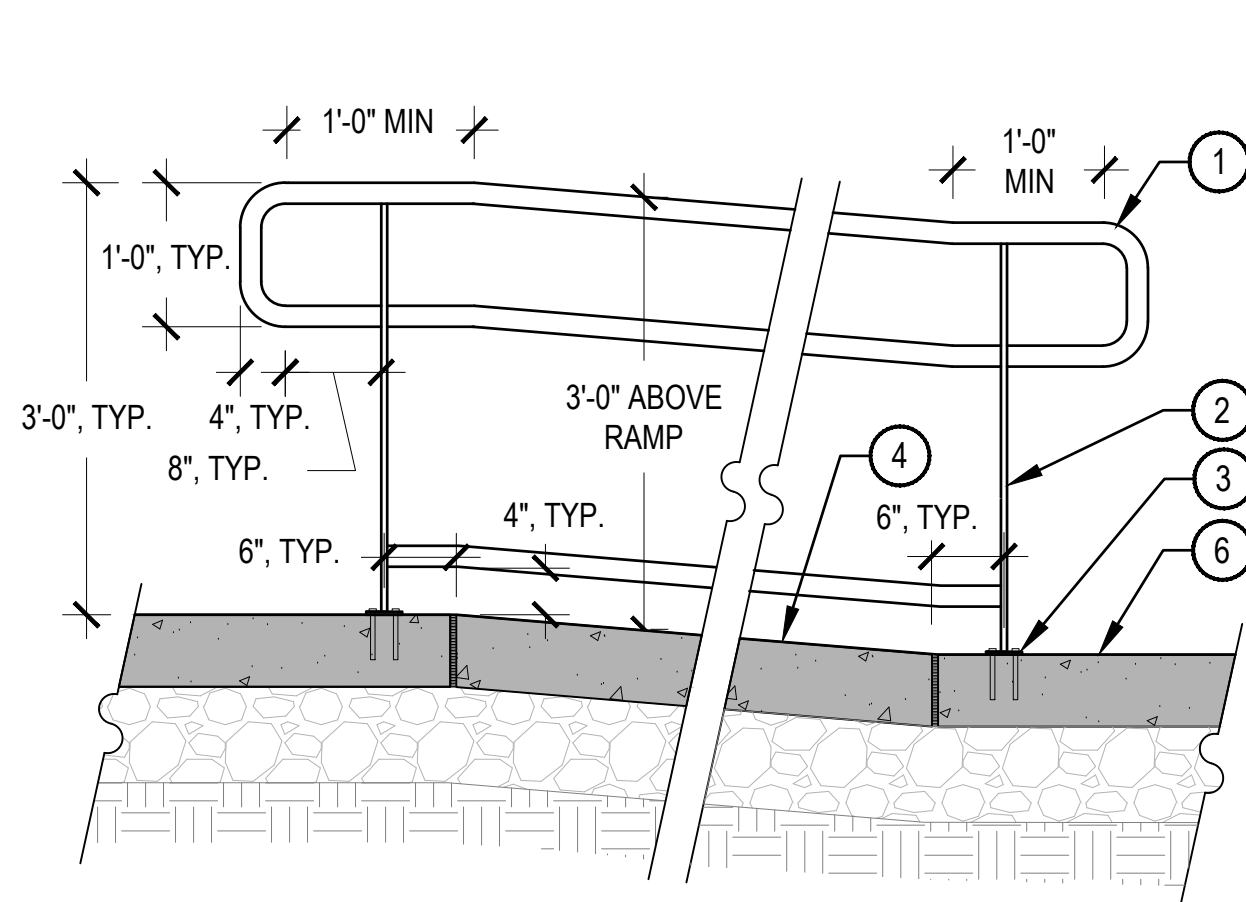
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LANDSCAPE DETAILS

SHEET NUMBER:
L-28

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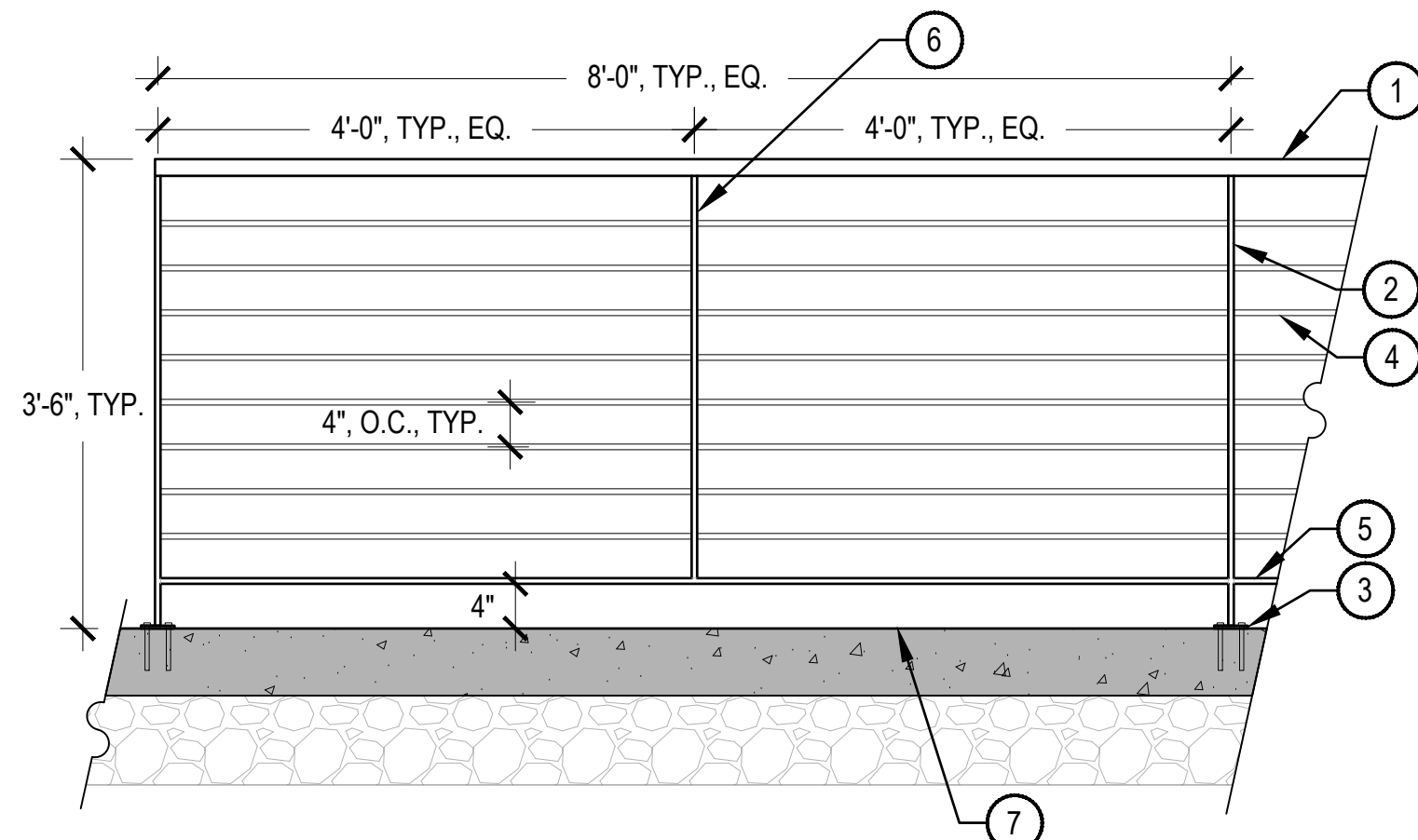
- ① 1.5" O.D. METAL TUBE HANDRAIL WITH CAPPED ENDS, SEE NOTES
- ② 1-1/2" W X 1/2" METAL BAR POST AT TOP AND BOTTOM, WITH ADDITIONAL POSTS ON EQUAL SPACING EVERY 5'-0" MAX.
- ③ SURFACE MOUNTING BRACKET FULLY WELDED, WITH ZINC PLATED MOUNTING HARDWARE, EPOXY SET
- ④ ADA RAMP, REFER TO DETAIL AND SITE PLAN
- ⑤ 1.5" O.D. METAL TUBE GUIDE RAIL AT 4" ABOVE FINISHED GRADE
- ⑥ ABUTTING FLATWORK, REFER TO DETAIL AND SITE PLAN

NOTES:

1. REFER TO SITE PLAN AND GRADING FOR RAMP LENGTH AND LAYOUT.
2. REFER TO SITE PLAN AND LANDSCAPE PLAN FOR ABUTTING CONDITIONS.
3. FINAL MATERIALS, FINISHES AND LAYOUT PER HANDRAIL FABRICATOR SHOP DRAWINGS

① ADA RAMP HANDRAIL

SCALE: 3/4" = 1'-0"



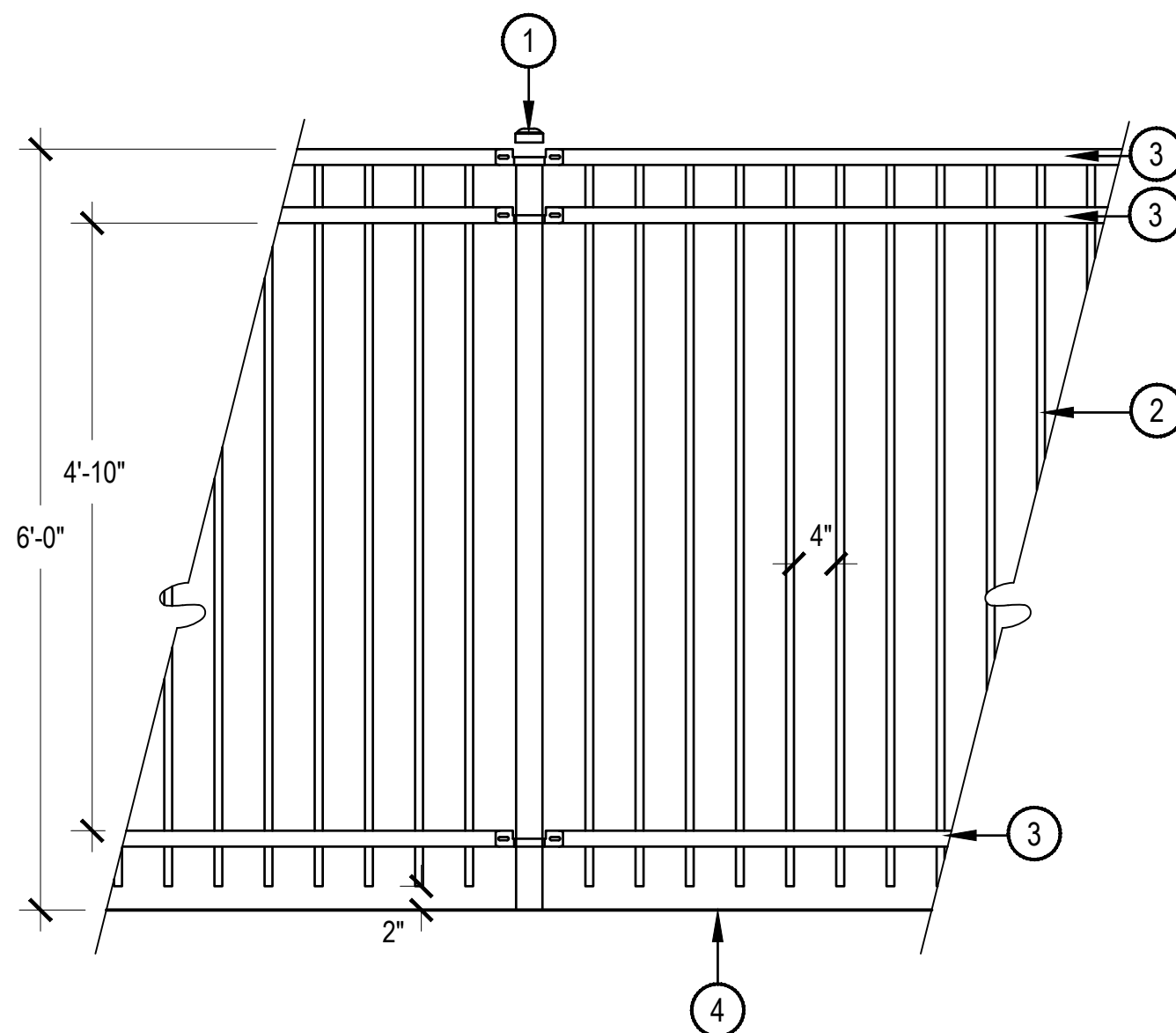
- ① METAL TOP RAIL WITH CAPPED ENDS, SEE NOTES
- ② 1-1/2" W X 1/2" METAL BAR POST
- ③ SURFACE MOUNTING BRACKET FULLY WELDED, WITH ZINC PLATED MOUNTING HARDWARE, EPOXY SET
- ④ 1/2" METAL ROD
- ⑤ 1-1/2" W X 1/2" METAL BAR BOTTOM RAIL
- ⑥ 1-1/2" W X 1/2" METAL BAR CENTER POST
- ⑦ ABUTTING FLATWORK, REFER TO DETAIL AND SITE PLAN

NOTES:

1. REFER TO SITE PLAN AND FOR LAYOUT. LENGTH AND LOCATIONS VARY.
2. REFER TO SITE PLAN AND LANDSCAPE PLAN FOR ABUTTING CONDITIONS.
3. FINAL MATERIALS, FINISHES AND LAYOUT PER HANDRAIL FABRICATOR SHOP DRAWINGS.

② GUARD RAIL

SCALE: 3/4" = 1'-0"



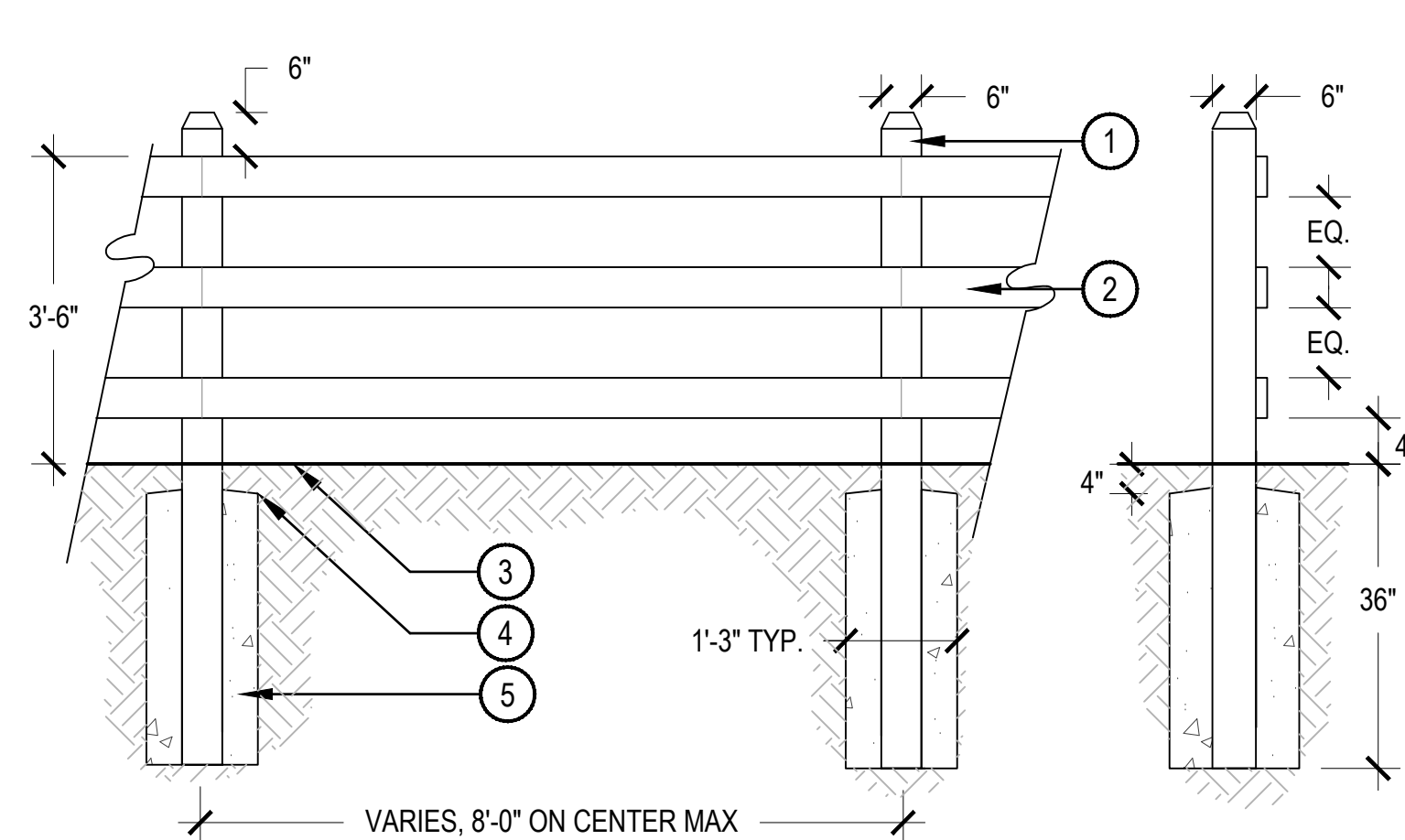
- ① 3", 12 GA. SQUARE STEEL TUBE FENCE POST WITH CAP - SET IN CONCRETE FOOTER, REFER TO FENCE SPECIFICATIONS FOR FOOTER INFORMATION
- ② 1", 14 GA. SQUARE STEEL PICKETS AT 4" SPACING
- ③ 1.75", 14 GA. SQUARE STEEL RAIL
- ④ FINISH GRADE

NOTES:

1. MFG.: AMERISTAR, MODEL: AEGIS II-MAJESTIC, OR APPROVED EQUAL.
2. CONCRETE FOOTING TO FROST DEPTH. FOOTING SPECIFICATION, DIMENSION, COMPACTION AND DRAINAGE PER FENCE MANUFACTURER.
3. FENCING SHALL BE RACKED ALONG SLOPES.

③ PERIMETER FENCE

SCALE: 3/4" = 1'-0"



- ① 1" CHAMFERED TOP, 6x6 CEDAR POST
- ② 2x6 CEDAR RAILS
- ③ FINISHED GRADE
- ④ SLOPE CONCRETE AWAY FROM POST
- ⑤ CONCRETE FOOTING

NOTES:

1. RAILS SHALL FACE EXTERIOR OF FENCE ENCLOSURE.
2. FASTEN RAILS WITH GALVANIZED SCREWS, SET FLUSH.
3. ALL WOOD SHALL BE ARCHITECT KNOTTY OR BETTER WESTERN RED CEDAR, STANDARD ROUGH SAWN, AND KILN-DRIED.

④ 3-RAIL FENCE

SCALE: 1/2" = 1'-0"

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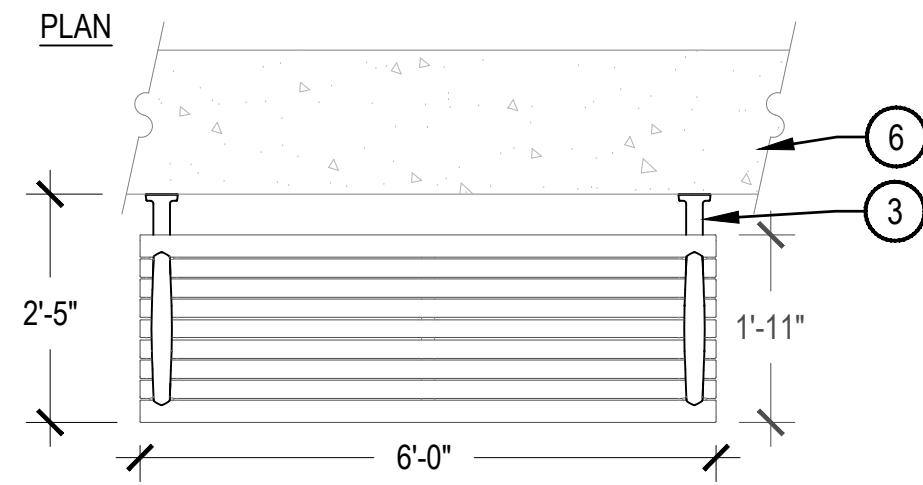
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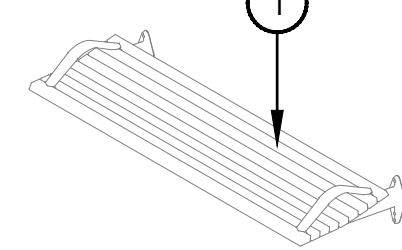
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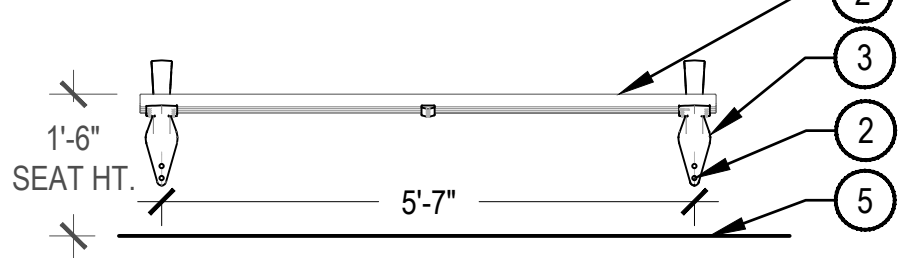


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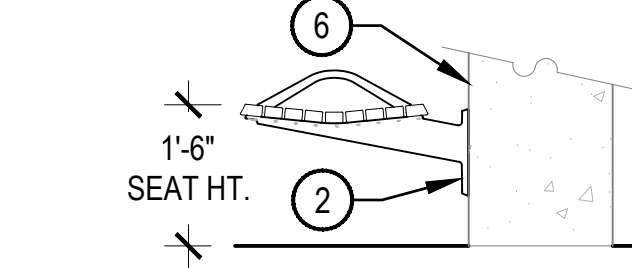


- ① WALL MOUNTED BENCH, SEE NOTES
- ② 1/2" DIA. WALL MOUNT HOLES (3 PER ARM), SEE NOTES
- ③ MOUNTING ARMS
- ④ BENCH SURFACE
- ⑤ FINISHED GRADE
- ⑥ LANDSCAPE WALL, REFER TO DETAIL

FRONT ELEVATION



SIDE ELEVATION

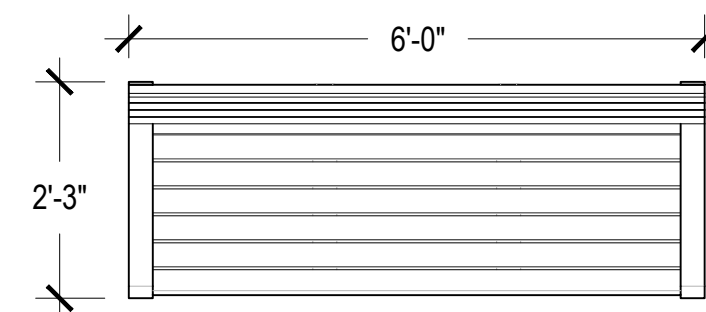


- NOTES:
1. MANUFACTURER: LANDSCAPE FORMS OR APPROVED EQUAL.
 2. MODEL: GENERATION 50 BENCH, BACKLESS ANGLE END ARMS, WALL MOUNT, ASH WITH POWDERCOAT ARMS, OR APPROVED EQUAL
 3. WALL MOUNT PER MANUFACTURER SPECIFICATIONS.
 4. REFER TO LANDSCAPE PLAN FOR FINAL LAYOUT.

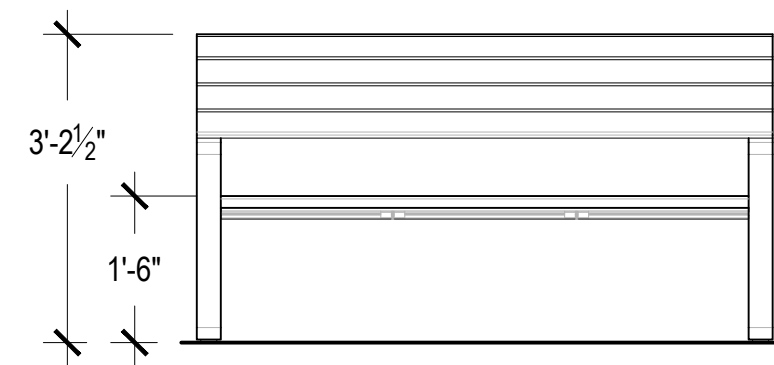
1 WALL MOUNTED BENCH

SCALE: 1/2" = 1'-0"

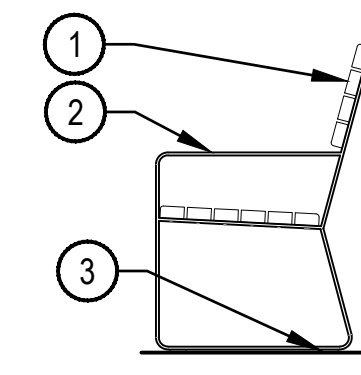
PLAN



FRONT ELEVATION



SIDE ELEVATION



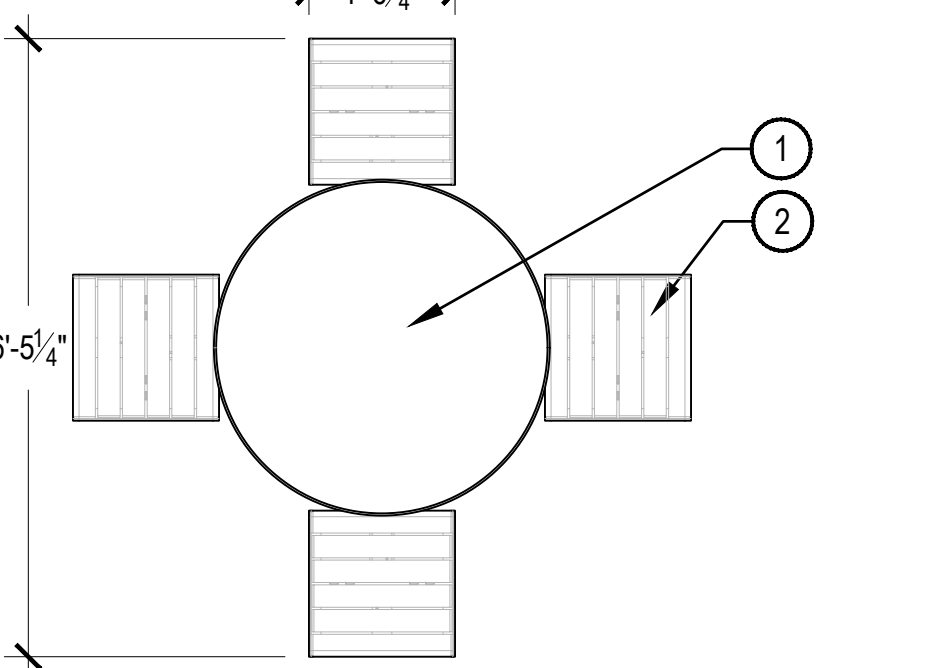
- ① THERMORY ASH BENCH SLATS
- ② METAL FRAME WITH POWDERCOAT FINISH
- ③ MOUNTING GLIDE WITH 1/2" MOUNTING HOLE, SEE NOTES

- NOTES:
1. MANUFACTURER: SITE PIECES OR APPROVED EQUAL.
 2. MODEL: ML-BENCH OR APPROVED EQUAL
 3. SURFACE MOUNT PER MANUFACTURER SPECIFICATIONS.
 4. REFER TO LANDSCAPE PLAN FOR FINAL PLACEMENT

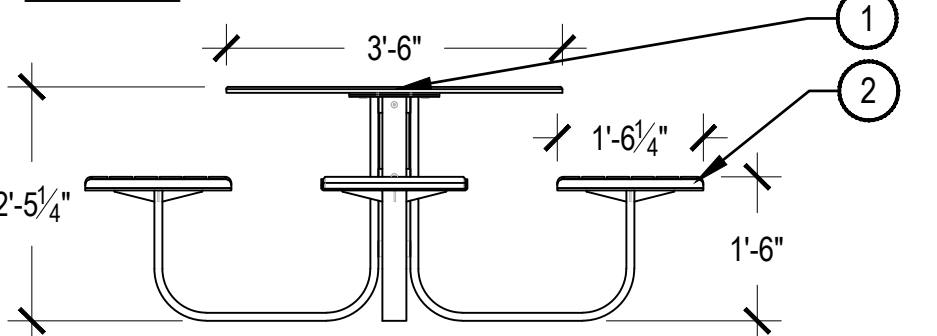
2 BACKED BENCH

SCALE: 1/2" = 1'-0"

PLAN



ELEVATION



- NOTES:
1. MANUFACTURER: SITE PIECES OR APPROVED EQUAL
 2. MODEL: MONOLINE CAROUSEL TABLE OR APPROVED EQUAL
 3. METAL OR APPROVED EQUAL
 4. SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS
 5. 4 SEAT AND 3 SEAT ADA OPTIONS, REFER TO LANDSCAPE PLAN FOR LOCATIONS OF EACH TYPE.

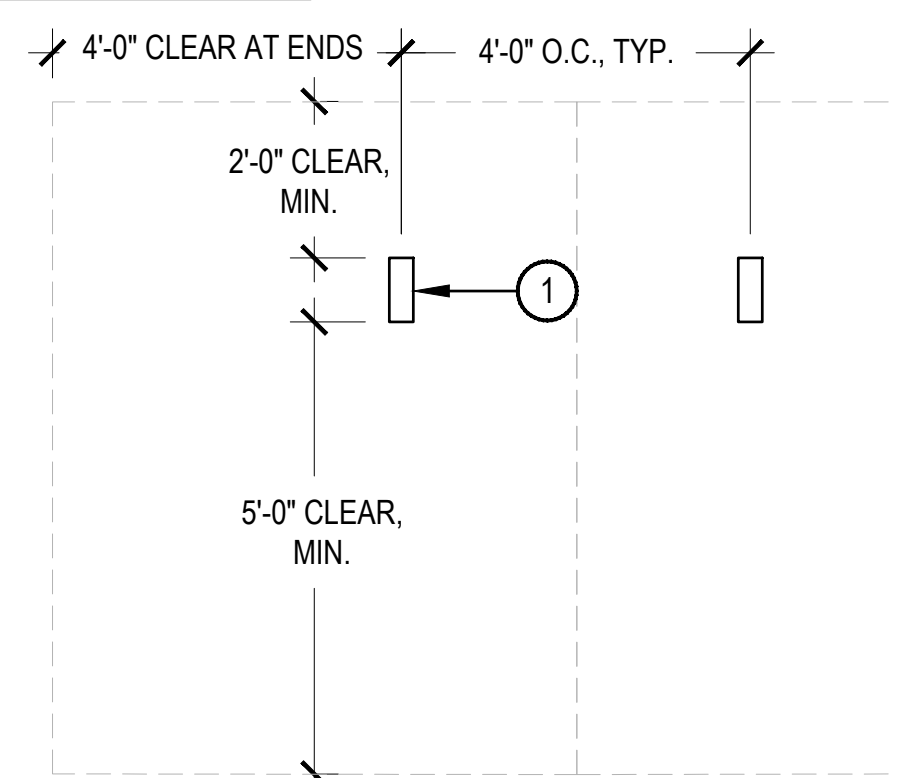
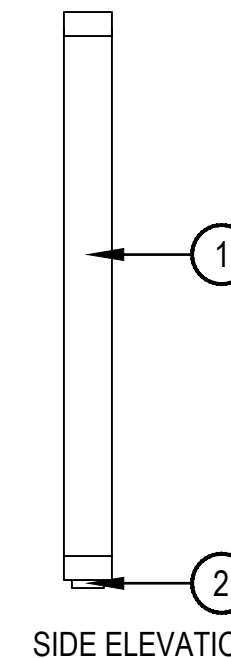
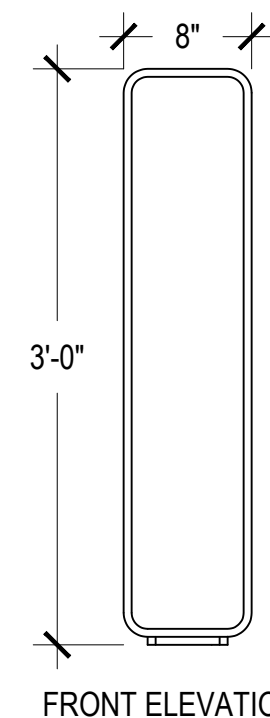
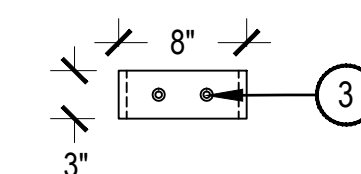
- ① 77" DIA. TABLE TOP, NO UMBRELLA HOLE, 29.3" HEIGHT
- ② BACKLESS SEAT, 18" HEIGHT
- ③ REFER TO LANDSCAPE PLAN FOR LOCATIONS OF 4 SEAT AND 3 SEAT (ADA) SELECTIONS

3 PARK TABLE

SCALE: NTS

PLAN LAYOUT (MINIMUMS)

PLAN



- ① POWDERCOATED STEEL BIKE RACK
- ② SURFACE MOUNT PER MANUFACTURER
- ③ PREDRILLED COUNTERSUNK HOLES
- ④ CLEARANCE ZONE

- NOTES:
1. MANUFACTURER: SITE PIECES OR APPROVED EQUAL
 2. MODEL: MONOLINE CORE BIKE RACK, SURFACE MOUNT, POWDERCOAT FINISH, OR APPROVED EQUAL
 3. CONTACT: 1.800.484.0797
 4. SURFACE MOUNT PER MANUFACTURER SPECIFICATIONS
 5. REFER TO LANDSCAPE PLAN FOR FINAL LAYOUT

4 BIKE RACK

SCALE: NTS

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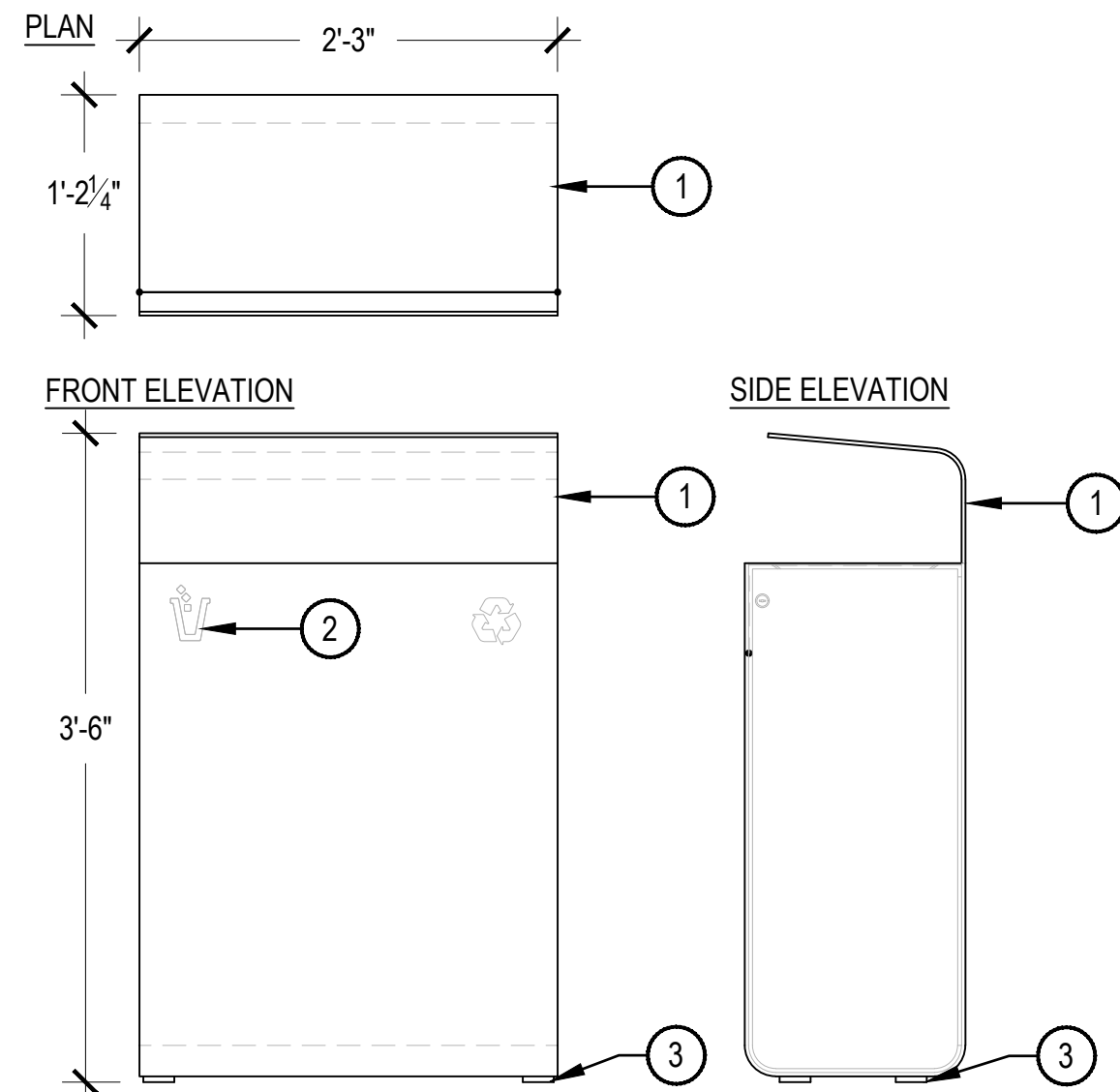
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PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

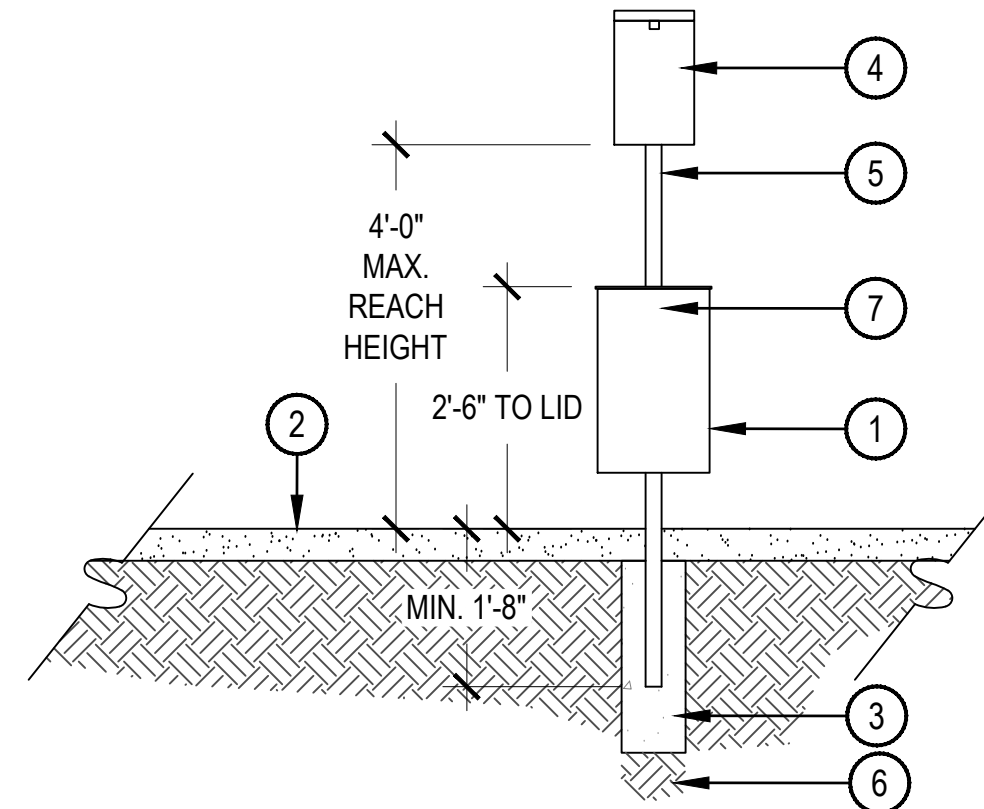


- ① SPLIT STREAM TRASH AND RECYCLE UNIT
- ② LASER CUT LITTER AND RECYCLE SYMBOLS PER MANUFACTURER
- ③ SURFACE MOUNT PER MANUFACTURER SPECIFICATIONS

- NOTES:**
1. MANUFACTURER: SITE PIECES OR APPROVED EQUAL
 2. MODEL: MONOLINE EDGE LITTER AND RECYCLE BIN, SURFACE MOUNT, POWDERCOAT FINISH, OR APPROVED EQUAL
 3. SURFACE MOUNT PER MANUFACTURER SPECIFICATIONS
 4. REFER TO LANDSCAPE PLAN FOR FINAL LAYOUT

1 TRASH AND RECYCLE BIN

SCALE: NTS

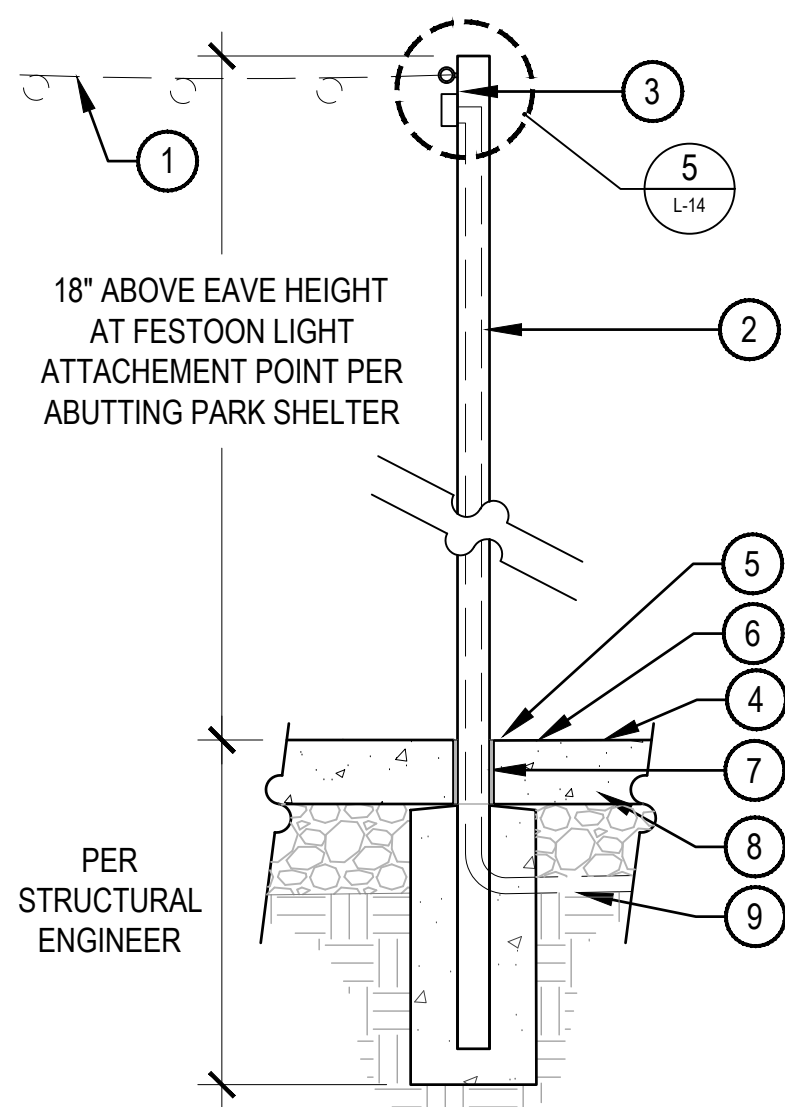


- ① PET WASTE STATION
- ② FINISHED GRADE, SEE PLAN FOR LANDSCAPE CONDITION
- ③ CONCRETE FOOTER
- ④ TRASH BAG DISPENSER
- ⑤ 2" X 2" SQUARE TUBING WITH ZINC FLOW COAT
- ⑥ COMPACTED SUBGRADE
- ⑦ PET WASTE RECEPTACLE

- NOTES:**
1. REFER TO LANDSCAPE PLAN FOR CRUSHER FINES PAD AND PET STATION LOCATION.
 2. REFER TO LANDSCAPE PLAN FOR ADJACENT LANDSCAPE CONNECTIONS.
 3. INSTALL WITHIN 18" OF CONCRETE WALK AND WITHIN ADA REACH RANGE.

2 PET WASTE STATION

SCALE: 1/2" = 1'-0"

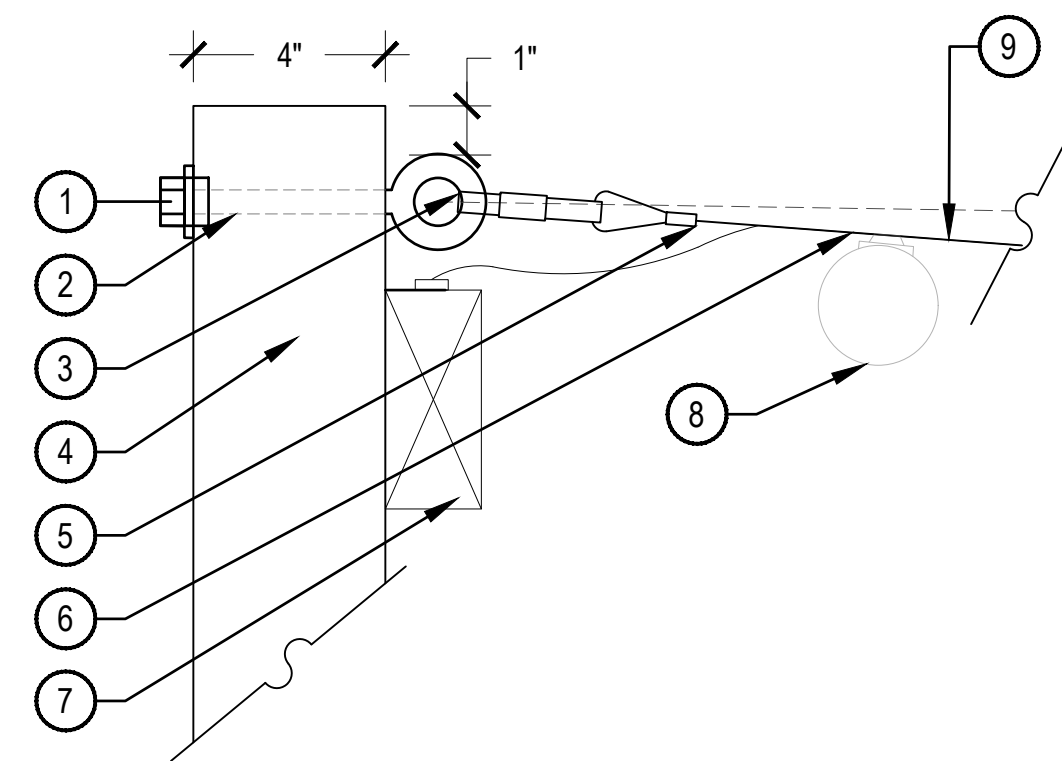


- ① FESTOON LIGHTING, RE: ELECTRICAL
- ② 4" POWDERCOATED SQUARE STEEL POST, SPECIFICATION PER STRUCTURAL ENGINEER, WELD OPEN TOP SHUT, ALL EXPOSED METAL PRIMED AND PAINTED
- ③ FESTOON LIGHTING JUNCTION BOX, RE: ELECTRIC PLANS
- ④ FINISH GRADE, REFER TO PLANS FOR SURFACE TYPE
- ⑤ CONCRETE FOOTING
- ⑥ EXPANSION JOINT AT ABUTTING HARDSCAPE
- ⑦ SET POST / DRAIN SUBGRADE PER STRUCTURAL ENGINEER, TOP OF POST FOOTING TO BE SET MIN. DEPTH OF CONCRETE FLATWORK BELOW GRADE
- ⑧ CONCRETE FLATWORK, RE: CIVIL
- ⑨ CONDUIT SLEEVE PER ELECTRICAL AT END POST

- NOTES:**
1. CONTRACTOR SHALL COORDINATE WIRING WITHIN TUBE STEEL POSTS FOR BISTRO LIGHTING WITH ELECTRICAL.
 2. FINAL ENGINEERING SHALL BE SIGNED AND SEALED BY A LOCALLY LICENSED STRUCTURAL ENGINEER AS REQUIRED FOR PERMITTING.
 3. CONTRACTOR SHALL MEET ALL APPLICABLE CODES.
 4. ALL METAL HARDWARE SHALL BE GALVANIZED.

3 FESTOON LIGHT POLE

SCALE: 1/2" = 1'-0"



- ① 1/2" GALVANIZED LOCK NUT WITH WASHER, ZINC FINISH
- ② 1/2" HOT DIPPED GALVANIZED DROP FORGED EYE BOLT
- ③ CONTRACTOR TO USE STEEL SCREW LOCKING CARABINER TO LINK LIGHTING TO METAL RING
- ④ STEEL TUBE POST, SEE DETAIL FESTOON POLE
- ⑤ CRIMPED ALUMINUM WIRE ROPE SWAGE SLEEVE
- ⑥ FESTOON LIGHT STRANDS WITH TAUGHT 11 GAUGE STEEL CABLE SUPPORT, REFER TO ELECTRIC PLANS
- ⑦ TYPICAL JUNCTION BOX LOCATION
- ⑧ FESTOON LIGHT, TYP.
- ⑨ RE: ARCHITECTURE FOR CABLE ATTACHMENT AT BUILDING EAVE

- NOTES:**
1. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
 2. THIS DETAIL SHOWS DESIGN INTENT ONLY. ENGINEERING SHALL BE DESIGNED BY A LOCALLY LICENSED STRUCTURAL ENGINEER AS REQUIRED FOR PERMITTING.
 3. CONTRACTOR SHALL MEET ALL APPLICABLE CODES.
 4. ALL METAL HARDWARE SHALL BE ZINC PLATED.
 5. ELECTRICAL CONDUIT SHALL BE RECESSED THROUGH TUBE STEEL POST INTO JUNCTION BOX.
 6. FESTOON LIGHTING ATTACHMENT TO BE COORDINATED BY CONTRACTOR AT END ATTACHING TO PARK SHELTER.

4 FESTOON LIGHT POLE CONNECTION

SCALE: 3" = 1'-0"

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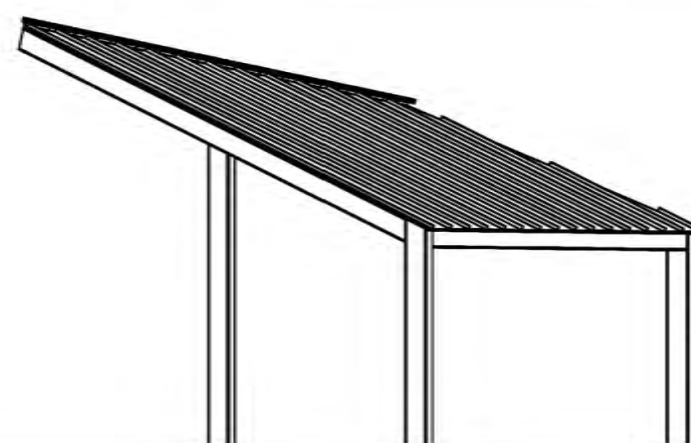
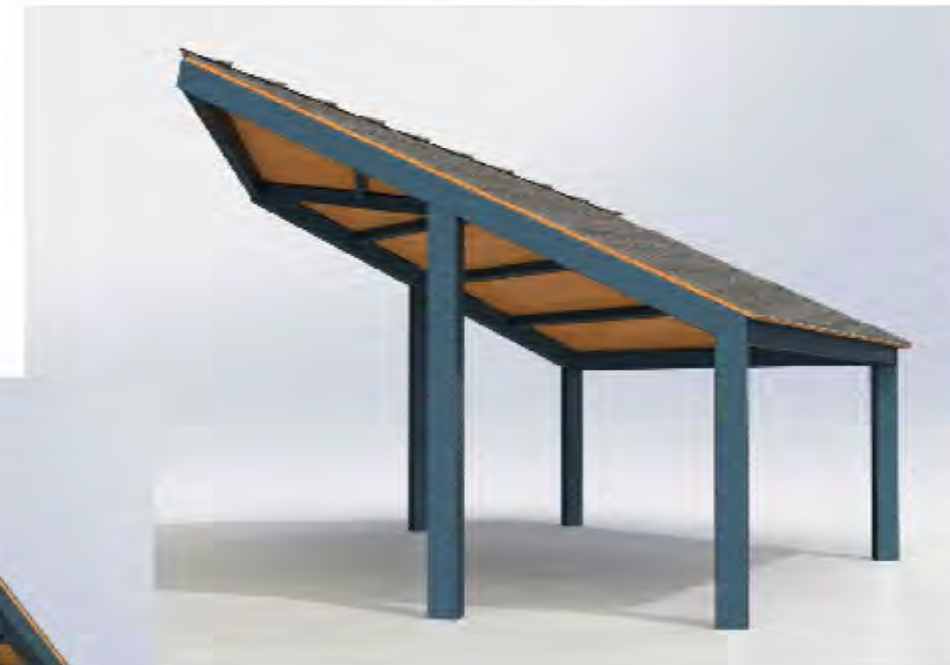
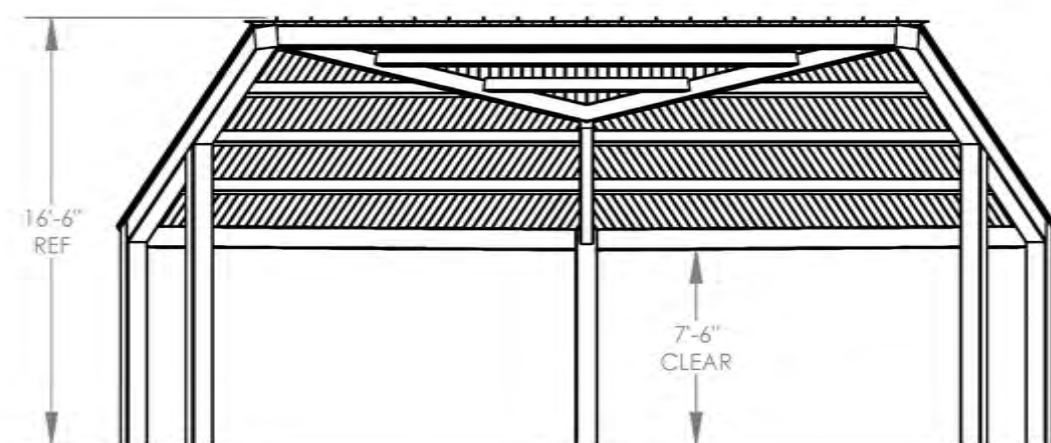
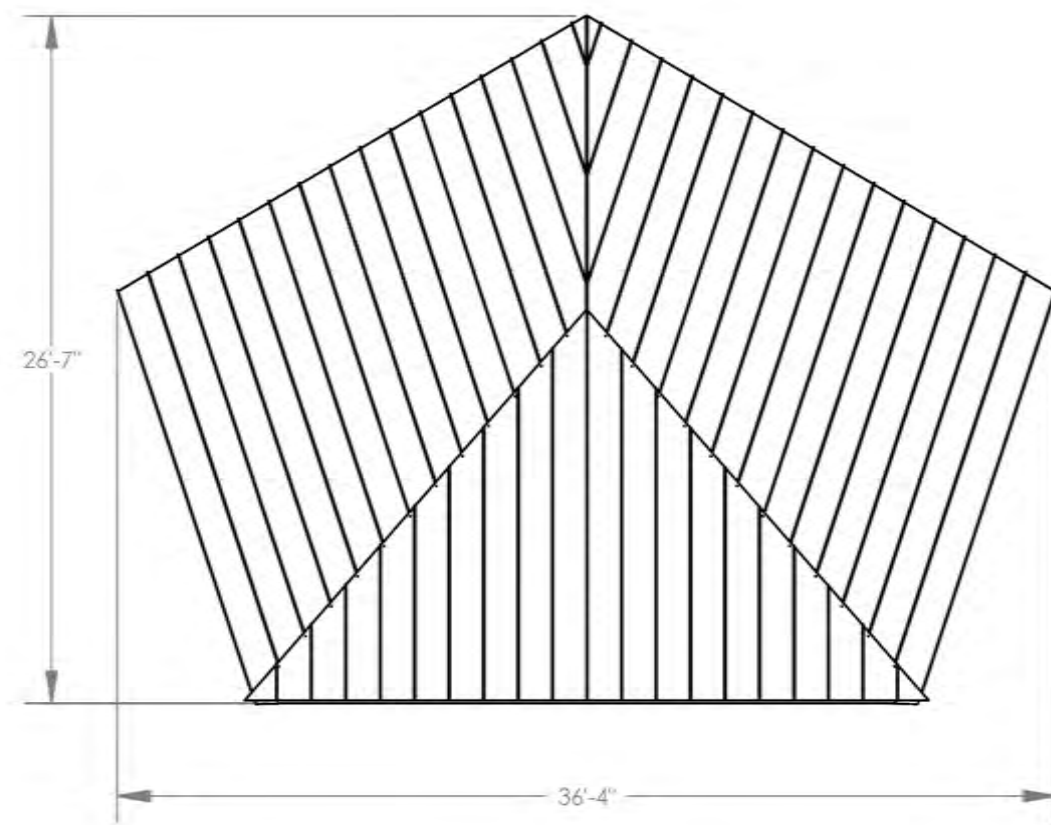
THIS IS A CONCEPT DRAWING. DIMENSIONS SHOWN ARE REPRESENTATIVE. TO ADAPT THIS CONCEPT TO MEET PROJECT SPECIFIC DESIGN REQUIREMENTS, FORWARD YOUR REQUEST TO POLIGON CUSTOMER SERVICE.



PORTERCORP HAS EARNED A **PCI-4000 CERTIFICATION** FROM THE GLOBALLY RECOGNIZED POWDER COATING INSTITUTE (PCI). QUALITY FINISHING IS CRUCIAL TO THE LONG TERM PERFORMANCE OF SHELTER STRUCTURES. THIS CERTIFICATION UNDERSCORES THE COMMITMENT PORTERCORP HAS MADE TO MANUFACTURING QUALITY PRODUCTS.

GENERAL FRAME NOTES:

- ALL STEEL COMPONENTS (STRUCTURAL MEMBERS, ORNAMENTATION, RAILING, ETC.) ARE POWDER COATED IN THE FOLLOWING MANNER (UNLESS REQUESTED OTHERWISE):
 - SHOT BLASTED TO NEAR WHITE CONDITION (SSPC SP-10)
 - WASHED AND SEALED IN A PHOSPHATE SPRAY
 - PRIME-COATED WITH POLI-5000 HIGH PERFORMANCE POWDER APPLIED EPOXY
 - TOP-COATED WITH SUPER-DURABLE TGIC POLYESTER POWDER AND OVEN CURED
- SEE POLIGON.COM FOR COLOR OPTIONS



SHELTER MODEL:
DB171: 26X36 AMPHITHEATER - TGSS
5 SIDED W/MULTI ANGLED ROOF



www.poligon.com
616-399-1963
PORTERCORP, 4240 N. 136TH AVE.
HOLLAND, MI 49424



Copyright laws protect the style and visual appearance of the structure while patents may protect other parts of the design.

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NOTES:

- POLIGON SHELTER MODEL: DB171: 24X36 AMPITHEATER - TGSS 5 SIDED W/ MULTI ANGLED ROOF OR APPROVED EQUAL.
- STRUCTURAL ENGINEERED SHOP DRAWINGS BY POLIGON REQUIRED FOR APPROVAL. SHOP DRAWINGS TO INCLUDE ALL MEMBER SIZING, CONNECTIONS, AND FOOTERS. POLIGON.COM, 616-399-1963, PORTERCORP, 4240 N. 136TH AVE, HOLLAND, MI 49424.
- INSTALL PER MANUFACTURERS SPECIFICATION.
- ALL METAL SHALL BE POWDERCOATED, COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE.

1 PARK SHELTER - REFERENCE ONLY

SCALE: NTS

NOT FOR
CONSTRUCTION

DATE:
FDP-01-03/16/2023

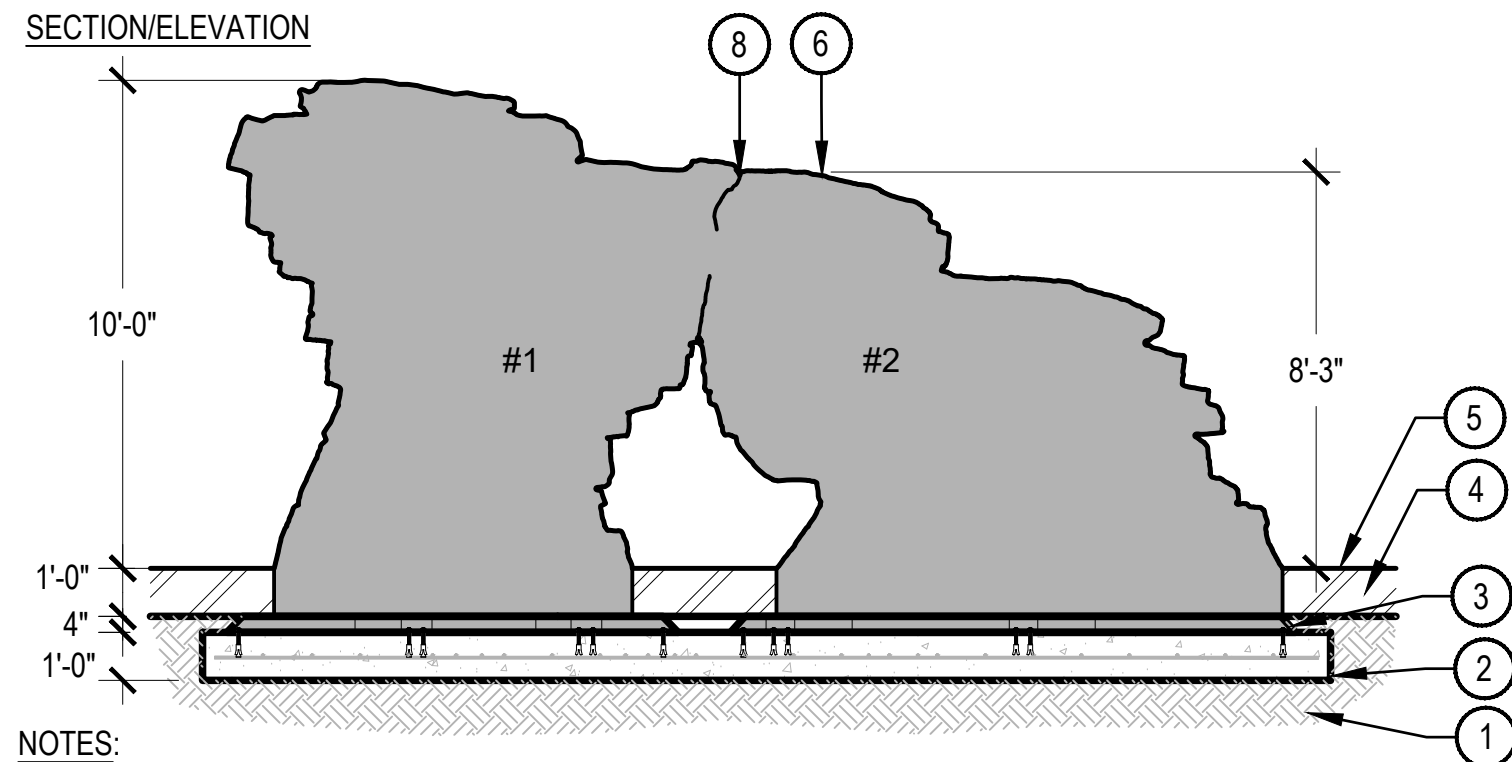
SHEET TITLE:
LANDSCAPE
DETAILS

SHEET NUMBER:
L-32

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

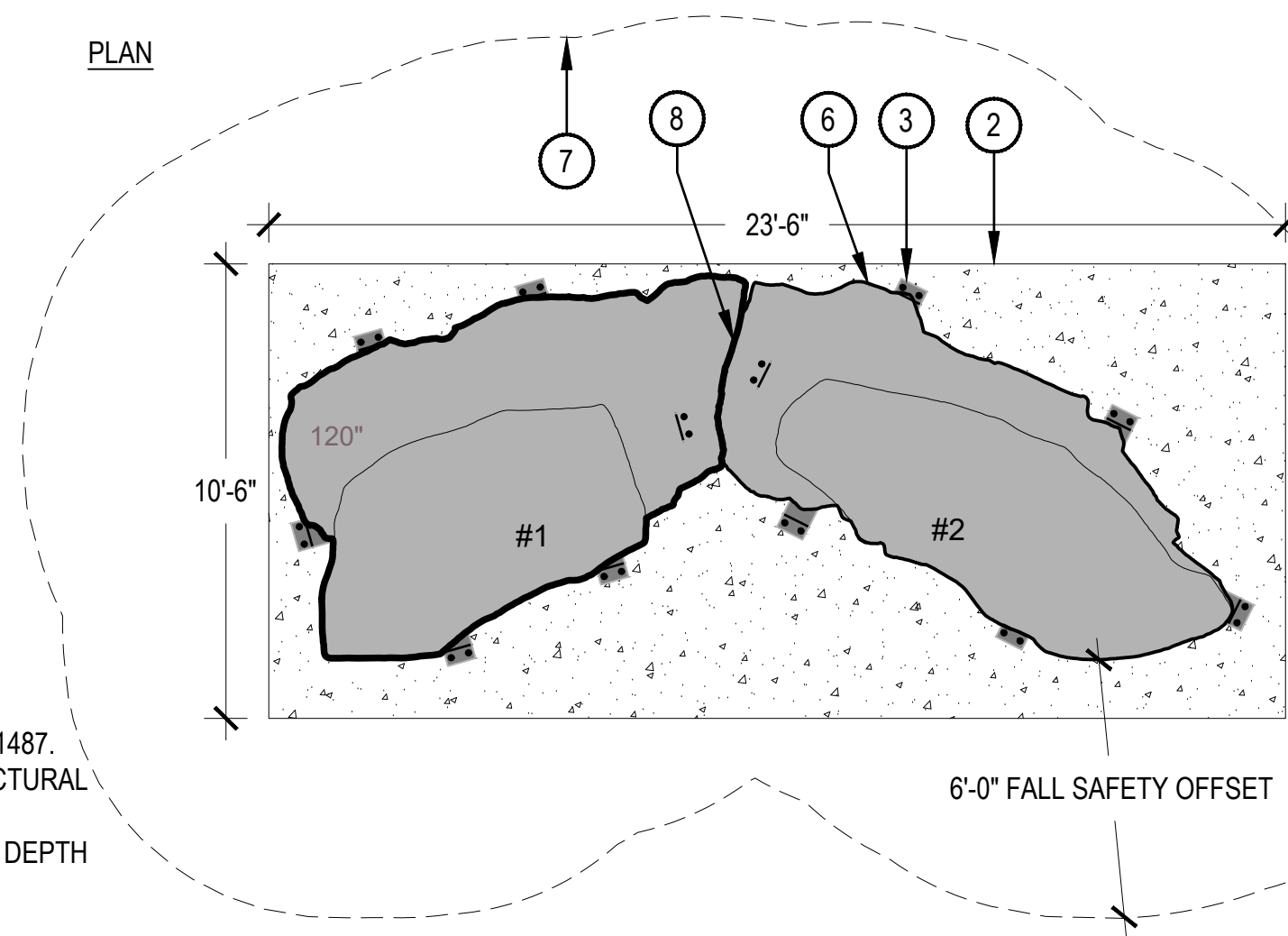
SECTION/ELEVATION



NOTES:

1. DETAIL FOR REFERENCE ONLY.
2. IT IS THE RESPONSIBILITY OF THE INSTALLER TO ENSURE ALL COMPONENTS ARE INSTALLED IN COMPLIANCE WITH ASTM F-1487.
3. ALL STRUCTURAL COMPONENTS MUST MEET THE MANUFACTURER'S SPECIFICATION AND HAVE SIGNED AND SEALED STRUCTURAL ENGINEER DRAWINGS.
4. ALL SITE BUILT FOOTINGS SHOULD BE ALLOWED TO CURE FOR A MINIMUM OF 48 HOURS PRIOR TO INSTALLATION. FOOTING DEPTH MUST BE ADJUSTED TO COMPENSATE FOR THE DEPTH/THICKNESS REQUIREMENTS OF THE SELECTED SAFETY SURFACING.
5. ASTM COMPLIANT SAFETY SURFACING IS REQUIRED UNDER AND AROUND ALL PLAY EQUIPMENT.
6. IF MODIFICATIONS OF THE STANDARD COMPONENT ARE REQUIRED, NOTIFY ID SCULPTURE WHEN ORDERING THE COMPONENT.
7. THE AMERICANS WITH DISABILITIES ACT (ADA) MAY REQUIRE THE PLAY AREA TO BE ACCESSIBLE. CONSULT WITH AN ADA PROFESSIONAL TO ENSURE COMPLIANCE.

PLAN



- ① COMPACTED SUBGRADE
- ② REINFORCED CONCRETE FOOTING
REF: STRUCTURAL
- ③ STEEL FRAME 7/8" HOLE W/
3/4"X8 1/2" SS WEDGE ANCHORS (X12/SCULPTURE)
- ④ SAFETY SURFACING
- ⑤ FINISHED GRADE
- ⑥ SPLIT ARCH GFRc SCULPTURE OUTLINE
- ⑦ MIN 6' USE ZONE (TO BE VERIFIED BY INSTALLER)
- ⑧ AIR GAP

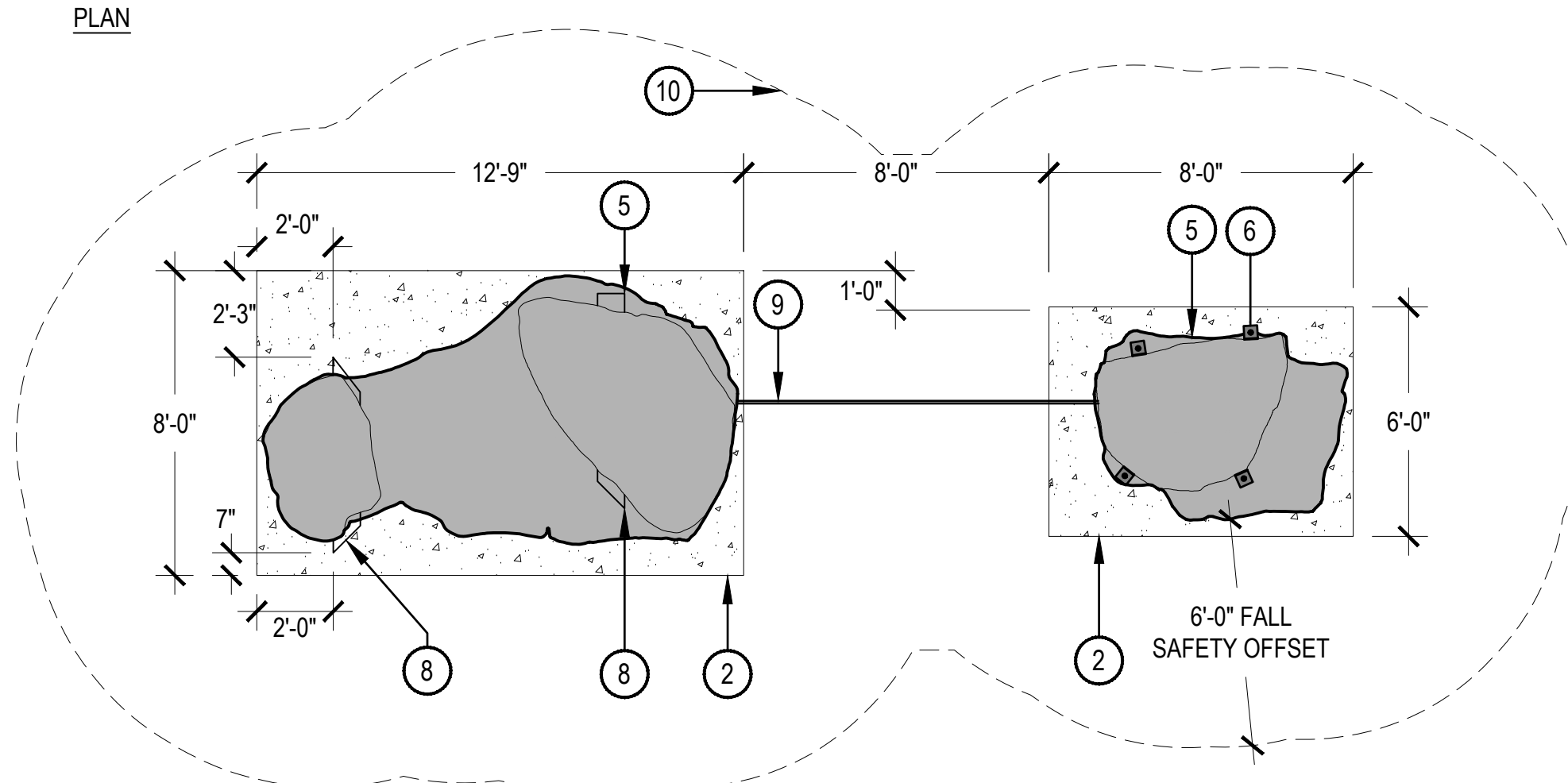
CONTACT INFORMATION:
ID SCULPTURE
591 SOUTH BOULEVARD STREET
GUNNISON, COLORADO 81230
info@idsculpture.com
970-641-1747

PRODUCT INFORMATION:
NAME: SPLIT ARCH
PART #: PB019

1 PLAYGROUND CLIMBING BOULDERS - SPLIT ARCH

SCALE: 1/4" = 1'-0"

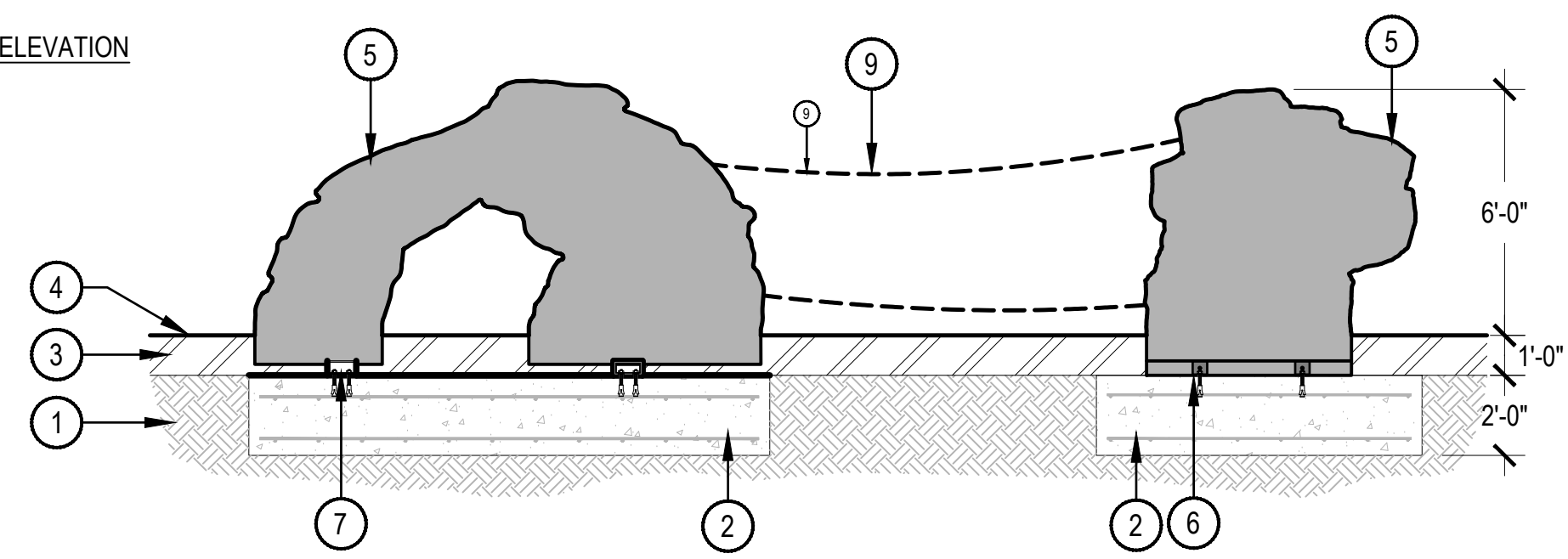
PLAN



NOTES:

1. DETAIL FOR REFERENCE ONLY.
2. REFER TO "PLAYGROUND CLIMBING BOULDER - SPLIT ARCH" FOR REQUIRED SPECIFICATIONS.

ELEVATION



PRODUCT INFORMATION:
NAME: KENOSHA PASS
PART #: CMB002

CONTACT INFORMATION:
ID SCULPTURE
591 SOUTH BOULEVARD STREET
GUNNISON, COLORADO 81230
info@idsculpture.com
970-641-1747

- ① COMPACTED SUBGRADE
- ② REINFORCED CONCRETE FOOTING
REF: STRUCTURAL
- ③ SAFETY SURFACING
- ④ FINISHED GRADE
- ⑤ SANDSTONE BOULDER GFRc SCULPTURE
- ⑥ 4X4X3/8 AL ANGLE W/ 7/8" HOLES (8 TOTAL)
- ⑦ 3/4" X 8 1/2" SS WEDGE ANCHOR 7 1/2" EMBED (8)
- ⑧ FRAME WITH 7/8" HOLES (8)
- ⑨ PARALLEL ROPES - PE02, POLYESTER, GREEN
- ⑩ MIN 6' USE ZONE (TO BE VERIFIED BY INSTALLER)

2 PLAYGROUND CLIMBING BOULDERS - KENOSHA PASS

SCALE: 1/4" = 1'-0"

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK QOF I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR CONSTRUCTION

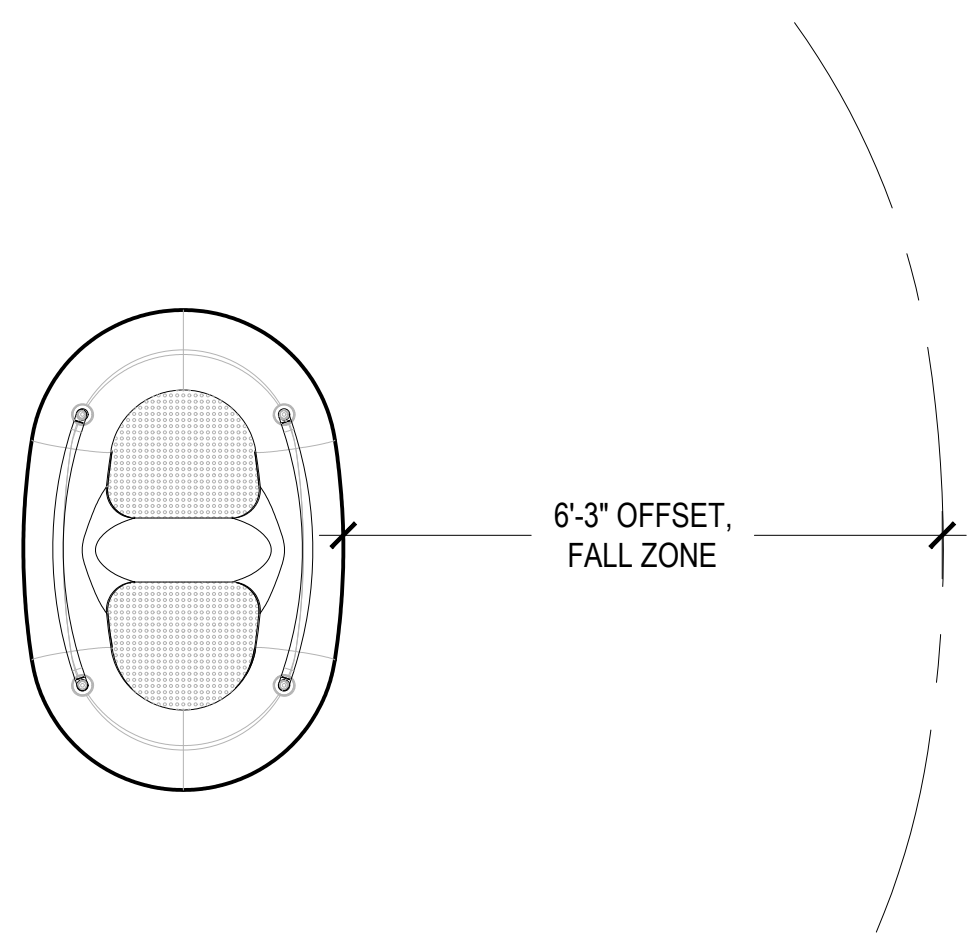
DATE:
FDP-01-03/16/2023

SHEET TITLE:
LANDSCAPE DETAILS

SHEET NUMBER:
L-33

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

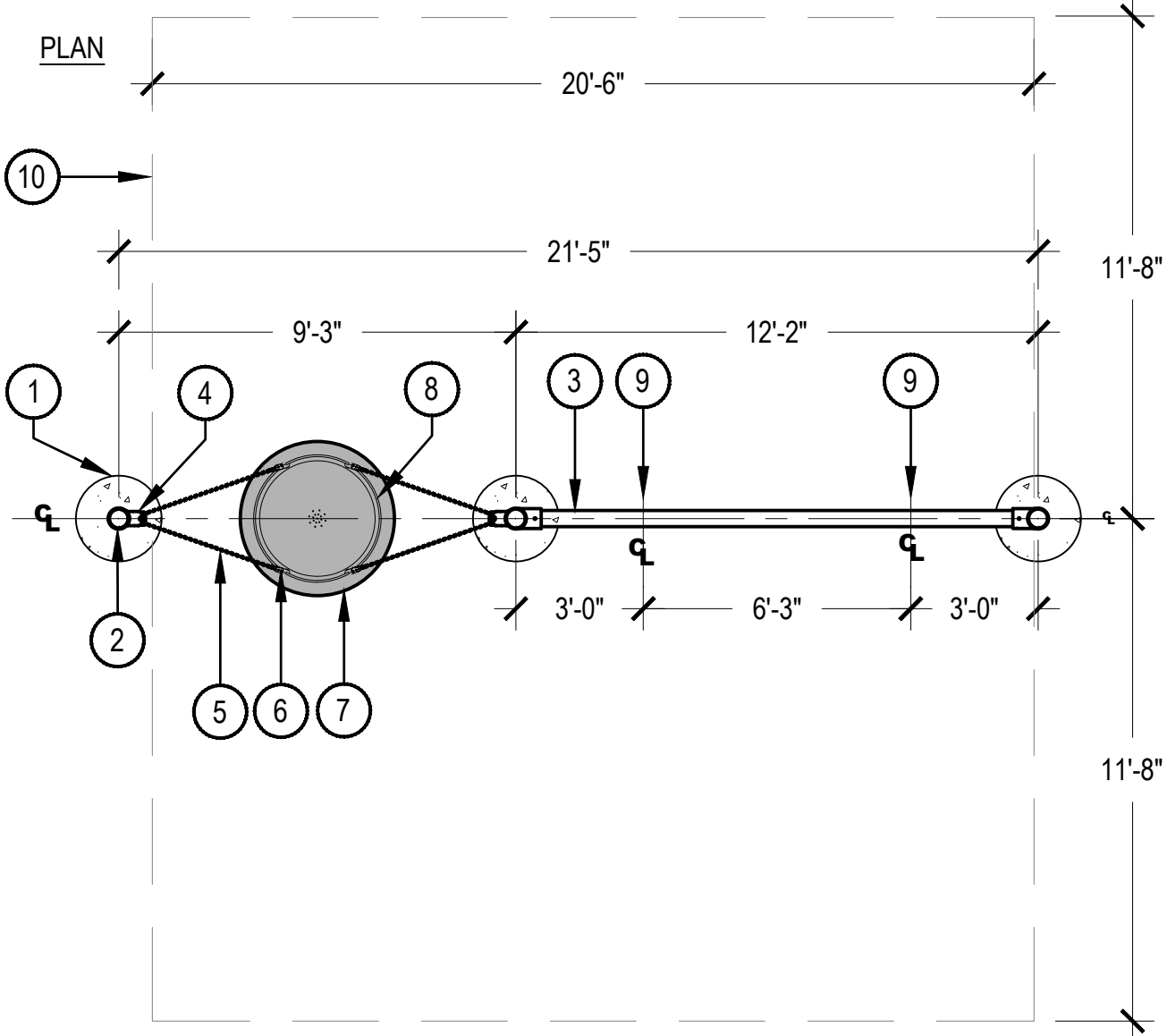


- ① LITTLE TIKES NU EDGE RAFT RIDER, PRODUCT NO 200202828, OR APPROVED EQUAL
- ② ASTM FALL ZONE

NOTES:
1. DETAIL FOR REFERENCE ONLY.
2. REFER TO MANUFACTURER SPECIFICATIONS FOR INSTALLATION.

① RAFT RIDER

SCALE: 1/2" = 1'-0"



REFERENCE IMAGE, NTS



- NOTES:
1. DETAIL FOR REFERENCE ONLY.
 2. THE PRODUCT SHOULD BE INSTALLED ONLY BY A LICENSED PLAYGROUND INSTALLER, TRAINED AND CERTIFIED ON THE RELEVANT PLAYGROUND STANDARD IN PLACE IN THE REGION OF INSTALLATION
 3. ALL PRODUCT FEATURES SHALL BE BUILT AND INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS.
 4. WHERE REQUIRED, THE NO-ENCROACHMENT ZONE SHALL BE AN OBSTACLE-FREE ZONE THAT MEETS THE REQUIREMENTS OF THE PROTECTIVE SURFACING ZONE. SEE APPLICABLE STANDARD FOR MORE INFORMATION.
 5. THE MANUFACTURER SHALL PAINT FINISH ALL EXPOSED STEEL WITH POLYESTER POWDER COATING UNLESS OTHERWISE SPECIFIED. PRIOR TO THE POWDER COATING APPLICATION, THE SURFACE SHALL UNDERGO SAND BLASTING AND BE TREATED WITH A ZINC RICH EPOXY PRIMER HAVING A MINIMUM THICKNESS OF 1.5 MILS. (FINISH COLOR: WATER BLUE).
 6. CONCRETE FOOTINGS MUST BE MINIMUM 3500 PSI / 25MPA.
 7. ALL FASTENERS FOR COMPONENT ATTACHMENTS SHALL BE STAINLESS STEEL.

- ① CONCRETE FOUNDATION
REF: STRUCTURAL
- ② POST
REF: MANUFACTURER
- ③ CROSS BEAM
REF: MANUFACTURER
- ④ PENDULUM PIVOT
REF: MANUFACTURER
- ⑤ GALVANIZED STEEL CHAIN
REF: MANUFACTURER
- ⑥ SEAT CONNECTION
REF: MANUFACTURER
- ⑦ SEAT BUMPER
REF: MANUFACTURER
- ⑧ BIGGO SEAT
REF: MANUFACTURER
- ⑨ SWING CENTERLINE
- ⑩ NO-ENCROACHMENT ZONE

② PLAYGROUND SWINGS

SCALE: 1/4" = 1'-0"

Community & Economic
Development Department
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000
Brighton, CO 80601-8204
PHONE 720.523.6800
FAX 720.523.6998

Application Type:

<input type="checkbox"/> Conceptual Review	<input type="checkbox"/> Preliminary PUD	<input type="checkbox"/> Temporary Use
<input type="checkbox"/> Subdivision, Preliminary	<input type="checkbox"/> Final PUD	<input type="checkbox"/> Variance
<input checked="" type="checkbox"/> Subdivision, Final	<input type="checkbox"/> Rezone	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Plat Correction/ Vacation	<input type="checkbox"/> Special Use	<input type="checkbox"/> Other: _____

PROJECT NAME:

APPLICANT

Name(s): Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

OWNER

Name(s): Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

TECHNICAL REPRESENTATIVE (Consultant, Engineer, Surveyor, Architect, etc.)

Name: Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

DESCRIPTION OF SITE

Address:

City, State, Zip:

Area (acres or square feet):

Tax Assessor Parcel Number:

Existing Zoning:

Existing Land Use:

Proposed Land Use:

Have you attended a Conceptual Review? YES NO (N/A)

If Yes, please list PRE#:

I hereby certify that I am making this application as owner of the above described property or acting under the authority of the owner (attached authorization, if not owner). I am familiar with all pertinent requirements, procedures, and fees of the County. I understand that the Application Review Fee is non-refundable. All statements made on this form and additional application materials are true to the best of my knowledge and belief.

Name: Date:

Owner's Printed Name

Name:

Owner's Signature



**Land Title Guarantee Company
Customer Distribution**



PREVENT FRAUD - Please remember to call a member of our closing team when initiating a wire transfer or providing wiring instructions.

Order Number: **ABC70787447.1**

Date: **03/08/2023**

Property Address: **6001 FEDERAL BLVD, DENVER, CO 80221**

PLEASE CONTACT YOUR CLOSER OR CLOSER'S ASSISTANT FOR WIRE TRANSFER INSTRUCTIONS

For Closing Assistance

For Title Assistance

Scott Bennetts
5975 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
(303) 850-4175 (Work)
sbennetts@ltgc.com

THISTLE CREEK CAPITAL
Attention: ZACH HARRIS
zach@thistlecreek.com
Delivered via: Electronic Mail

THISTLE CREEK CAPITAL
Attention: MICHAEL CHRISTENSEN
mike@thistlecreek.com
Delivered via: Electronic Mail

THISTLE CREEK CAPITAL
Attention: CAROL CHRISTENSEN
carol@thistlecreek.com
Delivered via: Electronic Mail



Land Title Guarantee Company
Estimate of Title Fees

Order Number: **ABC70787447.1**

Date: **03/08/2023**

Property Address: **6001 FEDERAL BLVD, DENVER, CO 80221**

Parties: **CLEAR CREEK DEVELOPMENT, LLC, A DELAWARE LIMITED LIABILITY COMPANY**

CLEAR CREEK DEVELOPMENT, LLC, A DELAWARE LIMITED LIABILITY COMPANY

Visit Land Title's Website at www.ltgc.com for directions to any of our offices.

Estimate of Title insurance Fees	
"ALTA" Owner's Policy 06-17-06	\$0.00
	Total \$0.00
If Land Title Guarantee Company will be closing this transaction, the fees listed above will be collected at closing.	
Thank you for your order!	

Note: The documents linked in this commitment should be reviewed carefully. These documents, such as covenants conditions and restrictions, may affect the title, ownership and use of the property. You may wish to engage legal assistance in order to fully understand and be aware of the implications of the effect of these documents on your property.

Chain of Title Documents:

[Adams county recorded 06/23/2020 under reception no. 202000056492](#)

[Adams county recorded 02/27/2009 under reception no. 2009000014043](#)

Plat Map(s):

[Adams county recorded 02/12/1994 under reception no. 1247454](#)

[Adams county recorded 10/31/1973 under reception no. 20815](#)

ALTA COMMITMENT

Old Republic National Title Insurance Company

Schedule A

Order Number: ABC70787447.1

Property Address:

6001 FEDERAL BLVD, DENVER, CO 80221

1. Effective Date:

03/06/2023 at 5:00 P.M.

2. Policy to be Issued and Proposed Insured:

"ALTA" Owner's Policy 06-17-06

\$0.00

Proposed Insured:

CLEAR CREEK DEVELOPMENT, LLC, A DELAWARE LIMITED
LIABILITY COMPANY

3. The estate or interest in the land described or referred to in this Commitment and covered herein is:

A FEE SIMPLE

4. Title to the estate or interest covered herein is at the effective date hereof vested in:

CLEAR CREEK DEVELOPMENT, LLC, A DELAWARE LIMITED LIABILITY COMPANY

5. The Land referred to in this Commitment is described as follows:

PARCEL 1:

LOT 2, BLOCK 1, BRANNAN'S SUBDIVISION FILING NO. 2,
AND AS AMENDED BY AFFIDAVIT OF CORRECTION RECORDED JANUARY 19, 1995 IN BOOK 4455 AT
PAGE [542](#),

EXCEPT THAT PART CONVEYED TO THE COUNTY OF ADAMS BY WARRANTY DEED MADE A PART OF
RESOLUTION RECORDED MAY 25, 1995 IN BOOK 4518 AT PAGE [777](#), COUNTY OF ADAMS, STATE OF
COLORADO.

PARCEL 2:

TRACT "A", BRANNAN'S SUBDIVISION, FILING NO. 1, COUNTY OF ADAMS, STATE OF COLORADO.

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**AMERICAN
LAND TITLE
ASSOCIATION**



ALTA COMMITMENT

Old Republic National Title Insurance Company

Schedule B, Part I

(Requirements)

Order Number: ABC70787447.1

All of the following Requirements must be met:

This proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.

Pay the agreed amount for the estate or interest to be insured.

Pay the premiums, fees, and charges for the Policy to the Company.

Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.

THIS COMMITMENT IS FOR INFORMATION ONLY, AND NO POLICY WILL BE ISSUED PURSUANT HERETO.

NOTE: THIS COMMITMENT IS NOT A REPORT OR REPRESENTATION AS TO MINERAL INTERESTS, AND SHOULD NOT BE USED, OR RELIED UPON, IN CONNECTION WITH THE NOTICE REQUIREMENTS THAT ARE SET FORTH IN CRS 24-65.5-103.

NOTE: THE COMMITMENT DOES NOT REFLECT THE STATUS OF TITLE TO WATER RIGHTS OR REPRESENTATION OF SAID RIGHTS.

ALTA COMMITMENT
Old Republic National Title Insurance Company
Schedule B, Part II
(Exceptions)

Order Number: ABC70787447.1

This commitment does not republish any covenants, condition, restriction, or limitation contained in any document referred to in this commitment to the extent that the specific covenant, conditions, restriction, or limitation violates state or federal law based on race, color, religion, sex, sexual orientation, gender identity, handicap, familial status, or national origin.

- 1. Any facts, rights, interests, or claims thereof, not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.**
- 2. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.**
- 3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.**
- 4. Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.**
- 5. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date of the proposed insured acquires of record for value the estate or interest or mortgage thereon covered by this Commitment.**
- 6. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.**
- 7. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water.**
- 8. EXISTING LEASES AND TENANCIES, IF ANY.**
- 9. EASEMENTS FOR CONSTRUCTION AND MAINTENANCE OF SEWER LINES AND INCIDENTAL PURPOSES AS GRANTED TO METROPOLITAN DENVER SEWAGE DISPOSAL DISTRICT NO. 1 IN INSTRUMENT RECORDED SEPTEMBER 25, 1963 IN BOOK 1099 AT PAGE [299](#) AND JULY 18, 1983 IN BOOK 2768 AT PAGE [890](#).

CORRECTED EASEMENT FOR CONSTRUCTION AND MAINTENANCE OF SEWER LINES RECORDED AUGUST 7, 1984 IN BOOK 2902 AT PAGE [735](#).**
- 10. TERMS, CONDITIONS AND PROVISIONS OF AGREEMENT RECORDED APRIL 27, 1970 IN BOOK 1593 AT PAGE [320](#).**
- 11. EASEMENTS, CONDITIONS, COVENANTS, RESTRICTIONS, RESERVATIONS AND NOTES ON THE PLAT OF BRANNAN'S SUBDIVISION FILING NO. 1 RECORDED OCTOBER 31, 1973 UNDER RECEPTION NO. [20815](#).**
- 12. TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN EASEMENT GRANT RECORDED SEPTEMBER 19, 1979 IN BOOK 2387 AT PAGE [852](#).**

ALTA COMMITMENT

Old Republic National Title Insurance Company

Schedule B, Part II

(Exceptions)

Order Number: ABC70787447.1

13. TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN EASEMENT AGREEMENT RECORDED JULY 20, 1987 IN BOOK 3344 AT PAGE [663](#).
14. ANY TAX, LIEN, FEE, OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE HYLAND HILLS PARK AND RECREATION DISTRICT, AS EVIDENCED BY INSTRUMENT RECORDED SEPTEMBER 19, 1990, IN BOOK 3712 AT PAGE [402](#).
15. EFFECT OF RESOLUTION AUTHORIZING EXEMPTION FROM THE ADAMS COUNTY SUBDIVISION REGULATIONS RECORDED APRIL 6, 1992 IN BOOK 3888 AT PAGE [126](#).
16. TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN DRAINAGE EASEMENT RECORDED APRIL 24, 1995 IN BOOK 4500 AT PAGE [531](#).
17. TERMS, CONDITIONS AND PROVISIONS OF A DEVELOPMENT AGREEMENT DISCLOSED BY RESOLUTION RECORDED MAY 18, 1992 IN BOOK 3905 AT PAGE [674](#).
18. EASEMENTS, CONDITIONS, COVENANTS, RESTRICTIONS, RESERVATIONS AND NOTES ON THE PLAT OF BRANNAN'S SUBDIVISION FILING NO. 2 RECORDED MAY 12, 1994 UNDER RECEPTION NO. [1247454](#).

AFFIDAVIT OF CORRECTION RECORDED JANUARY 19, 1995 IN BOOK 4455 AT PAGE [542](#).
19. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN ZONING HEARING DECISION RECORDED AUGUST 03, 1995 IN BOOK 4559 AT PAGE [978](#).
20. TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN LANDSCAPE BERM AND FENCE EASEMENT RECORDED MARCH 13, 1996 IN BOOK 4701 AT PAGE [983](#).
21. EASEMENT GRANTED TO CRESTVIEW WATER AND SANITATION DISTRICT, FOR WATER PIPELINES, AND INCIDENTAL PURPOSES, BY INSTRUMENT RECORDED JULY 17, 2000, IN BOOK 6190 AT PAGE [242](#).
22. TERMS, CONDITIONS AND PROVISIONS OF ZONING HEARING DECISIONS RECORDED SEPTEMBER 20, 2010 UNDER RECEPTION NO. [201000062586](#) AND [201000062587](#).
23. ANY TAX, LIEN, FEE, OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1, AS EVIDENCED BY INSTRUMENT RECORDED NOVEMBER 24, 2010, UNDER RECEPTION NO. [2010000081925](#).
24. ANY TAX, LIEN, FEE, OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 2, AS EVIDENCED BY INSTRUMENT RECORDED NOVEMBER 24, 2010, UNDER RECEPTION NO. [2010000081926](#).
25. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN RESOLUTION ADOPTING ZONING HEARING DECISION RECORDED NOVEMBER 21, 2012 UNDER RECEPTION NO. [2012000088446](#).

ALTA COMMITMENT
Old Republic National Title Insurance Company
Schedule B, Part II
(Exceptions)

Order Number: ABC70787447.1

26. ALL ITEMS SHOWN ON CLEAR CREEK TRANSIT VILLAGE PLANNED UNIT DEVELOPMENT- PRELIMINARY DEVELOPMENT PLAN, RECORDED JANUARY 22, 2013 UNDER RECEPTION NO. [2013000006476](#).

RESOLUTION 2015-531 APPROVING PRELIMINARY DEVELOPMENT PLAN RECORDED DECEMBER 11, 2015 UNDER RECEPTION NO. [2015000103730](#).
27. (THIS ITEM WAS INTENTIONALLY DELETED)
28. DEED OF TRUST, ASSIGNMENT OF LEASES AND RENTS, SECURITY AGREEMENT, AND FIXTURE FILING DATED SEPTEMBER 22, 2022 FROM CLEAR CREEK DEVELOPMENT, LLC, A DELAWARE LIMITED LIABILITY COMPANY TO THE PUBLIC TRUSTEE OF ADAMS COUNTY, COLORADO FOR THE USE OF MSH CAPITAL, LLC TO SECURE THE SUM OF \$480,000.00 RECORDED SEPTEMBER 22, 2022 UNDER RECEPTION NO. [2022000079140](#).
29. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN CLEAR CREEK TRANSIT VILLAGE PRELIMINARY DEVELOPMENT PLAN RECORDED JANUARY 13, 2023 UNDER RECEPTION NO. [202300002825](#).



LAND TITLE GUARANTEE COMPANY DISCLOSURE STATEMENTS

Note: Pursuant to CRS 10-11-122, notice is hereby given that:

- (A) The Subject real property may be located in a special taxing district.
- (B) A certificate of taxes due listing each taxing jurisdiction will be obtained from the county treasurer of the county in which the real property is located or that county treasurer's authorized agent unless the proposed insured provides written instructions to the contrary. (for an Owner's Policy of Title Insurance pertaining to a sale of residential real property).
- (C) The information regarding special districts and the boundaries of such districts may be obtained from the Board of County Commissioners, the County Clerk and Recorder, or the County Assessor.

Note: Effective September 1, 1997, CRS 30-10-406 requires that all documents received for recording or filing in the clerk and recorder's office shall contain a top margin of at least one inch and a left, right and bottom margin of at least one half of an inch. The clerk and recorder may refuse to record or file any document that does not conform, except that, the requirement for the top margin shall not apply to documents using forms on which space is provided for recording or filing information at the top margin of the document.

Note: Colorado Division of Insurance Regulations 8-1-2 requires that "Every title entity shall be responsible for all matters which appear of record prior to the time of recording whenever the title entity conducts the closing and is responsible for recording or filing of legal documents resulting from the transaction which was closed". Provided that Land Title Guarantee Company conducts the closing of the insured transaction and is responsible for recording the legal documents from the transaction, exception number 5 will not appear on the Owner's Title Policy and the Lenders Policy when issued.

Note: Affirmative mechanic's lien protection for the Owner may be available (typically by deletion of Exception no. 4 of Schedule B, Section 2 of the Commitment from the Owner's Policy to be issued) upon compliance with the following conditions:

- (A) The land described in Schedule A of this commitment must be a single family residence which includes a condominium or townhouse unit.
- (B) No labor or materials have been furnished by mechanics or material-men for purposes of construction on the land described in Schedule A of this Commitment within the past 6 months.
- (C) The Company must receive an appropriate affidavit indemnifying the Company against un-filed mechanic's and material-men's liens.
- (D) The Company must receive payment of the appropriate premium.
- (E) If there has been construction, improvements or major repairs undertaken on the property to be purchased within six months prior to the Date of Commitment, the requirements to obtain coverage for unrecorded liens will include: disclosure of certain construction information; financial information as to the seller, the builder and or the contractor; payment of the appropriate premium fully executed Indemnity Agreements satisfactory to the company, and, any additional requirements as may be necessary after an examination of the aforesaid information by the Company.

No coverage will be given under any circumstances for labor or material for which the insured has contracted for or agreed to pay.

Note: Pursuant to CRS 10-11-123, notice is hereby given:

This notice applies to owner's policy commitments disclosing that a mineral estate has been severed from the surface estate, in Schedule B-2.

- (A) That there is recorded evidence that a mineral estate has been severed, leased, or otherwise conveyed from the surface estate and that there is substantial likelihood that a third party holds some or all interest in oil, gas, other minerals, or geothermal energy in the property; and
- (B) That such mineral estate may include the right to enter and use the property without the surface owner's permission.

Note: Pursuant to CRS 10-1-128(6)(a), It is unlawful to knowingly provide false, incomplete, or misleading facts or information to an insurance company for the purpose of defrauding or attempting to defraud the company. Penalties may include imprisonment, fines, denial of insurance, and civil damages. Any insurance company or agent of an insurance company who knowingly provides false, incomplete, or misleading facts or information to a policyholder or claimant for the purpose of defrauding or attempting to defraud the policyholder or claimant with regard to a settlement or award payable from insurance proceeds shall be reported to the Colorado Division of Insurance within the Department of Regulatory Agencies.

Note: Pursuant to Colorado Division of Insurance Regulations 8-1-3, notice is hereby given of the availability of a closing protection letter for the lender, purchaser, lessee or seller in connection with this transaction.

Note: Pursuant to CRS 10-1-11(4)(a)(1), Colorado notaries may remotely notarize real estate deeds and other documents using real-time audio-video communication technology. You may choose not to use remote notarization for any document.



**JOINT NOTICE OF PRIVACY POLICY OF
LAND TITLE GUARANTEE COMPANY,
LAND TITLE GUARANTEE COMPANY OF SUMMIT COUNTY
LAND TITLE INSURANCE CORPORATION AND
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY**

This Statement is provided to you as a customer of Land Title Guarantee Company as agent for Land Title Insurance Corporation and Old Republic National Title Insurance Company.

We want you to know that we recognize and respect your privacy expectations and the requirements of federal and state privacy laws. Information security is one of our highest priorities. We recognize that maintaining your trust and confidence is the bedrock of our business. We maintain and regularly review internal and external safeguards against unauthorized access to your non-public personal information ("Personal Information").

In the course of our business, we may collect Personal Information about you from:

- applications or other forms we receive from you, including communications sent through TMX, our web-based transaction management system;
 - your transactions with, or from the services being performed by us, our affiliates, or others;
 - a consumer reporting agency, if such information is provided to us in connection with your transaction;
- and
- The public records maintained by governmental entities that we obtain either directly from those entities, or from our affiliates and non-affiliates.

Our policies regarding the protection of the confidentiality and security of your Personal Information are as follows:

- We restrict access to all Personal Information about you to those employees who need to know that information in order to provide products and services to you.
- We may share your Personal Information with affiliated contractors or service providers who provide services in the course of our business, but only to the extent necessary for these providers to perform their services and to provide these services to you as may be required by your transaction.
- We maintain physical, electronic and procedural safeguards that comply with federal standards to protect your Personal Information from unauthorized access or intrusion.
- Employees who violate our strict policies and procedures regarding privacy are subject to disciplinary action.
- We regularly assess security standards and procedures to protect against unauthorized access to Personal Information.

WE DO NOT DISCLOSE ANY PERSONAL INFORMATION ABOUT YOU WITH ANYONE FOR ANY PURPOSE THAT IS NOT STATED ABOVE OR PERMITTED BY LAW.

Consistent with applicable privacy laws, there are some situations in which Personal Information may be disclosed. We may disclose your Personal Information when you direct or give us permission; when we are required by law to do so, for example, if we are served a subpoena; or when we suspect fraudulent or criminal activities. We also may disclose your Personal Information when otherwise permitted by applicable privacy laws such as, for example, when disclosure is needed to enforce our rights arising out of any agreement, transaction or relationship with you.

Our policy regarding dispute resolution is as follows: Any controversy or claim arising out of or relating to our privacy policy, or the breach thereof, shall be settled by arbitration in accordance with the rules of the American Arbitration Association, and judgment upon the award rendered by the arbitrator(s) may be entered in any court having jurisdiction thereof.



Commitment For Title Insurance

Issued by Old Republic National Title Insurance Company

NOTICE

IMPORTANT—READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACONTRACTUAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON. .

COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and the Commitment Conditions, Old Republic National Title Insurance Company, a Minnesota corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured. If all of the Schedule B, Part I—Requirements have not been met within 6 months after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

COMMITMENT CONDITIONS

1. DEFINITIONS

- (a) "Knowledge" or "Known": Actual or imputed knowledge, but not constructive notice imparted by the Public Records.
- (b) "Land": The land described in Schedule A and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- (c) "Mortgage": A mortgage, deed of trust, or other security instrument, including one evidenced by electronic means authorized by law.
- (d) "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- (e) "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
- (f) "Proposed Policy Amount": Each dollar amount specified in Schedule A as the Proposed Policy Amount of each Policy to be issued pursuant to this Commitment.
- (g) "Public Records": Records established under state statutes at the Commitment Date for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge.
- (h) "Title": The estate or interest described in Schedule A.

2. If all of the Schedule B, Part I—Requirements have not been met within the time period specified in the Commitment to Issue Policy, Commitment terminates and the Company's liability and obligation end.

3. The Company's liability and obligation is limited by and this Commitment is not valid without:

- (a) the Notice;
- (b) the Commitment to Issue Policy;
- (c) the Commitment Conditions;
- (d) Schedule A;
- (e) Schedule B, Part I—Requirements; and
- (f) Schedule B, Part II—Exceptions; and
- (g) a counter-signature by the Company or its issuing agent that may be in electronic form.

4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company shall not be liable for any other amendment to this Commitment.

5. LIMITATIONS OF LIABILITY

- (a) The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
 - i. comply with the Schedule B, Part I—Requirements;
 - ii. eliminate, with the Company's written consent, any Schedule B, Part II—Exceptions; or
 - iii. acquire the Title or create the Mortgage covered by this Commitment.
- (b) The Company shall not be liable under Commitment Condition 5(a) if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- (c) The Company will only have liability under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- (d) The Company's liability shall not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.
- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.

- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I—Requirements have been met to the satisfaction of the Company.
- (g) In any event, the Company's liability is limited by the terms and provisions of the Policy.

6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT

- (a) Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- (b) Any claim must be based in contract and must be restricted solely to the terms and provisions of this Commitment.
- (c) Until the Policy is issued, this Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- (d) The deletion or modification of any Schedule B, Part II—Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- (e) Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- (f) When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

7. IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for the purpose of providing closing or settlement services.

8. PRO-FORMA POLICY

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

9. ARBITRATION

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Policy Amount is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <http://www.alta.org/arbitration>.

IN WITNESS WHEREOF, Land Title Insurance Corporation has caused its corporate name and seal to be affixed by its duly authorized officers on the date shown in Schedule A to be valid when countersigned by a validating officer or other authorized signatory.

Issued by:
Land Title Guarantee Company
3033 East First Avenue Suite 600
Denver, Colorado 80206
303-321-1880



Craig B. Rants, Senior Vice President



OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
A Stock Company
400 Second Avenue South, Minneapolis, Minnesota 55401
(612) 371-1111

By  *C. Monroe* President

Attest  *David Wold* Secretary

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Old Republic National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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CRESTVIEW WATER & SANITATION DISTRICT

Thistle Creek QOF I, L.P.
Michael Christensen
14034 South 145th East, Suite 301
Draper, UT 84020

March 8, 2021

RE: Water and Sanitary Sewer Service, 6100 Federal Blvd.
Will Serve Letter

To Whom it May Concern:

Please be advised that Crestview Water and Sanitation District is willing to provide treated water and sanitary sewer service to a possible development on the parcel no. 0182508211004 with the address of 6100 Federal Blvd. in Adams County, Colorado that is wholly within the Crestview Water and Sanitation District boundaries.

Prior to creating a layout and filing a plat for the development, the developer should have a pre-design meeting with Crestview, as the developer MUST allow for the installation of adequate water mains in strict accordance with Denver Water Engineering Standards and Crestview Rules and Regulations and engineering requirements. Sanitary sewer mains must also be designed in accordance with Crestview Rules and Regulations and engineering requirements. The landowner/developer is responsible for all costs related to the installation of required water and sewer mains. The landowner/developer is responsible for all utility modeling, engineering studies and plan development/review costs. All water and sewer mains and appurtenances shall be installed at the land owner/developer's expense and deeded free and clear to the District prior to the issuance of any water or sewer taps.

Crestview Water & Sanitation District provides its drinking water to the residents of the District by means of a wholesale water purchasing contract with Denver Water. As part of the Contract, Denver Water requires Crestview to adhere to the Denver Water engineering standards including modeling of Crestview's water distribution system. Denver Water has determined that there is NOT adequate water supply into Crestview for fire flows for additional growth within Crestview. Denver Water is requiring the installation of a master meter and a twelve (12) inch water supply beginning at approximately 5800 Lowell Blvd. going north and attaching to the existing eight (8) inch water main at 62nd avenue & Lowell boulevard. No plans for future developments will be approved without the inclusion of the aforementioned master meter and 12 inch water main.

With townhomes and multi-family units, Crestview requires that the water and sanitary services be a minimum of five (5) feet from both property lines and a minimum of ten (10) feet of separation between the services.

Current connection fees can be provided by contacting our office. Any water and/or sewer services must be approved by Crestview and connected to the appropriate main lines and installed into its permanent structure's foundation prior to completion of the construction of said structure.

Crestview requires a signature of acceptance of this Will Serve letter by the owner/developer prior to scheduling a pre-design meeting with Crestview. Please provide a copy of this signed Will Serve letter when scheduling a pre-design meeting.

Signature of owner/developer representative

Date

If you have any questions or require additional information, please contact our office.

Sincerely,



Mitchell T. Terry
District Manager
Crestview Water & Sanitation District



WILL SERVE LETTER

March 9, 2021

Thistle Creek QOF I, L.P.
Michael Christensen
14034 South 145th East, Suite 301
Draper, UT 84020

Re: 6100 Federal Boulevard, Denver CO 80221

Dear Mr. Christensen,

This letter is to confirm that Xcel Energy is your utility provider for natural gas and electrical service. In accordance with our tariffs, on file with and approved by the Colorado Public Utilities Commission, gas and electric facilities can be made available to serve the project at 6100 Federal Boulevard, Denver CO 80221.

Your utility service(s) will be provided after the following steps are completed:

- ***Application submitted to Public Service's "Builders Call Line (BCL)"*** – once your application is accepted you will be assigned a design department representative who will be your primary point of contact
- ***Utility design is completed*** – you must provide your design representative with the site plan, the one line diagrams, and panel schedules for electric and gas loads if applicable
- ***All documents provided by design representative are signed and returned***
- ***Payment is received***
- ***Required easements are granted*** - you must sign and return applicable easement documents to your Right-of-Way agent
- ***Site is ready for utility construction***

A scheduled in-service date will be provided once these requirements have been met.

It is important to keep in mind that the terms and conditions of utility service, per our tariffs, require that you provide adequate space and an easement on your property for all gas and electric facilities required to serve your project, including but not limited to gas and electrical lines and meters, transformers, and pedestals. General guidelines for these requirements can be found at [Site Requirements. https://www.xcelenergy.com/staticfiles/xcel-responsive/Admin/Managed Documents & PDFs/Xcel-Energy-Standard-For-Electric-Installation-and-Use.pdf](https://www.xcelenergy.com/staticfiles/xcel-responsive/Admin/Managed Documents & PDFs/Xcel-Energy-Standard-For-Electric-Installation-and-Use.pdf) Easement requirements can be found at [Utility Design and Layout](#).

Xcel Energy looks forward to working with you on your project and if I can be of further assistance, please contact me at the phone number or email listed below.

Sincerely,

Tawni Herren

Tawni Herren
Xcel Energy | Responsible By Nature
Design Contractor for Xcel Energy
555 Zang Street Suite 250
Lakewood, CO 80228

Pike Engineering

Mailing address: Pike Engineering
555 Zang, Suite 250
Lakewood, CO 80228



**ADAMS COUNTY FIRE RESCUE
FIRE PREVENTION BUREAU**

7980 Elmwood Lane
Denver, CO 80221
P: (303) 539-6862
E: fireprevention@acfpd.org

Will Serve Letter

Project:	
Location:	
Description:	
Reviewer:	

To whom it may concern,

The property listed above is within the boundaries of Adams County Fire Protection District and will be covered by its services. Please be aware that, at a minimum, we will need to complete a site development plan review and construction reviews required by the fire code. The first submittal is generally the site development plan review and needs to include a full set of civil plans, an auto turn exhibit, and the results of a fire flow test. If you have any questions regarding this location, please call 303-539-6862 and we will be able to answer your questions.

Sincerely,

Whitney Even
Acting Fire Marshal
Adams County Fire Protection District

LEGAL DESCRIPTION
CLEAR CREEK TRANSIT VILLAGE

ALL THAT REAL PROPERTY DESCRIBED AND CONVEYED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED JUNE 23, 2020 AT RECEPTION No. 2020000056492, DESCRIBED AS FOLLOWS:

LOT 2, BLOCK 1, BRANNAN'S SUBDIVISION FILING NO. 2, ACCORDING TO THE PLAT RECORDED MAY 12, 1994 AT RECEPTION NO. B1247454, AND AS AMENDED BY AFFIDAVIT OF CORRECTION RECORDED JANUARY 19, 1995 IN BOOK 4455 AT PAGE 542, EXCEPT THAT PART CONVEYED TO THE COUNTY OF ADAMS BY WARRANTY DEED MADE A PART OF RESOLUTION RECORDED MAY 25, 1995 IN BOOK 4518 AT PAGE 777, COUNTY OF ADAMS, STATE OF COLORADO.

TOGETHER WITH TRACT A, BRANNAN'S SUBDIVISION - FILING NO. 1, ACCORDING TO THE PLAT RECORDED OCTOBER 31, 1973 AT RECEPTION NO. A020815, COUNTY OF ADAMS, STATE OF COLORADO.

THE ABOVE DESCRIBED SUBJECT PROPERTY IS ALSO DESCRIBED AS FOLLOWS:

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 8, FROM WHENCE THE SOUTHEAST CORNER OF SAID NORTHWEST QUARTER (NW 1/4) BEARS SOUTH 00°00'36" WEST A DISTANCE OF 2635.75 FEET, WITH ALL BEARINGS HEREIN RELATED THERETO; THENCE ALONG THE EAST LINE OF SAID NORTHWEST QUARTER (NW 1/4), SOUTH 00°00'36" WEST, 1977.44 FEET TO A POINT; THENCE LEAVING SAID EAST LINE, NORTH 89°45'17" WEST, 50.00 FEET TO THE WEST LINE OF FEDERAL BOULEVARD, AND BEING THE NORTHEAST CORNER OF TRACT A OF BRANNAN'S SUBDIVISION FILING No. 1, AND BEING THE POINT OF BEGINNING;

THENCE ALONG SAID WEST LINE, SOUTH 00°00'36" WEST, 658.53 FEET TO A POINT;
THENCE LEAVING SAID WEST LINE, SOUTH 89°51'23" WEST, 30.00 FEET TO A POINT;
THENCE SOUTH 00°00'04" WEST, 31.23 FEET TO A POINT;
THENCE SOUTH 83°46'03" WEST, 233.62 FEET TO A POINT;
THENCE SOUTH 61°35'26" WEST, 404.96 FEET TO A POINT ON THE BOUNDARY OF LOT 2 OF BRANNAN'S SUBDIVISION FILING No. 2;
THENCE ALONG SAID BOUNDARY THE FOLLOWING FOUR (4) COURSES:

1. SOUTH 03°44'30" WEST, 159.68 FEET TO A POINT;
2. NORTH 85°27'01" WEST, 446.37 FEET TO A POINT;
3. NORTH 03°30'34" EAST, 1038.07 FEET TO A POINT;
4. SOUTH 89°45'17" EAST, 1010.39 FEET TO THE POINT OF BEGINNING.

CONTAINING 918,827 SQUARE FEET OR 21.093 ACRES OF LAND, MORE OR LESS.

End of Legal Description.

FRANK M. ZWOLINSKI, P.L.S.
Colorado License No. 38060
For and on behalf of Power Survey Company, Inc.
(303) 702-1617

From: [Greg Barnes](#)
To: [Jeremy Lott](#)
Cc: [Bill Mahar](#)
Subject: RE: CCTV Tax Certificate Question
Date: Thursday, March 9, 2023 3:00:13 PM
Attachments: [image009.png](#)
[image010.png](#)
[image012.png](#)

Hi Jeremy,

All of those requirements will need to be fulfilled before these cases can be approved by the Board of County Commissioners. Please submit a copy of this e-mail with your applications, so that our E-Permit Center will know that I have waived this submittal requirement during the application intake. You will be expected to provide this items prior to the final hearing approving this project.

Greg Barnes Pronouns: he/him/his

Principal Planner, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

My work schedule is:

Monday: Alternating weeks of: 7 am – 3:30 pm and off (work from home)

Tuesday: 7:30 am – 5:00 pm (in office)

Wednesday: 7:00 am – 4:30 pm (work from home)

Thursday: 7:30 am – 5:00 pm (in office)

Friday: 7:30 am – 5:00 pm (in office)

From: Jeremy Lott <JLott@Norris-Design.com>

Sent: Thursday, March 9, 2023 10:57 AM

To: Greg Barnes <GJBarnes@adcogov.org>

Cc: Bill Mahar <bmahar@norris-design.com>

Subject: CCTV Tax Certificate Question

Please be cautious: This email was sent from outside Adams County

Hi Greg –

I left you a voicemail to confirm one thing regarding tax certificates but wanted to follow up in case this is easier. We're wanting to confirm if the following process would work and that applications wouldn't get kicked back or delayed.

1. Pay the first half of the taxes (due date March 1)

2. Obtain Updated/Certified Tax Certificates prior to submittal.
3. Submit Applications for FDP, Plat, Civil Documents/Engineering Review (including tax certificates showing first half of taxes paid).
4. Pay the second half of taxes by June 15.
5. Provide updated tax certificates with any submittals that go in after June 15.

Please let us know when you get a chance. Thank you!



Jeremy Lott, AICP (he/him)
Associate | Planner

1101 Bannock Street | Denver, CO 80204
P 303.892.1166 | D 719.423.4732



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ADAMS COUNTY FIRE RESCUE FIRE PREVENTION BUREAU

7980 Elmwood Lane
Denver, CO 80221
P: (303) 539-6862
E: fireprevention@acfpd.org

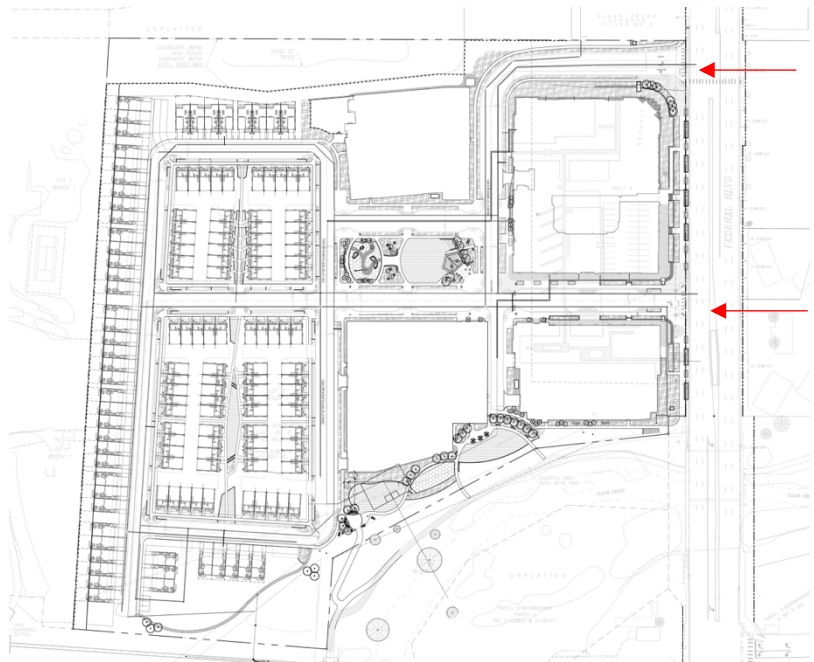
Project:	Clear Creek Transit Village	Type:	Courtesy Review
Address:	6001 Federal Boulevard	Date:	4/19/21
Reviewed By:	Acting Fire Marshal Whitney Even		

To whom it may concern:

The proposed Clear Creek Transit Village Project is an exciting project and we are thrilled to see it continue to move forward. With that said, it is important to recognize the change that such a project brings to this area and the impact that it may have on emergency response. With the plan of several large multistory buildings and many townhomes, the proposed development will dramatically increase the density of this area. Naturally, an increase in density typically contributes to a higher number of emergencies calls. It is also important to recognize that the podium style buildings proposed present unique operational challenges when it comes to a fire incident response. Due to the characteristics mentioned above, the presence of two access points for emergency response is much needed. Based on the size of this project, it is likely that the number of dwelling units will exceed 200. When such is the case, the adopted fire code requires that two separate and approved fire apparatus access roads regardless of whether the buildings are equipped with an approved automatic sprinkler system be provided. Where possible, such access roads shall be placed a distance apart equal to not less than one-half of the length of the maximum overall diagonal dimension of the property or area to be served, measured in a straight line between accesses. The proposed access points likely do not meet the separation distance. However, we do understand that the geography of this parcel makes meeting this distance difficult (if not impossible).

Sincerely,

Whitney Even
Acting Fire Marshal
Adams County Fire Rescue





SUBDIVISION-MAJOR / FINAL

Application submittals must include all documents on this checklist as well as this page. Please use the reference guide (pg. 3) included in this packet for more information on each submittal item.

All applications shall be submitted electronically to epermitcenter@adcogov.org. If the submittal is too large to email as an attachment, the application may be sent as an unlocked OneDrive link. Alternatively, the application may be delivered on a flash drive to the One-Stop Customer Service Center. All documents should be combined in a single PDF. Once a complete application has been received, fees will be invoiced and payable online at <https://permits.adcogov.org/CitizenAccess/>.

1. Development Application Form (pg. 5)
 2. Application Fees (pg. 2) To be paid after application accepted
 3. Written Explanation of the Project
 4. Site Plan Showing Proposed Development
 5. Copy of Plat prepared by Registered Land Surveyor (pg. 7)
 6. Subdivision Improvement Agreement (SIA) To come with subsequent submittal
 7. School Impact Analysis (contact applicable District)
 8. Fire Protection Report (required prior to Public Hearing) Final report to come prior to Public Hearing
 9. Proof of Ownership
 10. Proof of Water and Sewer Services
 11. Proof of Utilities
 12. Legal Description
 13. Statement of Taxes Paid Initial submittal requirement waived - due by Final Hearings
 14. Certificate of Notice to Mineral Estate Owners/and Lessees To be submitted closer to Final Hearings
 15. Certificate of Surface Development To be submitted closer to Final Hearings
 16. Subdivision Engineering Review application (separate [application](#))¹ Full Submittal Included in separate PDF
- continued on next page...*



Application Fees	Amount	Due
Major Subdivision (final plat)	\$1,600	After complete application received
Adams County Health Department	\$150 (central utilities - Level 1), \$210 (individual septic system - Level 2)	After 1st Staff Review is Completed
Soil Conservation	\$100 (less than 5 lots) \$150 (more than 5 lots)	Due at preliminary plat
Colorado Geological Survey	\$600 (1-3 dwellings and less than 100 ac) \$900 (< 3 dwellings and less than 100 ac) \$1,550 (between 100 and 500 acres) \$2,500 (500 acres or more)	Due at preliminary plat
Engineering Review	\$1,000 (less than 5 acres) \$2,500 (5-25 acres) \$7,500 (greater than 25 acres)	Separate application ¹
Copying	\$5 per page	Prior to public hearing
Recording *made payable to Clerk and Recorder	\$13 first page, \$10 each additional page	Prior to public hearing
Public Land Dedication	Determined during staff review of project	Prior to public hearing

¹ - A new engineering review will not be required if one is already in progress for the proposed project. This review/fee is due at Preliminary Plat and should not impose another review fee.

NOTE: A subdivision engineering review may not be required if the project is determined not to require public improvements

Adams County Community & Economic Development Regulation 2-02-19-04-03

WHO CAN INITIATE A FINAL PLAT

A final plat may be proposed by, without limitation, the owner(s) of, or person having an interest in the property to be subdivided. A final plat may only be submitted if a preliminary plat for the subject property has been approved. The final plat shall conform to the preliminary plat.

Major Subdivision (Final Plat) - Guide to Development Application Submittal

The submittal documents for all Land Use/Development Applications are listed below. Detailed explanations of the submittal documents are also provided.

All development application submittals shall comprise of one (1) electronic copy (USB) and one (1) hard copy of each document. **Application submittals that do not conform to these guidelines shall not be accepted.**

3. Written Explanation of the Project:

- A clear and concise, yet thorough, description of the proposal. Please include, if applicable, timeframe, purpose of project, and improvements that will be made to the site

4. Site Plan Showing Proposed Development:

- A detailed drawing of existing and proposed improvements
- Including:
 - Streets, roads, and intersections
 - Driveways, access points, and parking areas
 - Existing and proposed structures, wells, and septic systems,
 - Easements, utility lines, and no build or hazardous areas
 - Scale, north arrow, and date of preparation
- An Improvement Location Certificate or Survey may be required during the official review

5. Copy of Plat Prepared by Registered Land Surveyor

- A map or maps together with supporting documentation of certain described land providing permanent and accurate record of the legal description, dedications, exact size, shape, and location of lots, blocks, streets, easements, and parcels

6. Subdivision Improvements Agreement:

- This agreement addresses the manner, timing, and responsibility of completion of all required public improvements (i.e. curb, gutter, and sidewalk)
- Shall include the Word version of the Subdivision Improvements Agreement, all exhibits, and a collateral estimate

7. School Impact Analysis:

- Contact the applicable school district for the analysis
- Should include the increase in elementary, middle, and high school students and the existing school sites and structure of the applicable district in which the subdivision is proposed to be located

8. Fire Protection Report:

- Shall discuss the adequacy of protection within the propose subdivision and be approved by the appropriate fire district

9. Proof of Ownership:

- A deed may be found in the Office of the Clerk and Recorder
- A title commitment is prepared by a professional title company

10. Proof of Water:

- Public utilities - A written statement from the appropriate water district indicating that they will provide service to the property **OR** a copy of a current bill from the service provider
- Private utilities - Well permit(s) information can be obtained from the Colorado State Division of Water Resources at (303) 866-3587

Proof of Sewer:

- Public utilities - A written statement from the appropriate sanitation district indicating that they will provide service to the property **OR** a copy of a current bill from the service provider
- Private utilities - A written statement from Adams County Health indicating the viability of obtaining Onsite Wastewater Treatment Systems

11. Proof of Utilities (Gas, Electric, etc):

- A written statement from the appropriate utility provider indicating that they will provide service to the property
- Copy of a current bill from the service provider

12. Legal Description:

- Geographical description used to locate and identify a property
- Visit <http://gisapp.adcogov.org/quicksearch/> to find the legal description for your property

13. Statement of Taxes Paid:

- All taxes on the subject property must be paid in full. Please contact the Adams County Treasurer's Office
- Or <https://adcotax.com/treasurer/web/>

14-15. Certificate of Notice to Mineral Estate Owners/ Certificate of Surface Development:

- The State of Colorado requires notification to mineral rights owners of applications for surface development (i.e. zoning, plats, etc.)
- Mineral or Surface right owners may be found in the title commitment for the subject property
- You may also search the Office of the Clerk and Recorder for any recorded deeds, easements, or other documents.

Subdivision Engineering Review

Level 1-Storm Drainage Plan:

- A level 1 Storm Drainage Plan is a preliminary design plan showing existing and proposed site drainage features or improvements and, is intended to show how the storm drainage will be mitigated.
- See Appendix B of the Development Standards for a plan preparation checklist

Level 2-Storm Drainage Study (SDS):

- A level 2 SDS is a preliminary design report that describes the existing and proposed drainage features and, includes a hydrologic analysis of the proposed site. A Level 2 SDS also includes a drainage plan.
- See Appendix B of the Development Standards for a plan preparation checklist

Level 3-Storm Drainage Study (SDS):

- A level 3 SDS is a preliminary design report that describes the existing and proposed drainage features, includes a hydrologic analysis of the proposed site and hydraulic analysis of all proposed drainage mitigation measures. A Level 3 SDS also includes a drainage plan and construction plans for all drainage mitigation features.
- See Appendix B of the Development Standards for a plan preparation checklist

Traffic Impact Study:

- Intended to forecast and mitigate the transportation and traffic impacts of a proposed land use development or redevelopment project
- See Chapter 8 of the Adams County Development Standards for requirements

Erosion and Sediment Control Plans:

- Erosion and Sediment Control (ESC) plans are construction plans showing the proposed Best Management Practices, or BMP's, that will be used to mitigate erosion and the transport of sediment from a site under construction.
- ESC plans are often done in three (3) phases: Initial, Interim and, Final.
- These plans must also include installation details for each of the BMP's.

Construction / Engineering Design Plans:

- A set of maps and/or drawings showing how a proposed development is to be constructed.
- The plans must include:
 - site maps of the existing conditions and proposed improvements,
 - installation/construction details for all proposed improvements,
 - survey control (horizontal and vertical) for locating the improvements and,
 - all necessary specification for the products to be used.
- Construction plans are often broken out for specific improvements; for example: site plan, grading plan, waterline improvement plans, roadways improvements plans, etc.



Application Type:

<input type="checkbox"/> Conceptual Review	<input type="checkbox"/> Preliminary PUD	<input type="checkbox"/> Temporary Use
<input type="checkbox"/> Subdivision, Preliminary	<input type="checkbox"/> Final PUD	<input type="checkbox"/> Variance
<input checked="" type="checkbox"/> Subdivision, Final	<input type="checkbox"/> Rezone	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Plat Correction/ Vacation	<input type="checkbox"/> Special Use	<input type="checkbox"/> Other: _____

PROJECT NAME:

APPLICANT

Name(s): Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

OWNER

Name(s): Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

TECHNICAL REPRESENTATIVE (Consultant, Engineer, Surveyor, Architect, etc.)

Name: Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

DESCRIPTION OF SITE

Address:

City, State, Zip:

Area (acres or square feet):

Tax Assessor Parcel Number:

Existing Zoning:

Existing Land Use:

Proposed Land Use:

Have you attended a Conceptual Review? YES NO (N/A)

If Yes, please list PRE#:

I hereby certify that I am making this application as owner of the above described property or acting under the authority of the owner (attached authorization, if not owner). I am familiar with all pertinent requirements, procedures, and fees of the County. I understand that the Application Review Fee is non-refundable. All statements made on this form and additional application materials are true to the best of my knowledge and belief.

Name: Date:

Owner's Printed Name

Name:

Owner's Signature

March 27, 2023

Greg Barnes
Principal Planner
Adams County Community and Economic Development
4430 South Adams County Parkway, 1st Floor, Suite W2000A
Brighton, CO 80601

RE: Clear Creek Transit Village – Final Development Plan and Final Plat

Dear Mr. Barnes,

On behalf of our clients, Clear Creek Development, LLC, we are pleased to submit the Final Development Plan (FDP) and Final Plat applications for the Clear Creek Transit Village.

In order to submit an FDP and Final Plat applications, Adams County requires that we receive prior approval from the Board of County Commissioners of the Preliminary Plat and the Preliminary Development Plan (PDP). Those applications were approved in November of 2022. Additional information about the PDP and Preliminary Plat is included in the Project Overview section.

Below are the various project contacts and consultants which comprise our team:

Applicant and Current Owner

Clear Creek Development, LLC
14034 S. 145 E. #301
Draper, Utah 84020
801-809-9294
Contact: Michael Christensen

Applicant

Pacific North Enterprises, LLC
900 Castleton Drive, Suite 118
Castle Rock, CO 80109
303-955-5291
Contact: Bryan Byler

Civil Engineer

Roscoe Engineering
703 Walsen Ave,
Walsenburg, CO 81089
720-934-7735
Contact: Bruce Roscoe

Planner/ Landscape Architect

Norris Design
1101 Bannock St.
Denver, Colorado 80204
303-892-1166
Contact: Bill Mahar

Architect

Godden Sudik Architects
5975 S. Quebec St.
Centennial, CO 80111
303-455-4437
Contact: Alex Duran

Transportation Engineer

Fox Tuttle Transportation Group
1624 Market Street, Suite 202
Denver, CO 80202
303-652-3571
Contact: Steve Tuttle

Dry Utility Coordination

Kimley-Horn
380 Interlocken Crescent
Suite 100
Broomfield, CO 80021
720-642-8650
Contact: Justin Knowles

Enclosed along with this letter please find the following submittal documents:

Final Development Plan:

1. Signed Development Application
2. Copy of Final Development Plan including Site Plan
3. Final Plat Application (see below)
4. Title Commitment
5. Will Serve Letters
6. Tax Certificate Waiver Email
7. Additional Adams County Fire Rescue Letter

Major Plat:

1. Signed Development Application
2. Site Plan
3. Copy of Plat
4. Proof of Fire Protection
5. School Impact Analysis
6. Title Commitment
7. Will Serve Letters
8. Legal Description
9. Tax Certificate Waiver Email
10. Subdivision Engineering Review Application

Subdivision Engineering Review Application:

1. Signed Development Application
2. Construction Plans including Sediment and Erosion Control Plans
3. Drainage Report
4. Traffic Impact Study
5. Geotechnical Report
6. Construction Plans for Federal Boulevard Improvements
7. Traffic Signal Plan

Site Location

The proposed Clear Creek Transit Village development is situated on approximately 21 acres located directly west of Federal Boulevard, between West 60th and West 61st Avenues in Adams County, CO. Vehicular access to the site is provided via Federal Boulevard, and Interstate 76 is located approximately one-quarter mile to the south. The site borders the Clear Creek riparian area and is located near the Lake Sangraco reservoir and the Clear Creek Federal Transit Station. Trail, commuter rail, and bus access all exist within proximity to the site, which provide a transit-rich environment and offers a range of commuting and mobility options. The proposed development offers convenient access to downtown, which can be reached in approximately 15 minutes via car or commuter rail.

Adjacent land uses include a recycling center to the north and a used car dealership to the south. Lake Sangraco is located to the northwest and west and residential uses are located beyond the lake.

Project Overview

The original PDP for this site which provides the overall zoning and basic site layout for the site was approved in 2012, amended in 2015, and amended again recently in September 2022. The most recent PDP amendment was minor and revised the roadway alignment to be consistent with the preliminary plat; this did not significantly vary the overall roadway network, but rather ensured that the network met the utility and easement requirements as required by Crestview Water and Sanitation District needed to serve the future project. Additionally, street sections and landscape concepts which were outlined in the PDP were revised to meet width and utility specifications. Much like the PDP, the Final Development Plan provides specific site engineering as well as layout of buildings, streets, and common areas.

The proposed development will bring a high-quality mix of retail and residential uses to a visible and accessible location. A total of 937 residential units and approximately 31,000 square feet of retail space are proposed within a range of building types linked by a common urban development pattern. Six- and seven-story multifamily buildings with ground-floor retail space are situated adjacent to Federal Boulevard on the east end of the site, and a gradual transition carries building styles down to two and three-story townhomes located at the west end of the community. In between, five-story mid-rise multifamily buildings that step down to two stories at the northern edge are positioned to provide a transition across the site and to the residential uses located beyond Lake Sangraco. The planning and design intent of the proposed community follows the existing standards created as part of the Planned Development Plan approved in 2015 and recently amended in the fall of 2022. The proposed plan is not intended to meet the maximum allowed buildout and density allowed by the PDP.

Below: Proposed site layout.



Below: Aerial perspective of proposed neighborhood looking southeast towards downtown Denver



Below: Central Park Concept



The proposed community is designed within the framework of the transit-oriented development pattern set forth in the PDP. The plan follows the design concepts established in the PDP and remains within approved densities and building coverages. In Adams County, attached single-family units, which include townhomes and duplexes, account for less than 9% of the housing stock. Townhomes proposed with this development will increase housing options for the region, while mixed-use buildings with new commercial space set in motion the County's goals of revitalizing Federal Boulevard's commercial centers (Adams County, 2012).

Architecture Concept

Clear Creek Transit Village contains a mix of residential and commercial buildings. The architecture will celebrate the interconnectivity of transit and is defined by connections, intersections, and overlaying modes. Massing and materials will appear woven together in the multifamily building design, and at least one material (in style, color, and application) will be chosen to be "woven" in from an adjacent building. A contemporary nod to this historical style will

further reinforce the celebration of connectivity. Streamline Moderne naturally lends itself to the architectural emphasis of movement, pattern, and inter-woven forms. This is not the Art Deco of Miami Beach, but a minimalistic, pure-form approach, making sophisticated gestures towards the historic style. Color palettes are to be masculine and subdued.

Below: The proposed multi-family buildings on the east side of the proposed Central Park.



Continuing the spirit of the District Neighborhood, the townhome architecture will have shared elements that reinforce the identity of the district. Massing will continue to reflect connections, intersections, and overlaying modes. Townhome massing and materials have a “woven” together feel and Streamline Moderne style. The architecture of the townhomes features brick masonry, accent siding, and low slope roofs. There are a mix of front and rear loaded 3-story townhomes as well and 2-story front loaded townhomes, each with private outdoor space.

Relationship to Adopted Plans

The Clear Creek Transit Village development falls within the influence of the 2012 Adams County Comprehensive Plan, 2014 Federal Boulevard Framework Plan, and 2017 Clear Creek Corridor Master Plan.

The 2012 Adams County Comprehensive Plan classifies the site’s context as an Activity Center, prescribing “high intensity residential, retail, [and] office” as the primary uses. Goals of the land use include providing an “adequate intensity and mix of uses to create a pedestrian environment and support transit” (Adams County, 2012). The proposed Clear Creek development, which includes residential, commercial, and mixed-use buildings is designed within this context and with an urban-scale density and development pattern. These features enable walkability and offer sufficient density to enable alternative mobility options, thereby meeting the goals of the Activity Center land use.

In the 2014 Federal Boulevard Framework Plan, Federal Boulevard is envisioned as a multimodal corridor that transitions away from its auto-centric origins and instead “accommodates a range of non-motorized travel modes and enhances adjacent businesses” (Adams County Planning, 2014). The Plan notes that a number of roadway and intersection improvements are being evaluated in order to address high rates of pedestrian and vehicular accidents and improve traffic flow, sidewalks, and lighting. Streetscape improvements proposed along Federal Boulevard within the Clear Creek Transit Village development include widened sidewalks, aesthetically pleasing landscaping, and a full-access, lighted intersection of 60th Avenue and Federal Boulevard.

The 2017 Clear Creek Corridor Master Plan identifies several future needs within this vicinity of Federal Boulevard, including enhanced pedestrian facilities and public park space (Adams County Parks, 2018). The proposed Clear Creek Transit Village development is designed to enhance pedestrian mobility along Federal Boulevard while enabling direct access to the Clear Creek Trail. The addition of green space adjacent to the trail will offer enhanced access to utilize Clear Creek as a natural amenity.

Multimodal Transportation Design

The Clear Creek Transit Village is to be located in a transit-rich environment that offers many transportation options including trail, commuter rail, and bus access. The Clear Creek Trail passes by the proposed Clear Creek Transit Village development and under Federal Boulevard, offering accessible recreation and transportation opportunities for existing and future residents. Additionally, the Clear Creek/Federal Station, which opened in 2016, is less than 1/4 mile away. Bus stops for Route 31 are directly adjacent to the site and are short distances from the proposed residences.

Designed with multimodal functionality in mind, Clear Creek Transit Village is designed to offer residents trail and transit access while enhancing recreation opportunities for the broader community. Proposed on-site improvements include:

- Safe, tree-lined sidewalks that enhance the pedestrian environment and set a precedent for future development.
- Wayfinding to encourage pedestrian movement for future residents and all sidewalk users.
- A full-movement intersection at the northeast entrance to the development, adding a controlled pedestrian crossing to Federal Boulevard.
- Green space and a new trail connection along Clear Creek will offer new opportunities for recreation while bringing Clear Creek's ecological benefits closer to residents.

Additionally, the development is designed within a pedestrian-oriented framework that allows for multimodal mobility throughout the site. The community features several elements that encourage walkability and enhance pedestrian safety, including:

- Curb extensions, or bulb outs, which increase pedestrian visibility to drivers while shortening crossing distance for pedestrians.
- Reduced curb radii to limit vehicle turning speeds at intersections, lessening the severity of vehicle-pedestrian conflicts (NACTO, n.d.).
- On-street parking which will provide additional parking spaces while helping to slow vehicular traffic and further enhance pedestrian safety

These proposed on-site improvements are designed within the framework of goals and policies set forth by Adams County to encourage alternative transportation choices, and to set a precedent of high-quality, pedestrian-oriented design along Federal Boulevard.

Below: Concept for Clear Creek Avenue at the intersection of Federal Boulevard.



Community Outreach

Over the past two years, the Clear Creek Transit Village Team has responded to various emails and phone calls from various residents and business owners within the vicinity of the property. Many of the questions focused on the status of the project review, questions about existing easements, and the proposed heights of the buildings on the west side of the development. During this time, we have held three neighborhood meetings and summaries of each meeting are provided below.

Neighborhood Meeting #1

We understand that community engagement is an important part of the transition between applicants. With that in mind, the project team held a virtual neighborhood meeting on Wednesday, October 21, 2020 from 6:30 p.m. to 8:00 p.m. via Zoom to introduce the new property owners and development team and listen and gain feedback on our preliminary design and planning concepts.

Letters were sent per Adams County requirements to 376 individual property owners within the vicinity of the property inviting them to the virtual neighborhood meeting. The meeting was attended to 16 members of the community as well as representatives of the project team. The project team gave a Power Point presentation of preliminary plans for the site and answered questions about the project's timeframe, site design, access, potential retail uses, and buffering from the community to the west of the site.

The project team also unveiled www.clearcreektransitvillage.net, a website which features project information (including the Power Point presentation shared at the neighborhood meeting) as well as a submission form which neighbors can use to submit comments directly to the project team. The website is in preliminary development and will be further developed as we move forward. Neighbors will be able to check this website for ongoing project updates.

Neighborhood Meeting #2

Our second neighborhood meeting was held on September 14, 2021. We had approximately 8 members of the public attend that virtual meeting and 11 members from the project team and Adams County representatives. A slide presentation was utilized during the meeting providing updates on project changes, building and landscape renderings of the future development and outlined next steps. Neighborhood residents inquired about the height of buildings in Planning Area 3. They asked about the proposed berm and fence and if they are still part of the project

components and project team members confirmed they remained they are included in the proposed plans and will also be enhanced with landscape buffers. There were questions about overall project timing that were addressed by members of the project team and a representative from Adams County. A question was posed about school capacity and a representative from Adams County Planning addressed that comment.

Neighborhood Meeting #3

The project team held a third neighborhood meeting on Thursday, February 17, 2022. Letters were sent to the property owners within the notification area. The team provided an update about the Subdivision Waiver from Private Streets process. The team provided an update on the preliminary plat, showed the current lot configuration, and focused on the lotting of the townhome area. They also discussed the review and upcoming hearing process for the preliminary plat. Approximately 5 neighborhood residents attended as well as 7 members of the project team.

Agency Coordination

Throughout this duration of this project, the team has reached out to the following agencies and stakeholder groups to understand their concerns and interests as they relate to the site:

- Adams County Planning and Engineering
- Federal Boulevard Corridor Study Coalition
- Adams County Parks, Open Space & Cultural Arts Department
- Adams County Fire Rescue
- Colorado Department of Transportation (CDOT)
- Metro Wastewater Reclamation District
- Crestview Water & Sanitation District
- Denver Water
- Mile High Flood District
- Regional Transit District (RTD)
- Tri-County Health Department

Throughout this process, the project team has focused on utility, water quality, and roadway requirements.

We have had numerous interactions with CDOT to address items which are to be reviewed during the FDP and Final Plat phase. Our transportation engineer has been coordinating with CDOT on the development and submittal of traffic signal plan for Federal Boulevard and we are also working on the submittal of an access permit application for Federal Boulevard as the previously granted access permits have expired. These items will be formally submitted after the initial submittal of the FDP and Final Plat applications.

We have worked with Crestview Water & Sanitation District, Denver Water, and Metro Wastewater to address utility and easement requirements. A letter is attached from Crestview Water & Sanitation District acknowledging that we have been and will continue to address their utility requirements and approaches. Through the process, they acknowledged the preliminary plat included the necessary easement language.

We have worked with Adams County Fire Rescue to make sure the roadways meet their requirements. A letter is attached from Adams County Fire Rescue stating a requirement of two points of access to Federal Boulevard.

We have met with the Regional Transportation District to coordinate on off-site improvements, such as utilities crossing their rail lines. We have also discussed bus shelter locations along Federal Boulevard, which will be coordinated through this review process with RTD.

In addition to the above, the following permits have been approved:

- Site Grading Permit (County) – GRD2020-00002
- Floodplain Use Permit (County) – WET2020-00012
- Stormwater Quality Permit (County) – CSI2020-00011
- Colorado Discharge Permit System (CDPHE) – COR400000, Cert. No. COR409218

Final Development Plan Approval Criteria

The approval criteria for Final Development Plans can be found in Section 2-02-11-04-05 of the Adams County Land Development Code:

1. *The FDP is in general conformity with the Adams County Comprehensive Plan and any applicable area plan.*

The proposed Final Development Plan is designed to support the mixed-use, transit-oriented development outlined in the Preliminary Development Plan. This is consistent with the Adams County Comprehensive Plan which designates this site as a Mixed-Use Activity Center. Site design has been informed by area plans including the Adams County Clear Creek Corridor Master Plan and the Federal Boulevard Framework Plan.

2. *The FDP conforms to the P.U.D. standards.*

This proposed Final Development Plan is in conformance to the standards and regulations outlined within the Preliminary Development Plan (PDP) which include land uses, maximum and minimum densities, building heights, building setbacks, and landscape concepts. Each proposed planning areas matches areas which were initially contemplated in the PDP. Additionally, the proposed structures meet architectural and materials standards as identified within the PDP.

3. *The FDP is consistent with any approved PDP for the property.*

The proposed Final Development Plan carries forth (and is consistent with) the roadway layout, standards of the Clear Creek Transit Village Preliminary Development Plan, approved in 2012, amended initially in 2015 and updated with a minor amendment in 2022.

4. *The FDP construction plans meet the requirements of these standards and regulations and have been approved by the Director of Community and Economic Development, all infrastructure and utility providers, the Health Department, and all other referral agencies.*

The FDP construction plans have been submitted with the applications for FDP and Final Plat. Through the review process, plans will be reviewed according to applicable standards and regulations and comments will be addressed as needed. We look forward to working through this process with the County and any applicable external agencies.

Final Plat Approval Criteria

This Final Plat complies with the Criteria for Approval outlined in Adams County Code Section 2-02-19-04-05 as follows:

1. The final plat is consistent and conforms to the approved preliminary plat.

The final plat is substantially the same as the preliminary plat. The blocks, lots, and tracts are in the same configuration as shown on the preliminary plat.

2. The Final plat is in conformance with the subdivision design standards.

The final plat includes subdivision design standards that meet the design criteria and standards of the Preliminary Plat and Preliminary Development Plan.

3. The applicant has provided evidence that a sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards.

Through the Preliminary Plat and Preliminary Development Plan Applications, the applicant has worked with the Crestview Water and Sanitation District who has provided a will serve letter to provide treated water to the site.

4. The applicant has provided evidence that a public sewage disposal system has been established and, if other methods of sewage are proposed, adequate evidence indicating that the system complies with state and local laws.

Through the Preliminary Plat and Preliminary Development Plan Applications, the applicant has worked with the Crestview Water and Sanitation District who has provided a will serve letter to provide sanitary services to the property.

5. The applicant has provided evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified by the applicant and the proposed uses of these areas are compatible with such conditions.

Applications for grading, inert fill permit, variance from the NRCO setback, floodplain use permit were submitted and approved. Initial grading and site preparation work has commenced on the site and the former buildings have been removed. This work has followed the appropriate approval criteria as required for the respective permits that are required for each of these site development applications. The necessary soils/geotech reports have been provided for review as well.

6. The proposed or constructed drainage improvements are adequate and comply with these standards and regulations.

Proposed drainage improvements have been designed to meet the standards for drainage improvements and water quality requirements as required by Adams County and applicable regulatory agencies.

7. Adequate public facilities or infrastructure, or cash-in-lieu, for impacts reasonably related to the proposed subdivision have been constructed or financially guaranteed through cash-in-lieu or a subdivision improvements agreement so the proposed subdivision will not negatively impact the levels of service of the County.

The applicant has worked with Adams County through the Preliminary Development Plan and Preliminary Plat process to provide improvements for public facilities and infrastructure including sidewalk improvements and bus stop upgrades while also providing on-site amenities which will not negatively impact levels of service in the County.



As this project transitions into the Final Development Plan and Final Plat phases, the overall character of the development will remain the same and, if nothing else, will be enhanced due to further information and details. This FDP meets the goals of the County's Comprehensive Plan and will bring additional transit-oriented housing and boost ridership through additional transportation options. We look forward to the continued collaboration with Adams County as we move forward through the process. Please do not hesitate to contact me if you have any comments, questions, or requests for additional information at 303.892.1166 or bmahar@norris-design.com.

Sincerely,

Bill Mahar, AICP
Principal



**Land Title Guarantee Company
Customer Distribution**



PREVENT FRAUD - Please remember to call a member of our closing team when initiating a wire transfer or providing wiring instructions.

Order Number: **ABC70787447.1**

Date: **03/08/2023**

Property Address: **6001 FEDERAL BLVD, DENVER, CO 80221**

PLEASE CONTACT YOUR CLOSER OR CLOSER'S ASSISTANT FOR WIRE TRANSFER INSTRUCTIONS

For Closing Assistance

For Title Assistance

Scott Bennetts
5975 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
(303) 850-4175 (Work)
sbennetts@ltgc.com

THISTLE CREEK CAPITAL
Attention: ZACH HARRIS
zach@thistlecreek.com
Delivered via: Electronic Mail

THISTLE CREEK CAPITAL
Attention: MICHAEL CHRISTENSEN
mike@thistlecreek.com
Delivered via: Electronic Mail

THISTLE CREEK CAPITAL
Attention: CAROL CHRISTENSEN
carol@thistlecreek.com
Delivered via: Electronic Mail



Land Title Guarantee Company
Estimate of Title Fees

Order Number: **ABC70787447.1**

Date: **03/08/2023**

Property Address: **6001 FEDERAL BLVD, DENVER, CO 80221**

Parties: **CLEAR CREEK DEVELOPMENT, LLC, A DELAWARE LIMITED LIABILITY COMPANY**

CLEAR CREEK DEVELOPMENT, LLC, A DELAWARE LIMITED LIABILITY COMPANY

Visit Land Title's Website at www.ltgc.com for directions to any of our offices.

Estimate of Title insurance Fees	
"ALTA" Owner's Policy 06-17-06	\$0.00
	Total \$0.00
If Land Title Guarantee Company will be closing this transaction, the fees listed above will be collected at closing.	
Thank you for your order!	

Note: The documents linked in this commitment should be reviewed carefully. These documents, such as covenants conditions and restrictions, may affect the title, ownership and use of the property. You may wish to engage legal assistance in order to fully understand and be aware of the implications of the effect of these documents on your property.

Chain of Title Documents:

[Adams county recorded 06/23/2020 under reception no. 202000056492](#)

[Adams county recorded 02/27/2009 under reception no. 2009000014043](#)

Plat Map(s):

[Adams county recorded 02/12/1994 under reception no. 1247454](#)

[Adams county recorded 10/31/1973 under reception no. 20815](#)

ALTA COMMITMENT

Old Republic National Title Insurance Company

Schedule A

Order Number: ABC70787447.1

Property Address:

6001 FEDERAL BLVD, DENVER, CO 80221

1. Effective Date:

03/06/2023 at 5:00 P.M.

2. Policy to be Issued and Proposed Insured:

"ALTA" Owner's Policy 06-17-06

\$0.00

Proposed Insured:

CLEAR CREEK DEVELOPMENT, LLC, A DELAWARE LIMITED
LIABILITY COMPANY

3. The estate or interest in the land described or referred to in this Commitment and covered herein is:

A FEE SIMPLE

4. Title to the estate or interest covered herein is at the effective date hereof vested in:

CLEAR CREEK DEVELOPMENT, LLC, A DELAWARE LIMITED LIABILITY COMPANY

5. The Land referred to in this Commitment is described as follows:

PARCEL 1:

LOT 2, BLOCK 1, BRANNAN'S SUBDIVISION FILING NO. 2,
AND AS AMENDED BY AFFIDAVIT OF CORRECTION RECORDED JANUARY 19, 1995 IN BOOK 4455 AT
PAGE [542](#),

EXCEPT THAT PART CONVEYED TO THE COUNTY OF ADAMS BY WARRANTY DEED MADE A PART OF
RESOLUTION RECORDED MAY 25, 1995 IN BOOK 4518 AT PAGE [777](#), COUNTY OF ADAMS, STATE OF
COLORADO.

PARCEL 2:

TRACT "A", BRANNAN'S SUBDIVISION, FILING NO. 1, COUNTY OF ADAMS, STATE OF COLORADO.

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**AMERICAN
LAND TITLE
ASSOCIATION**



ALTA COMMITMENT

Old Republic National Title Insurance Company

Schedule B, Part I

(Requirements)

Order Number: ABC70787447.1

All of the following Requirements must be met:

This proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.

Pay the agreed amount for the estate or interest to be insured.

Pay the premiums, fees, and charges for the Policy to the Company.

Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.

THIS COMMITMENT IS FOR INFORMATION ONLY, AND NO POLICY WILL BE ISSUED PURSUANT HERETO.

NOTE: THIS COMMITMENT IS NOT A REPORT OR REPRESENTATION AS TO MINERAL INTERESTS, AND SHOULD NOT BE USED, OR RELIED UPON, IN CONNECTION WITH THE NOTICE REQUIREMENTS THAT ARE SET FORTH IN CRS 24-65.5-103.

NOTE: THE COMMITMENT DOES NOT REFLECT THE STATUS OF TITLE TO WATER RIGHTS OR REPRESENTATION OF SAID RIGHTS.

ALTA COMMITMENT
Old Republic National Title Insurance Company
Schedule B, Part II
(Exceptions)

Order Number: ABC70787447.1

This commitment does not republish any covenants, condition, restriction, or limitation contained in any document referred to in this commitment to the extent that the specific covenant, conditions, restriction, or limitation violates state or federal law based on race, color, religion, sex, sexual orientation, gender identity, handicap, familial status, or national origin.

- 1. Any facts, rights, interests, or claims thereof, not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.**
- 2. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.**
- 3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.**
- 4. Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.**
- 5. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date of the proposed insured acquires of record for value the estate or interest or mortgage thereon covered by this Commitment.**
- 6. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.**
- 7. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water.**
- 8. EXISTING LEASES AND TENANCIES, IF ANY.**
- 9. EASEMENTS FOR CONSTRUCTION AND MAINTENANCE OF SEWER LINES AND INCIDENTAL PURPOSES AS GRANTED TO METROPOLITAN DENVER SEWAGE DISPOSAL DISTRICT NO. 1 IN INSTRUMENT RECORDED SEPTEMBER 25, 1963 IN BOOK 1099 AT PAGE [299](#) AND JULY 18, 1983 IN BOOK 2768 AT PAGE [890](#).

CORRECTED EASEMENT FOR CONSTRUCTION AND MAINTENANCE OF SEWER LINES RECORDED AUGUST 7, 1984 IN BOOK 2902 AT PAGE [735](#).**
- 10. TERMS, CONDITIONS AND PROVISIONS OF AGREEMENT RECORDED APRIL 27, 1970 IN BOOK 1593 AT PAGE [320](#).**
- 11. EASEMENTS, CONDITIONS, COVENANTS, RESTRICTIONS, RESERVATIONS AND NOTES ON THE PLAT OF BRANNAN'S SUBDIVISION FILING NO. 1 RECORDED OCTOBER 31, 1973 UNDER RECEPTION NO. [20815](#).**
- 12. TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN EASEMENT GRANT RECORDED SEPTEMBER 19, 1979 IN BOOK 2387 AT PAGE [852](#).**

ALTA COMMITMENT

Old Republic National Title Insurance Company

Schedule B, Part II

(Exceptions)

Order Number: ABC70787447.1

13. TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN EASEMENT AGREEMENT RECORDED JULY 20, 1987 IN BOOK 3344 AT PAGE [663](#).
14. ANY TAX, LIEN, FEE, OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE HYLAND HILLS PARK AND RECREATION DISTRICT, AS EVIDENCED BY INSTRUMENT RECORDED SEPTEMBER 19, 1990, IN BOOK 3712 AT PAGE [402](#).
15. EFFECT OF RESOLUTION AUTHORIZING EXEMPTION FROM THE ADAMS COUNTY SUBDIVISION REGULATIONS RECORDED APRIL 6, 1992 IN BOOK 3888 AT PAGE [126](#).
16. TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN DRAINAGE EASEMENT RECORDED APRIL 24, 1995 IN BOOK 4500 AT PAGE [531](#).
17. TERMS, CONDITIONS AND PROVISIONS OF A DEVELOPMENT AGREEMENT DISCLOSED BY RESOLUTION RECORDED MAY 18, 1992 IN BOOK 3905 AT PAGE [674](#).
18. EASEMENTS, CONDITIONS, COVENANTS, RESTRICTIONS, RESERVATIONS AND NOTES ON THE PLAT OF BRANNAN'S SUBDIVISION FILING NO. 2 RECORDED MAY 12, 1994 UNDER RECEPTION NO. [1247454](#).

AFFIDAVIT OF CORRECTION RECORDED JANUARY 19, 1995 IN BOOK 4455 AT PAGE [542](#).
19. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN ZONING HEARING DECISION RECORDED AUGUST 03, 1995 IN BOOK 4559 AT PAGE [978](#).
20. TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN LANDSCAPE BERM AND FENCE EASEMENT RECORDED MARCH 13, 1996 IN BOOK 4701 AT PAGE [983](#).
21. EASEMENT GRANTED TO CRESTVIEW WATER AND SANITATION DISTRICT, FOR WATER PIPELINES, AND INCIDENTAL PURPOSES, BY INSTRUMENT RECORDED JULY 17, 2000, IN BOOK 6190 AT PAGE [242](#).
22. TERMS, CONDITIONS AND PROVISIONS OF ZONING HEARING DECISIONS RECORDED SEPTEMBER 20, 2010 UNDER RECEPTION NO. [201000062586](#) AND [201000062587](#).
23. ANY TAX, LIEN, FEE, OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1, AS EVIDENCED BY INSTRUMENT RECORDED NOVEMBER 24, 2010, UNDER RECEPTION NO. [2010000081925](#).
24. ANY TAX, LIEN, FEE, OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 2, AS EVIDENCED BY INSTRUMENT RECORDED NOVEMBER 24, 2010, UNDER RECEPTION NO. [2010000081926](#).
25. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN RESOLUTION ADOPTING ZONING HEARING DECISION RECORDED NOVEMBER 21, 2012 UNDER RECEPTION NO. [2012000088446](#).

ALTA COMMITMENT
Old Republic National Title Insurance Company
Schedule B, Part II
(Exceptions)

Order Number: ABC70787447.1

26. ALL ITEMS SHOWN ON CLEAR CREEK TRANSIT VILLAGE PLANNED UNIT DEVELOPMENT- PRELIMINARY DEVELOPMENT PLAN, RECORDED JANUARY 22, 2013 UNDER RECEPTION NO. [2013000006476](#).

RESOLUTION 2015-531 APPROVING PRELIMINARY DEVELOPMENT PLAN RECORDED DECEMBER 11, 2015 UNDER RECEPTION NO. [2015000103730](#).
27. (THIS ITEM WAS INTENTIONALLY DELETED)
28. DEED OF TRUST, ASSIGNMENT OF LEASES AND RENTS, SECURITY AGREEMENT, AND FIXTURE FILING DATED SEPTEMBER 22, 2022 FROM CLEAR CREEK DEVELOPMENT, LLC, A DELAWARE LIMITED LIABILITY COMPANY TO THE PUBLIC TRUSTEE OF ADAMS COUNTY, COLORADO FOR THE USE OF MSH CAPITAL, LLC TO SECURE THE SUM OF \$480,000.00 RECORDED SEPTEMBER 22, 2022 UNDER RECEPTION NO. [2022000079140](#).
29. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN CLEAR CREEK TRANSIT VILLAGE PRELIMINARY DEVELOPMENT PLAN RECORDED JANUARY 13, 2023 UNDER RECEPTION NO. [202300002825](#).



LAND TITLE GUARANTEE COMPANY DISCLOSURE STATEMENTS

Note: Pursuant to CRS 10-11-122, notice is hereby given that:

- (A) The Subject real property may be located in a special taxing district.
- (B) A certificate of taxes due listing each taxing jurisdiction will be obtained from the county treasurer of the county in which the real property is located or that county treasurer's authorized agent unless the proposed insured provides written instructions to the contrary. (for an Owner's Policy of Title Insurance pertaining to a sale of residential real property).
- (C) The information regarding special districts and the boundaries of such districts may be obtained from the Board of County Commissioners, the County Clerk and Recorder, or the County Assessor.

Note: Effective September 1, 1997, CRS 30-10-406 requires that all documents received for recording or filing in the clerk and recorder's office shall contain a top margin of at least one inch and a left, right and bottom margin of at least one half of an inch. The clerk and recorder may refuse to record or file any document that does not conform, except that, the requirement for the top margin shall not apply to documents using forms on which space is provided for recording or filing information at the top margin of the document.

Note: Colorado Division of Insurance Regulations 8-1-2 requires that "Every title entity shall be responsible for all matters which appear of record prior to the time of recording whenever the title entity conducts the closing and is responsible for recording or filing of legal documents resulting from the transaction which was closed". Provided that Land Title Guarantee Company conducts the closing of the insured transaction and is responsible for recording the legal documents from the transaction, exception number 5 will not appear on the Owner's Title Policy and the Lenders Policy when issued.

Note: Affirmative mechanic's lien protection for the Owner may be available (typically by deletion of Exception no. 4 of Schedule B, Section 2 of the Commitment from the Owner's Policy to be issued) upon compliance with the following conditions:

- (A) The land described in Schedule A of this commitment must be a single family residence which includes a condominium or townhouse unit.
- (B) No labor or materials have been furnished by mechanics or material-men for purposes of construction on the land described in Schedule A of this Commitment within the past 6 months.
- (C) The Company must receive an appropriate affidavit indemnifying the Company against un-filed mechanic's and material-men's liens.
- (D) The Company must receive payment of the appropriate premium.
- (E) If there has been construction, improvements or major repairs undertaken on the property to be purchased within six months prior to the Date of Commitment, the requirements to obtain coverage for unrecorded liens will include: disclosure of certain construction information; financial information as to the seller, the builder and or the contractor; payment of the appropriate premium fully executed Indemnity Agreements satisfactory to the company, and, any additional requirements as may be necessary after an examination of the aforesaid information by the Company.

No coverage will be given under any circumstances for labor or material for which the insured has contracted for or agreed to pay.

Note: Pursuant to CRS 10-11-123, notice is hereby given:

This notice applies to owner's policy commitments disclosing that a mineral estate has been severed from the surface estate, in Schedule B-2.

- (A) That there is recorded evidence that a mineral estate has been severed, leased, or otherwise conveyed from the surface estate and that there is substantial likelihood that a third party holds some or all interest in oil, gas, other minerals, or geothermal energy in the property; and
- (B) That such mineral estate may include the right to enter and use the property without the surface owner's permission.

Note: Pursuant to CRS 10-1-128(6)(a), It is unlawful to knowingly provide false, incomplete, or misleading facts or information to an insurance company for the purpose of defrauding or attempting to defraud the company. Penalties may include imprisonment, fines, denial of insurance, and civil damages. Any insurance company or agent of an insurance company who knowingly provides false, incomplete, or misleading facts or information to a policyholder or claimant for the purpose of defrauding or attempting to defraud the policyholder or claimant with regard to a settlement or award payable from insurance proceeds shall be reported to the Colorado Division of Insurance within the Department of Regulatory Agencies.

Note: Pursuant to Colorado Division of Insurance Regulations 8-1-3, notice is hereby given of the availability of a closing protection letter for the lender, purchaser, lessee or seller in connection with this transaction.

Note: Pursuant to CRS 10-1-11(4)(a)(1), Colorado notaries may remotely notarize real estate deeds and other documents using real-time audio-video communication technology. You may choose not to use remote notarization for any document.



**JOINT NOTICE OF PRIVACY POLICY OF
LAND TITLE GUARANTEE COMPANY,
LAND TITLE GUARANTEE COMPANY OF SUMMIT COUNTY
LAND TITLE INSURANCE CORPORATION AND
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY**

This Statement is provided to you as a customer of Land Title Guarantee Company as agent for Land Title Insurance Corporation and Old Republic National Title Insurance Company.

We want you to know that we recognize and respect your privacy expectations and the requirements of federal and state privacy laws. Information security is one of our highest priorities. We recognize that maintaining your trust and confidence is the bedrock of our business. We maintain and regularly review internal and external safeguards against unauthorized access to your non-public personal information ("Personal Information").

In the course of our business, we may collect Personal Information about you from:

- applications or other forms we receive from you, including communications sent through TMX, our web-based transaction management system;
 - your transactions with, or from the services being performed by us, our affiliates, or others;
 - a consumer reporting agency, if such information is provided to us in connection with your transaction;
- and
- The public records maintained by governmental entities that we obtain either directly from those entities, or from our affiliates and non-affiliates.

Our policies regarding the protection of the confidentiality and security of your Personal Information are as follows:

- We restrict access to all Personal Information about you to those employees who need to know that information in order to provide products and services to you.
- We may share your Personal Information with affiliated contractors or service providers who provide services in the course of our business, but only to the extent necessary for these providers to perform their services and to provide these services to you as may be required by your transaction.
- We maintain physical, electronic and procedural safeguards that comply with federal standards to protect your Personal Information from unauthorized access or intrusion.
- Employees who violate our strict policies and procedures regarding privacy are subject to disciplinary action.
- We regularly assess security standards and procedures to protect against unauthorized access to Personal Information.

WE DO NOT DISCLOSE ANY PERSONAL INFORMATION ABOUT YOU WITH ANYONE FOR ANY PURPOSE THAT IS NOT STATED ABOVE OR PERMITTED BY LAW.

Consistent with applicable privacy laws, there are some situations in which Personal Information may be disclosed. We may disclose your Personal Information when you direct or give us permission; when we are required by law to do so, for example, if we are served a subpoena; or when we suspect fraudulent or criminal activities. We also may disclose your Personal Information when otherwise permitted by applicable privacy laws such as, for example, when disclosure is needed to enforce our rights arising out of any agreement, transaction or relationship with you.

Our policy regarding dispute resolution is as follows: Any controversy or claim arising out of or relating to our privacy policy, or the breach thereof, shall be settled by arbitration in accordance with the rules of the American Arbitration Association, and judgment upon the award rendered by the arbitrator(s) may be entered in any court having jurisdiction thereof.



Commitment For Title Insurance

Issued by Old Republic National Title Insurance Company

NOTICE

IMPORTANT—READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACONTRACTUAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON. .

COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and the Commitment Conditions, Old Republic National Title Insurance Company, a Minnesota corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured. If all of the Schedule B, Part I—Requirements have not been met within 6 months after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

COMMITMENT CONDITIONS

1. DEFINITIONS

- (a) "Knowledge" or "Known": Actual or imputed knowledge, but not constructive notice imparted by the Public Records.
- (b) "Land": The land described in Schedule A and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- (c) "Mortgage": A mortgage, deed of trust, or other security instrument, including one evidenced by electronic means authorized by law.
- (d) "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- (e) "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
- (f) "Proposed Policy Amount": Each dollar amount specified in Schedule A as the Proposed Policy Amount of each Policy to be issued pursuant to this Commitment.
- (g) "Public Records": Records established under state statutes at the Commitment Date for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge.
- (h) "Title": The estate or interest described in Schedule A.

2. If all of the Schedule B, Part I—Requirements have not been met within the time period specified in the Commitment to Issue Policy, Commitment terminates and the Company's liability and obligation end.

3. The Company's liability and obligation is limited by and this Commitment is not valid without:

- (a) the Notice;
- (b) the Commitment to Issue Policy;
- (c) the Commitment Conditions;
- (d) Schedule A;
- (e) Schedule B, Part I—Requirements; and
- (f) Schedule B, Part II—Exceptions; and
- (g) a counter-signature by the Company or its issuing agent that may be in electronic form.

4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company shall not be liable for any other amendment to this Commitment.

5. LIMITATIONS OF LIABILITY

- (a) The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
 - i. comply with the Schedule B, Part I—Requirements;
 - ii. eliminate, with the Company's written consent, any Schedule B, Part II—Exceptions; or
 - iii. acquire the Title or create the Mortgage covered by this Commitment.
- (b) The Company shall not be liable under Commitment Condition 5(a) if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- (c) The Company will only have liability under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- (d) The Company's liability shall not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.
- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.

- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I—Requirements have been met to the satisfaction of the Company.
- (g) In any event, the Company's liability is limited by the terms and provisions of the Policy.

6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT

- (a) Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- (b) Any claim must be based in contract and must be restricted solely to the terms and provisions of this Commitment.
- (c) Until the Policy is issued, this Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- (d) The deletion or modification of any Schedule B, Part II—Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- (e) Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- (f) When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

7. IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for the purpose of providing closing or settlement services.

8. PRO-FORMA POLICY

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

9. ARBITRATION

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Policy Amount is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <http://www.alta.org/arbitration>.

IN WITNESS WHEREOF, Land Title Insurance Corporation has caused its corporate name and seal to be affixed by its duly authorized officers on the date shown in Schedule A to be valid when countersigned by a validating officer or other authorized signatory.

Issued by:
Land Title Guarantee Company
3033 East First Avenue Suite 600
Denver, Colorado 80206
303-321-1880



Craig B. Rants, Senior Vice President



OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
A Stock Company
400 Second Avenue South, Minneapolis, Minnesota 55401
(612) 371-1111

By  *C. Monroe* President

Attest  *David Wold* Secretary

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Old Republic National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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CRESTVIEW WATER & SANITATION DISTRICT

Thistle Creek QOF I, L.P.
Michael Christensen
14034 South 145th East, Suite 301
Draper, UT 84020

March 8, 2021

RE: Water and Sanitary Sewer Service, 6100 Federal Blvd.
Will Serve Letter

To Whom it May Concern:

Please be advised that Crestview Water and Sanitation District is willing to provide treated water and sanitary sewer service to a possible development on the parcel no. 0182508211004 with the address of 6100 Federal Blvd. in Adams County, Colorado that is wholly within the Crestview Water and Sanitation District boundaries.

Prior to creating a layout and filing a plat for the development, the developer should have a pre-design meeting with Crestview, as the developer MUST allow for the installation of adequate water mains in strict accordance with Denver Water Engineering Standards and Crestview Rules and Regulations and engineering requirements. Sanitary sewer mains must also be designed in accordance with Crestview Rules and Regulations and engineering requirements. The landowner/developer is responsible for all costs related to the installation of required water and sewer mains. The landowner/developer is responsible for all utility modeling, engineering studies and plan development/review costs. All water and sewer mains and appurtenances shall be installed at the land owner/developer's expense and deeded free and clear to the District prior to the issuance of any water or sewer taps.

Crestview Water & Sanitation District provides its drinking water to the residents of the District by means of a wholesale water purchasing contract with Denver Water. As part of the Contract, Denver Water requires Crestview to adhere to the Denver Water engineering standards including modeling of Crestview's water distribution system. Denver Water has determined that there is NOT adequate water supply into Crestview for fire flows for additional growth within Crestview. Denver Water is requiring the installation of a master meter and a twelve (12) inch water supply beginning at approximately 5800 Lowell Blvd. going north and attaching to the existing eight (8) inch water main at 62nd avenue & Lowell boulevard. No plans for future developments will be approved without the inclusion of the aforementioned master meter and 12 inch water main.

With townhomes and multi-family units, Crestview requires that the water and sanitary services be a minimum of five (5) feet from both property lines and a minimum of ten (10) feet of separation between the services.

Current connection fees can be provided by contacting our office. Any water and/or sewer services must be approved by Crestview and connected to the appropriate main lines and installed into its permanent structure's foundation prior to completion of the construction of said structure.

Crestview requires a signature of acceptance of this Will Serve letter by the owner/developer prior to scheduling a pre-design meeting with Crestview. Please provide a copy of this signed Will Serve letter when scheduling a pre-design meeting.

Signature of owner/developer representative

Date

If you have any questions or require additional information, please contact our office.

Sincerely,



Mitchell T. Terry
District Manager
Crestview Water & Sanitation District



WILL SERVE LETTER

March 9, 2021

Thistle Creek QOF I, L.P.
Michael Christensen
14034 South 145th East, Suite 301
Draper, UT 84020

Re: 6100 Federal Boulevard, Denver CO 80221

Dear Mr. Christensen,

This letter is to confirm that Xcel Energy is your utility provider for natural gas and electrical service. In accordance with our tariffs, on file with and approved by the Colorado Public Utilities Commission, gas and electric facilities can be made available to serve the project at 6100 Federal Boulevard, Denver CO 80221.

Your utility service(s) will be provided after the following steps are completed:

- ***Application submitted to Public Service's "Builders Call Line (BCL)"*** – once your application is accepted you will be assigned a design department representative who will be your primary point of contact
- ***Utility design is completed*** – you must provide your design representative with the site plan, the one line diagrams, and panel schedules for electric and gas loads if applicable
- ***All documents provided by design representative are signed and returned***
- ***Payment is received***
- ***Required easements are granted*** - you must sign and return applicable easement documents to your Right-of-Way agent
- ***Site is ready for utility construction***

A scheduled in-service date will be provided once these requirements have been met.

It is important to keep in mind that the terms and conditions of utility service, per our tariffs, require that you provide adequate space and an easement on your property for all gas and electric facilities required to serve your project, including but not limited to gas and electrical lines and meters, transformers, and pedestals. General guidelines for these requirements can be found at [Site Requirements. https://www.xcelenergy.com/staticfiles/xe-responsive/Admin/Managed Documents & PDFs/Xcel-Energy-Standard-For-Electric-Installation-and-Use.pdf](https://www.xcelenergy.com/staticfiles/xe-responsive/Admin/Managed Documents & PDFs/Xcel-Energy-Standard-For-Electric-Installation-and-Use.pdf) Easement requirements can be found at [Utility Design and Layout](#).

Xcel Energy looks forward to working with you on your project and if I can be of further assistance, please contact me at the phone number or email listed below.

Sincerely,

Tawni Herren

Tawni Herren
Xcel Energy | Responsible By Nature
Design Contractor for Xcel Energy
555 Zang Street Suite 250
Lakewood, CO 80228

Pike Engineering

Mailing address: Pike Engineering
555 Zang, Suite 250
Lakewood, CO 80228

March 24, 2023

Greg Barnes
Principal Planner
Adams County Community and Economic Development
4430 South Adams County Parkway, 1st Floor, Suite W2000A
Brighton, CO 80601

RE: Clear Creak Transit Village – School Impact Analysis

Dear Mr. Barnes,

Please see the attached School Impact Analysis which was included with both the Subdivision Waiver for Private Streets Application on June 9, 2022, and a Preliminary Plat Resubmittal on July 7, 2022. During review and approval of those applications, no comments were provided by Westminster Public Schools. We are currently engaging with the school district to finalize the analysis. Please do not hesitate to contact me if you have any comments, questions or requests for additional information at 303.892.1166 or bmahar@norris-design.com.

Sincerely,



Bill Mahar, AICP
Principal

June 9, 2022

Libby Tart, AICP
Senior Long Range Planner
Adams County Development Services
Adams County Government Center / 4430 South Adams County Parkway
Brighton, Colorado 80601

Re: PCR2022-00002 Clear Creek Transit Village Preliminary Plat and Subdivision Waiver

Dear Ms. Tart:

Please see the following draft School Impact Analysis. Due to staff changes at Westminster Public Schools (WPS) we have been delayed in receiving a formal letter from WPS in regards to the school impact analysis. We are submitting this draft School Impact Analysis to satisfy the submittal requirement included in the set of review comments provided by the County on April 26, 2022. The submittal requirement for School Impact Analysis had not been included in the previous review comments which is why a School Impact Analysis had not been provided previously. A formal request for a School Impact Analysis has been provided to WPS and upon receiving the School Impact Analysis from WPS, an amended version of this School Impact Analysis draft will be provided that is adjusted to reflect the requirements of WPS.

Given that WPS has not yet provided a School Impact Analysis, we have provided the draft School Impact Analysis below. It is based on previous projects, unrelated to this proposal, that Norris Design has worked on with WPS before. WPS follows the local jurisdictions code to determine multipliers which are ultimately used to determine cash-in-lieu requirements for school impact analysis. Attached is the Adams County code segment that speaks to school land dedication requirements. The analysis below uses the Adams County school land dedication requirement found in section 5-05 of the Adams County Land Use code. Specific callouts to code segments are included here that guided the development of the draft School Impact Analysis. Those code segments include:


- **Section 5-05-02** states that “Whenever land is subdivided, the owner of the land shall dedicate land to support new or expanded parks and schools to serve future residents and employees of the proposed subdivision. As an alternative to land dedication, the Board of County Commissioners may require the payment of cash in lieu, or a combination of land and cash in lieu, not to exceed the market value of such land at the time of approval of the subdivision.”
- **Section 05-05-03** states that “Requirements for park and school land dedication shall not exceed ten (10) percent of the total gross area of the land within the proposed subdivision except as otherwise provided for by these standards and regulations.”

It is also important to note that the subject property is zoned PUD and that zoning is not included in the Market Value per Acre table in the Adams County Code. The most similar zone district to the subject property PUD would be R-3 zoning for the townhouses and R-4 zoning for the apartments, so we are using those zoning districts for our analysis. The table below provides a breakout of the numbers used to determine the School Impact Analysis.

	Zoning	Unit Type	Units	Population	Student Population	Land Area Required per Household (Acres)	Market Value (\$53,840.00/Acre)
	R-3	Townhouse	140	310.24	42.42	1.12	\$60,300.80
	R-4	Apartments	797	998.641	8.767	0.2391	\$12,873.14
Total	21 acres		937	1308.881	51.187	1.3591	\$73,173.94

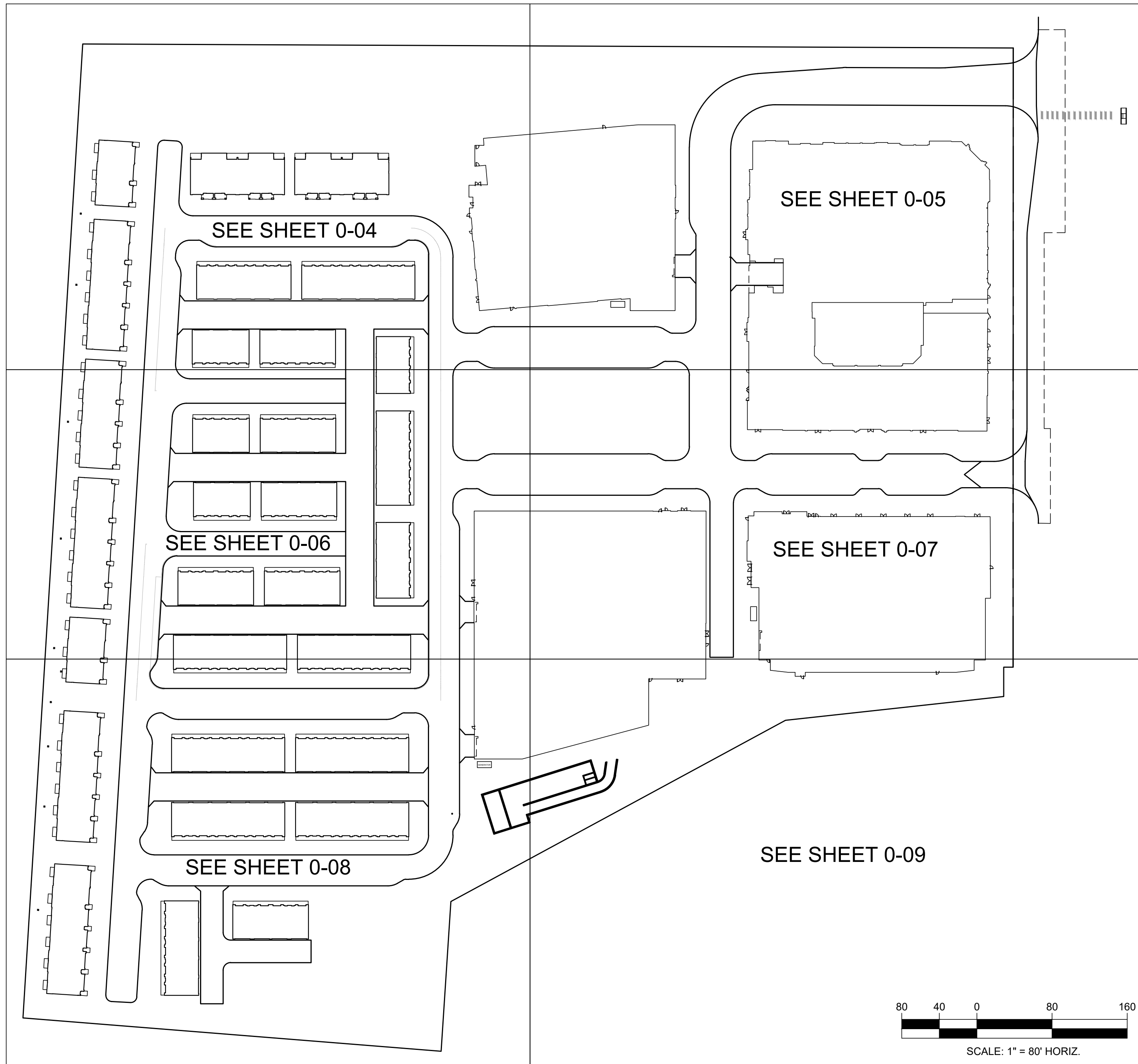
Please feel free to contact me directly should you have any other comments, questions, and/or special requests for additional information. We look forward to continuing to work with you and your colleagues at Adams County.

Sincerely,
 Norris Design



Bill Mahar, AICP
 Principal

CLEAR CREEK TRANSIT VILLAGE
 AT CLEAR CREEK
 IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
 PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



CLEAR CREEK TRANSIT VILLAGE
 FINAL DEVELOPMENT PLAN
 IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
 CLEAR CREEK VILLAGE, LLC
 THISTLE CREEK COOP I, L.P.
 14034 SOUTH 145TH EAST
 DRAPER, UT 84020

NOT FOR CONSTRUCTION

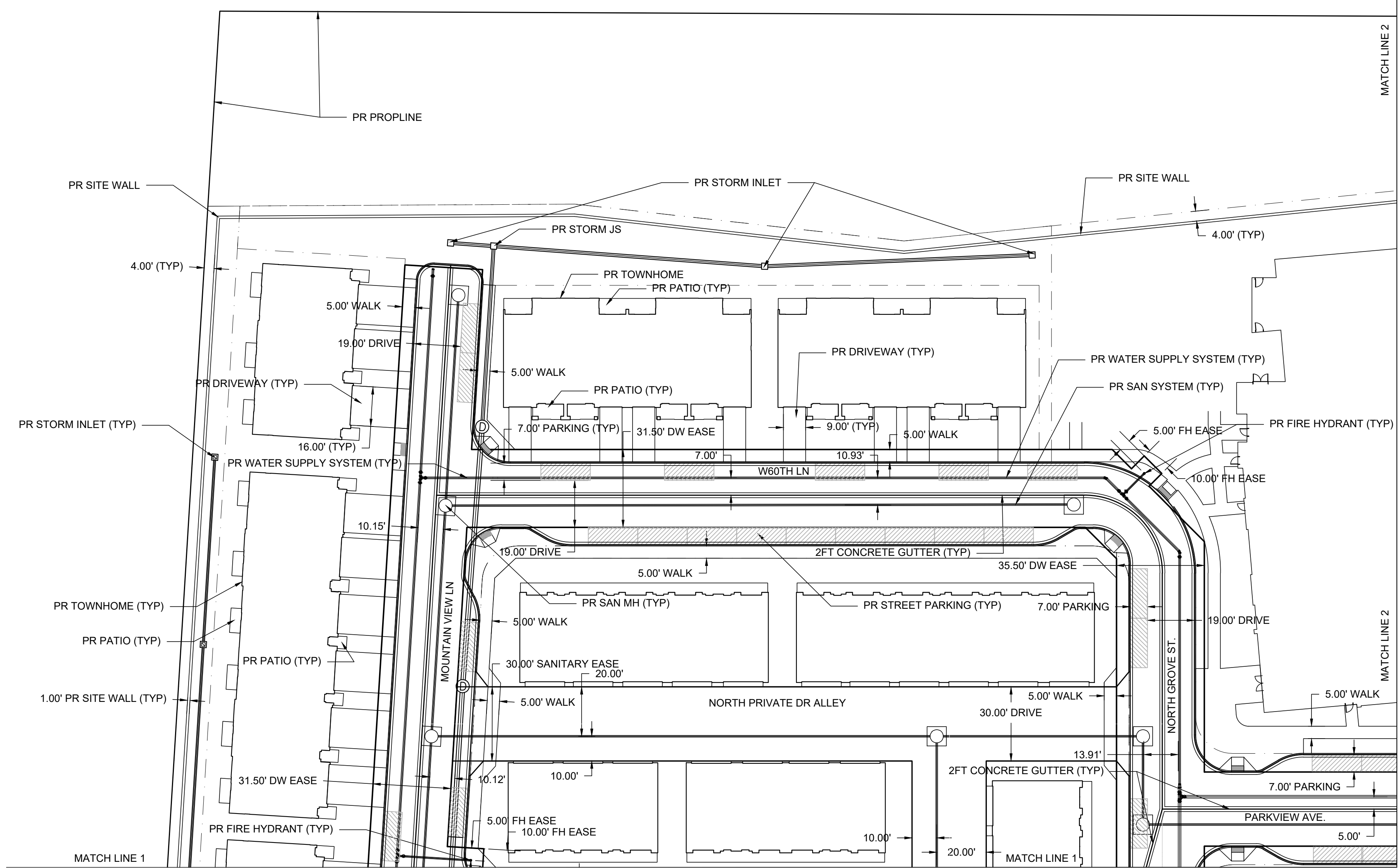
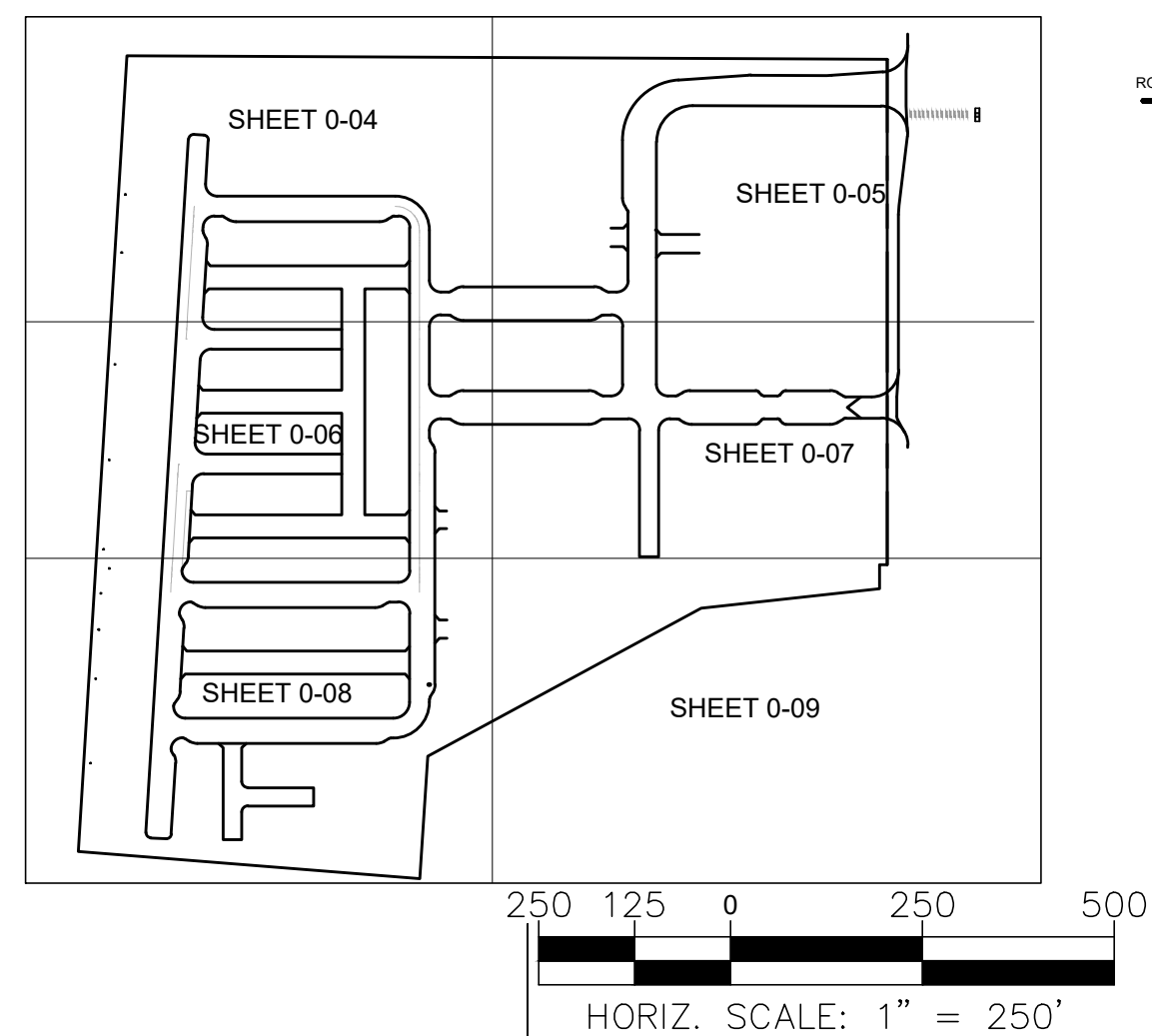
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 SITE PLAN
 SHEET NUMBER:
 0-03

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CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



SEE SHEET 0-05

SEE SHEET 0-06

CLEAR CREEK TRANSIT VILLAGE
 FINAL DEVELOPMENT PLAN
 IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
 CLEAR CREEK VILLAGE, LLC
 THISTLE CREEK OOF I, L.P.
 14034 SOUTH 145th EAST
 DRAPER, UT 84020

NOT FOR
 CONSTRUCTION

DATE:
 FDP-01-03/23/2023

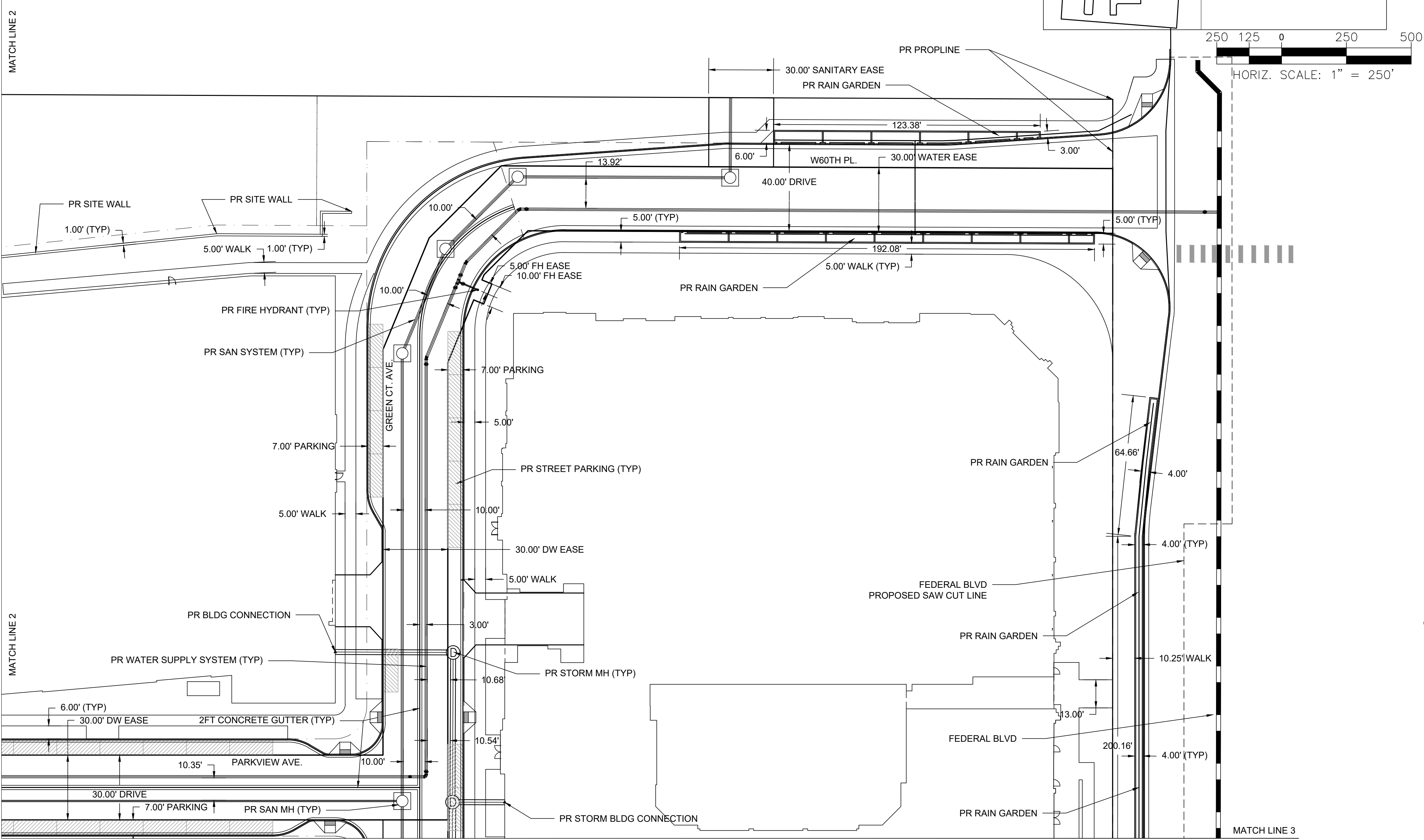
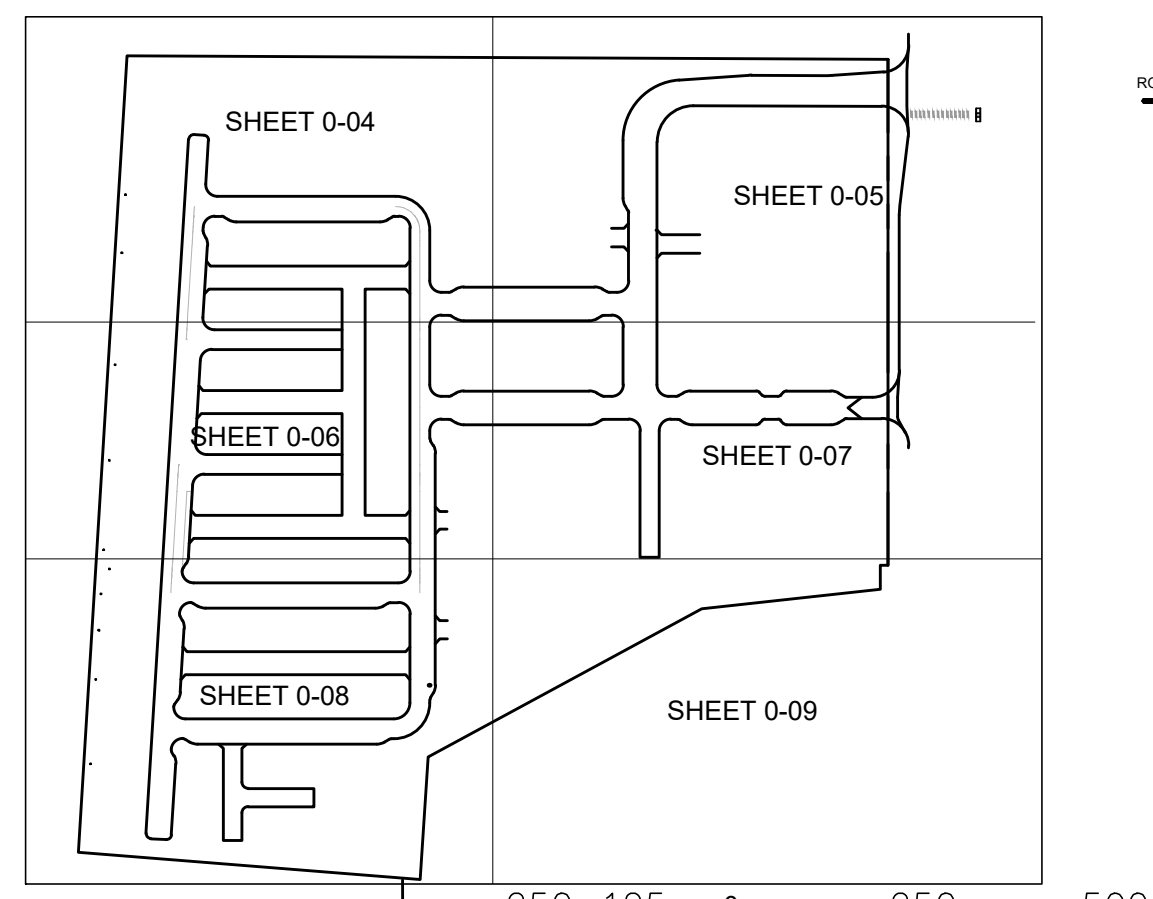
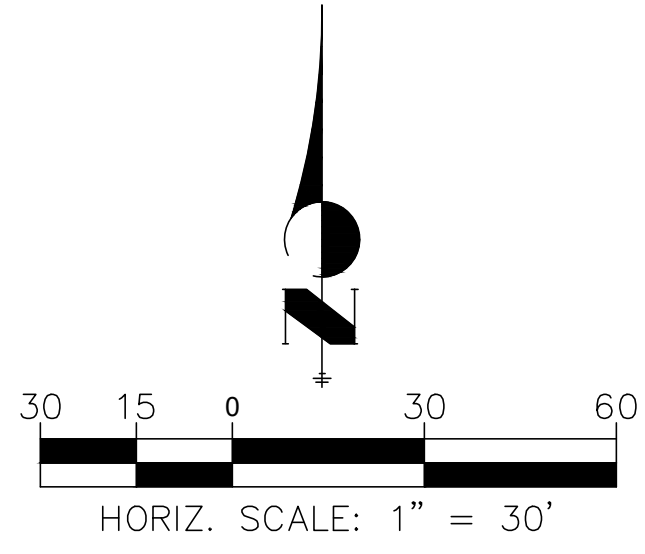
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 PREPARED BY:
 FRENCH

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



MATCH LINE 2

SEE SHEET 0-04

MATCH LINE 2

SEE SHEET 0-07

MATCH LINE 3

CLEAR CREEK TRANSIT VILLAGE
 FINAL DEVELOPMENT PLAN
 IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
 CLEAR CREEK VILLAGE, LLC
 THISTLE CREEK OOF I, L.P.
 14034 SOUTH 145TH EAST
 DRAPER, UT 84020

NOT FOR CONSTRUCTION

DATE:
 FDP-01-03/23/2023

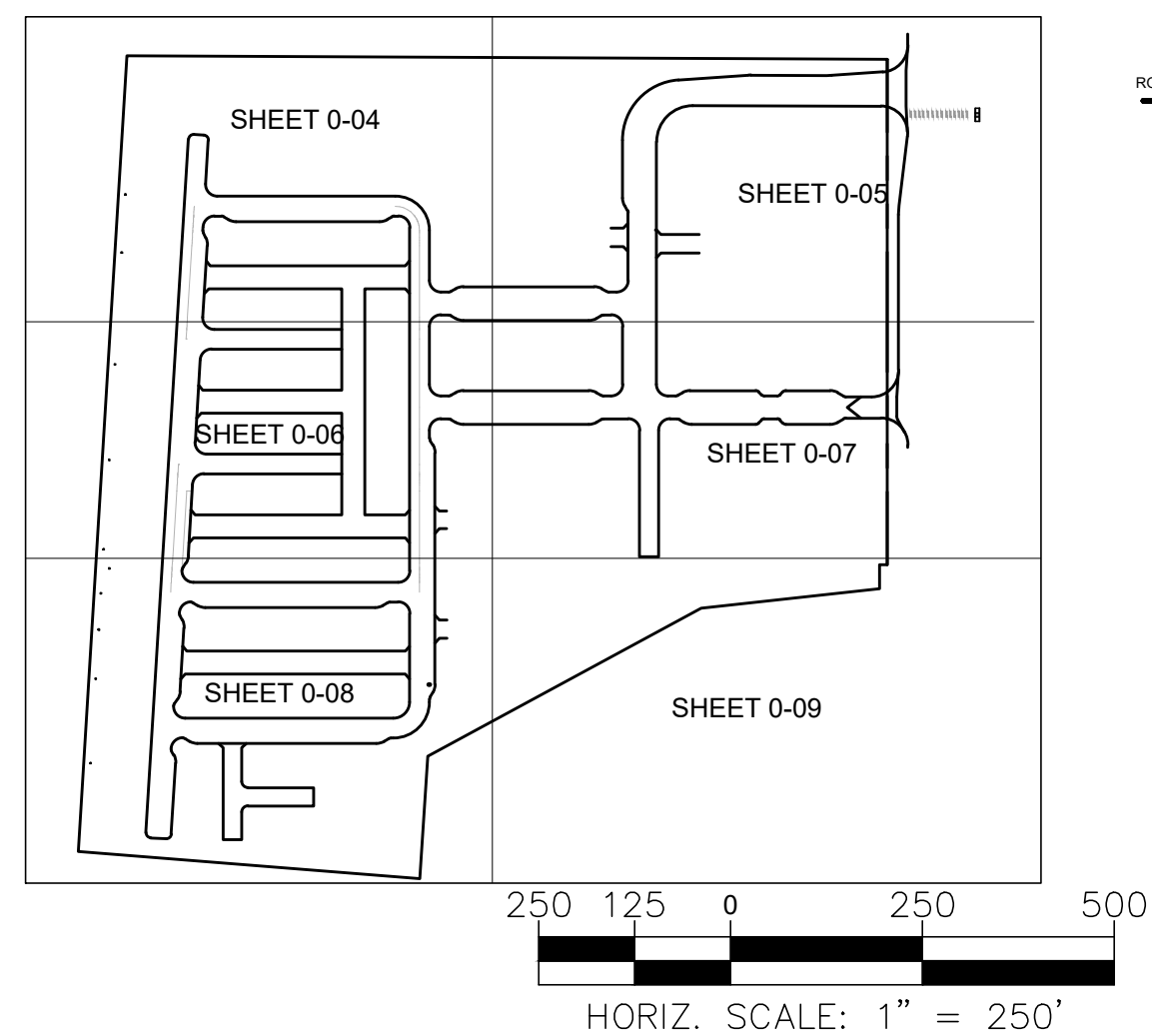
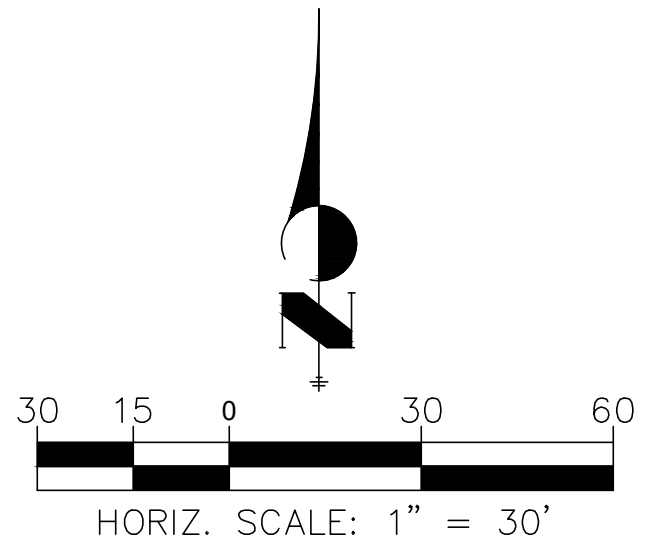
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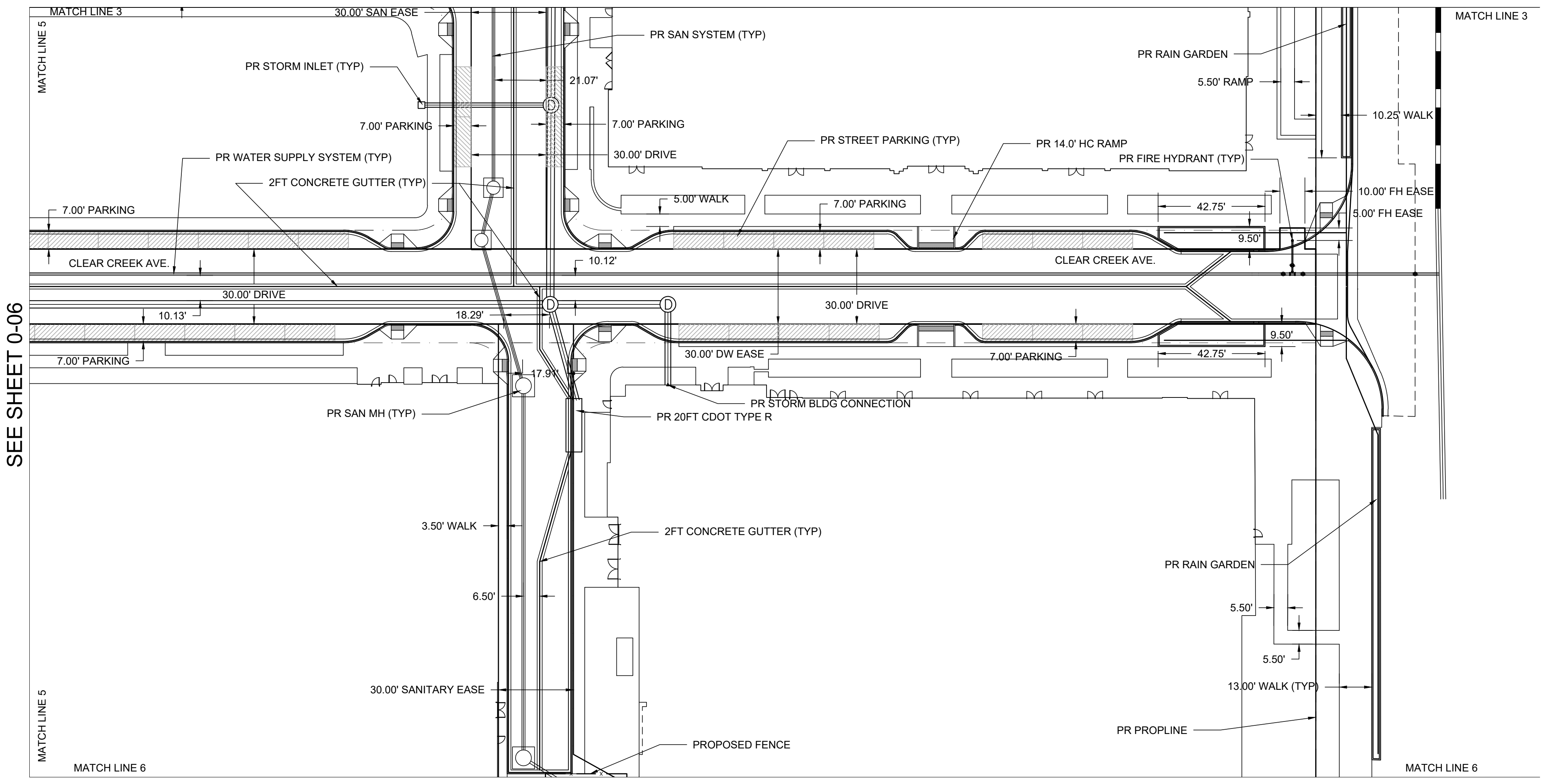
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 PREPARED BY:
 FRENCH

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



SEE SHEET 0-05



SEE SHEET 0-09

CLEAR CREEK TRANSIT VILLAGE
 FINAL DEVELOPMENT PLAN
 IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
 CLEAR CREEK VILLAGE, LLC
 THISTLE CREEK COOP I, L.P.
 14034 SOUTH 145th EAST
 DRAPER, UT 84020

NOT FOR
 CONSTRUCTION

DATE:
 FDP-01-03/23/2023

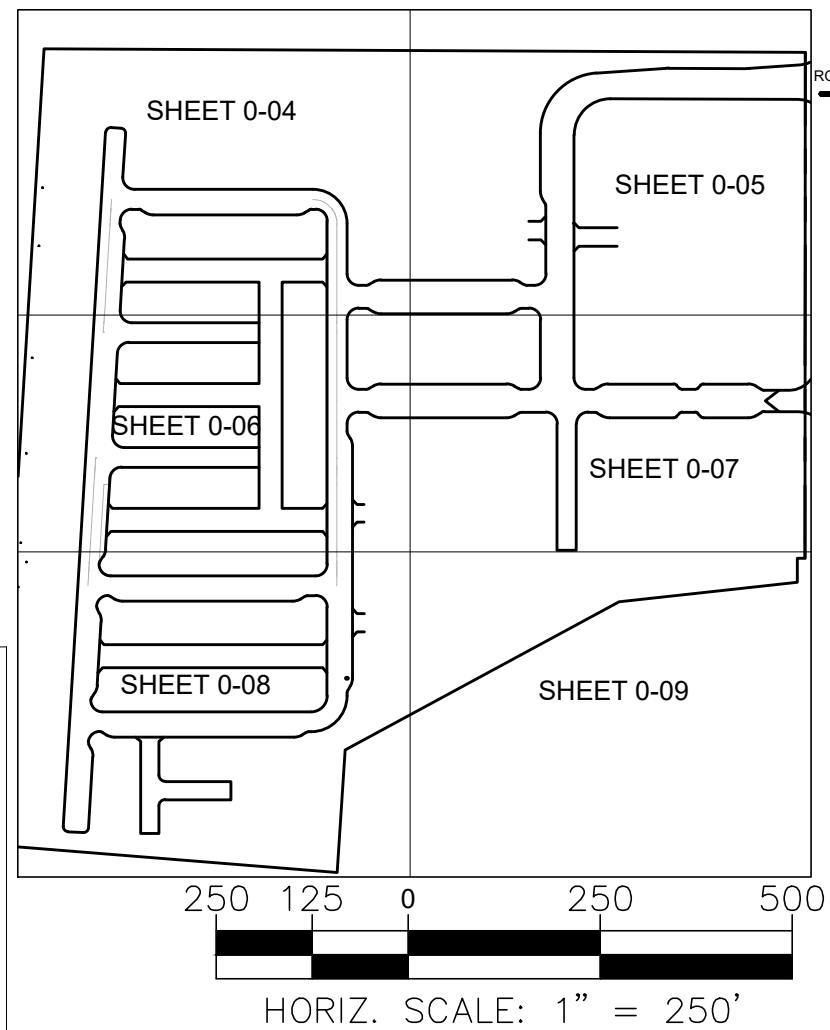
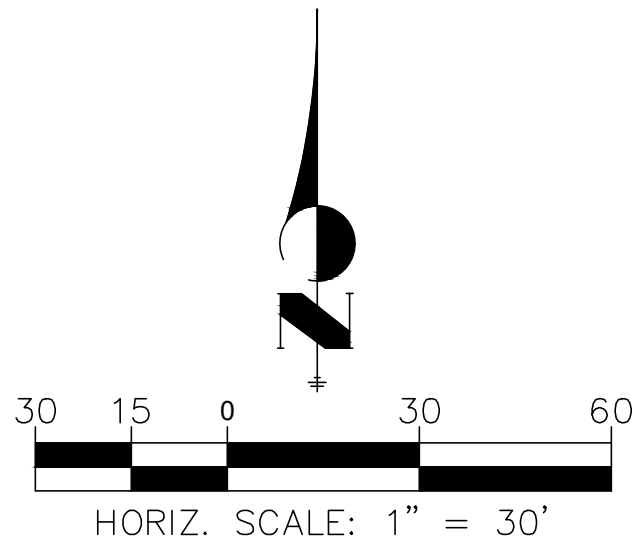
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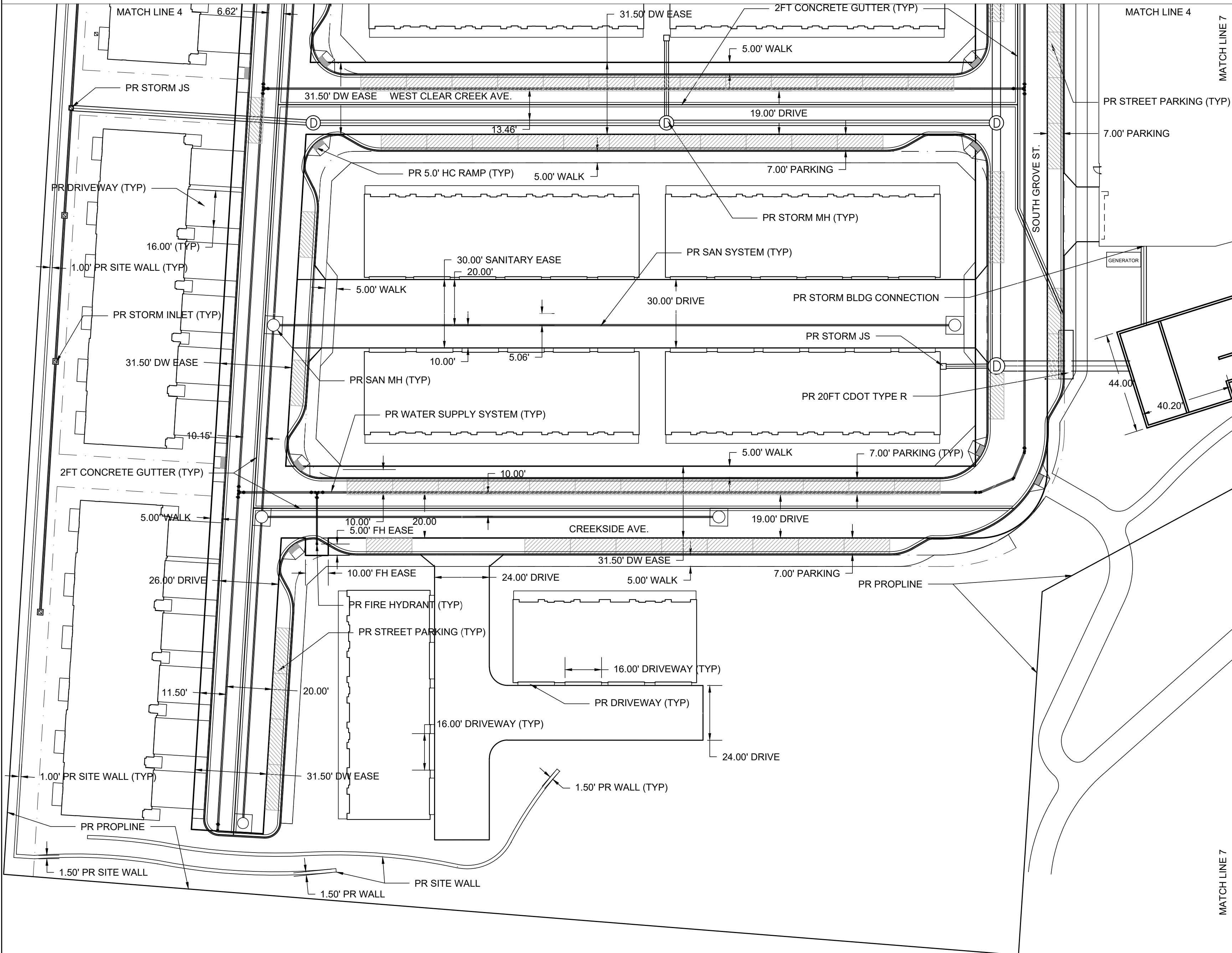
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CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



SEE SHEET 0-06



SEE SHEET 0-09

CLEAR CREEK TRANSIT VILLAGE
 FINAL DEVELOPMENT PLAN
 IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
 CLEAR CREEK VILLAGE, LLC
 THISTLE CREEK OOF I, L.P.
 14034 SOUTH 145th EAST
 DRAPER, UT 84020

NOT FOR CONSTRUCTION

DATE:
 FDP-01-03/23/2023

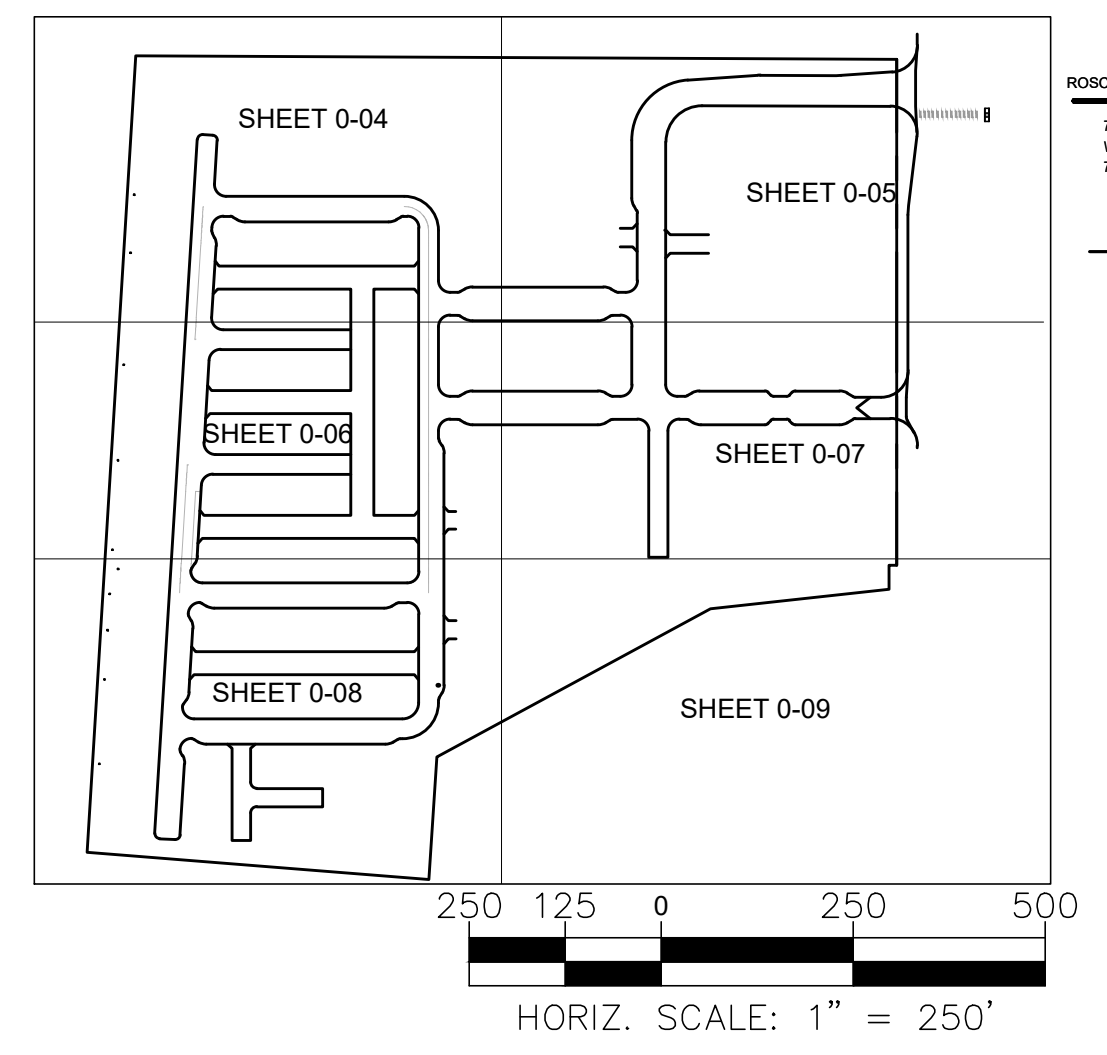
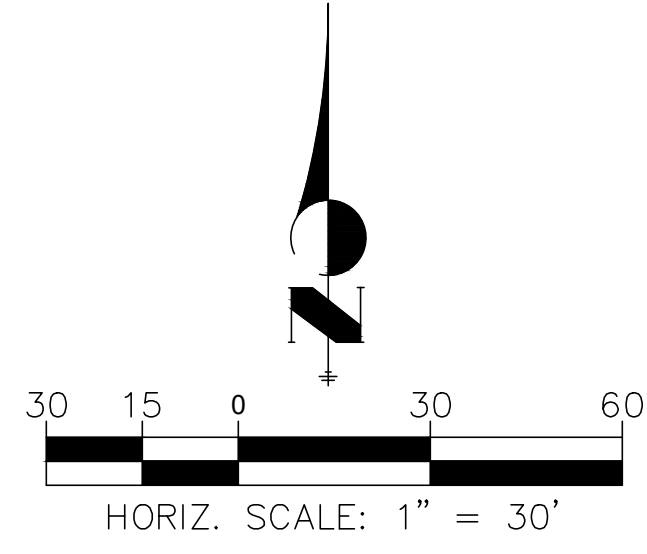
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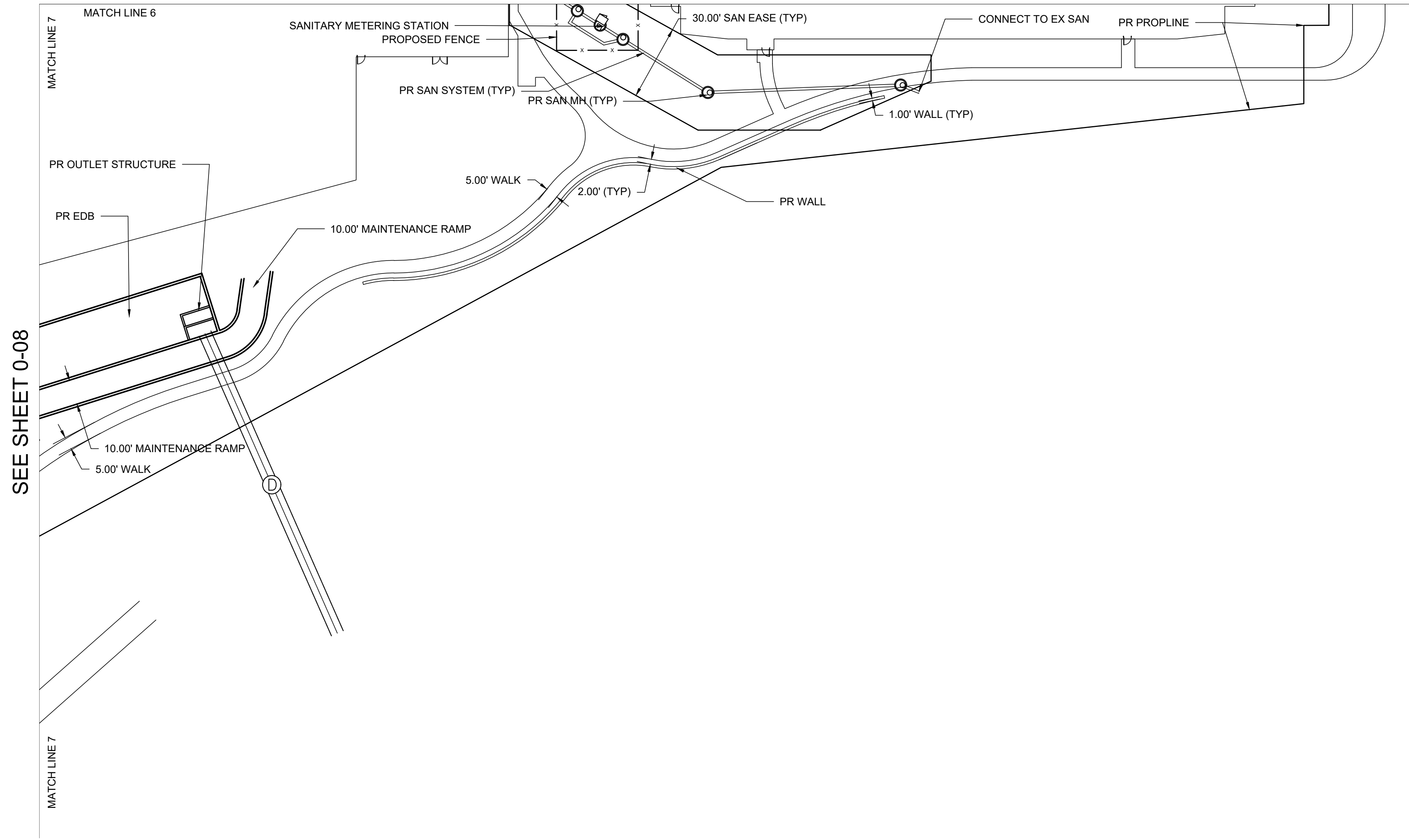
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CLEAR CREEK TRANSIT VILLAGE
 AT CLEAR CREEK
 IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

ROSCOE ENGINEERING, LLC
 703 WALSEN AVE.
 WALSENBURG, CO 81089
 719-738-5715



SEE SHEET 0-07



SEE SHEET 0-08

CLEAR CREEK TRANSIT VILLAGE
 FINAL DEVELOPMENT PLAN
 IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
 CLEAR CREEK VILLAGE, LLC
 THISTLE CREEK QOF I, L.P.
 14034 SOUTH 145th EAST
 DRAPER, UT 84020

NOT FOR
 CONSTRUCTION

DATE:
 FDP-01-03/23/2023

SHEET TITLE:
 SITE PLAN

SHEET NUMBER:
 0-09

CHECKED BY:
 BMR
 TJS
 FILENAME:

CLEAR CREEK TRANSIT VILLAGE

*** FINAL PLAT ***

PRC2022-00002

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 1 OF 15

CERTIFICATE OF DEDICATION AND OWNERSHIP

KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, CLEAR CREEK DEVELOPMENT, LLC, A DELAWARE LIMITED LIABILITY COMPANY, BEING THE OWNER OF THE LAND DESCRIBED AND CONVEYED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED JUNE 23, 2020 AT RECEPTION No. 2020000056492, AS SHOWN IN THIS PRELIMINARY PLAT AND DESCRIBED AS FOLLOWS:

LOT 2, BLOCK 1, BRANNAN'S SUBDIVISION FILING NO. 2, ACCORDING TO THE PLAT RECORDED MAY 12, 1994 AT RECEPTION NO/ B1247454, AND AS AMENDED BY AFFIDAVIT OF CORRECTION RECORDED JANUARY 19, 1995 IN BOOK 4455 AT PAGE 542, EXCEPT THAT PART CONVEYED TO THE COUNTY OF ADAMS BY WARRANTY DEED MADE A PART OF RESOLUTION RECORDED MAY 25, 1995 IN BOOK 4518 AT PAGE 777, COUNTY OF ADAMS, STATE OF COLORADO.

TOGETHER WITH TRACT A, BRANNAN'S SUBDIVISION - FILING NO. 1, ACCORDING TO THE PLAT RECORDED OCTOBER 31, 1973 AT RECEPTION NO. A020815, COUNTY OF ADAMS, STATE OF COLORADO.

THE ABOVE DESCRIBED SUBJECT PROPERTY IS ALSO DESCRIBED AS FOLLOWS:

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 8, FROM WHENCE THE SOUTHEAST CORNER OF SAID NORTHWEST QUARTER (NW 1/4) BEARS SOUTH 00°00'36" WEST A DISTANCE OF 2635.75 FEET, WITH ALL BEARINGS HEREIN RELATED THERETO; THENCE ALONG THE EAST LINE OF SAID NORTHWEST QUARTER (NW 1/4), SOUTH 00°00'36" WEST, 1977.44 FEET TO A POINT;

THENCE LEAVING SAID EAST LINE, NORTH 89°45'17" WEST, 50.00 FEET TO THE WEST LINE OF FEDERAL BOULEVARD, AND BEING THE NORTHEAST CORNER OF TRACT A OF BRANNAN'S SUBDIVISION FILING No. 1, AND BEING THE POINT OF BEGINNING;

THENCE ALONG SAID WEST LINE, SOUTH 00°00'36" WEST, 658.53 FEET TO A POINT;
 THENCE LEAVING SAID WEST LINE, SOUTH 89°51'23" WEST, 30.00 FEET TO A POINT;
 THENCE SOUTH 00°00'04" WEST, 31.23 FEET TO A POINT;
 THENCE SOUTH 83°46'03" WEST, 233.62 FEET TO A POINT;
 THENCE SOUTH 61°35'26" WEST, 404.96 FEET TO A POINT ON THE BOUNDARY OF LOT 2 OF BRANNAN'S SUBDIVISION FILING No. 2;
 THENCE ALONG SAID BOUNDARY THE FOLLOWING FOUR (4) COURSES:

1. SOUTH 03°44'30" WEST, 159.68 FEET TO A POINT;
2. NORTH 85°27'01" WEST, 446.37 FEET TO A POINT;
3. NORTH 03°30'34" EAST, 1038.07 FEET TO A POINT;
4. SOUTH 89°45'17" EAST, 1010.39 FEET TO THE POINT OF BEGINNING.

CONTAINING ±918,826 SQUARE FEET OR ±21.093 ACRES OF LAND, MORE OR LESS.

HAS BY THESE PRESENTS LAID OUT, PLATTED, AND SUBDIVIDED THE SAME INTO LOTS, STREETS, TRACTS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF CLEAR CREEK TRANSIT VILLAGE, AND DOES HEREBY DEDICATE ALL PUBLIC STREETS TO ADAMS COUNTY FOR PUBLIC USE. THE UNDERSIGNED DOES HEREBY DEDICATE, GRANT AND CONVEY TO ADAMS COUNTY, THOSE PUBLIC EASEMENTS AS SHOWN ON THE PLAT; AND FURTHER RESTRICTS THE USE OF ALL PUBLIC EASEMENTS TO ADAMS COUNTY AND/OR ITS ASSIGNS, PROVIDED HOWEVER, THAT THE SOLE RIGHT AND AUTHORITY TO RELEASE OR QUITCLAIM ALL OR ANY SUCH PUBLIC EASEMENTS SHALL REMAIN EXCLUSIVELY VESTED IN ADAMS COUNTY.

FOR: CLEAR CREEK DEVELOPMENT, LLC, A DELAWARE LIMITED LIABILITY COMPANY;

BY: THISTLE CREEK QOF I, L.P., A DELAWARE LIMITED PARTNERSHIP, ITS MANAGING MEMBER;

BY: THISTLE CREEK QOF I GP, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS GENERAL PARTNER

BY: MICHAEL CHRISTENSEN, MANAGER DATE _____

NOTARY ACKNOWLEDGMENT

STATE OF _____)
) SS.
 COUNTY OF _____)

THE FOREGOING CERTIFICATE OF DEDICATION AND OWNERSHIP WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____, BY MICHAEL CHRISTENSEN, MANAGER OF THISTLE CREEK QOF I GP, LLC, A DELAWARE LIMITED LIABILITY COMPANY, GENERAL PARTNER OF THISTLE CREEK QOF I, L.P., A DELAWARE LIMITED PARTNERSHIP, MANAGING MEMBER OF CLEAR CREEK DEVELOPMENT, LLC, A DELAWARE LIMITED LIABILITY COMPANY.

WITNESS MY HAND AND SEAL:

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

ADDRESS OF NOTARY: _____



VICINITY MAP
Not to scale

TABLE OF CONTENTS

1	COVER SHEET
2	COVER SHEET NOTES
3	EXISTING CONDITIONS
4	PROPOSED CONDITIONS
5	LAND USE TABLES
6-13	PRELIMINARY PLAT
14-15	TRACT AND EASEMENT DETAILS

ADAMS COUNTY ATTORNEY'S OFFICE

APPROVED AS TO FORM _____

BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS THIS ____ DAY OF _____, A.D. 202__.

CHAIR _____

HOLDER OF DEED OF TRUST CERTIFICATE

THE UNDERSIGNED, AS LEGAL HOLDER OF THE DEED OF TRUST RECORDED ON SEPTEMBER 22, 2022 AT RECEPTION NUMBER 2022000079140, OF THE RECORDS OF THE ADAMS COUNTY COLORADO CLERK & RECORDER, HEREBY CONSENTS TO THE WITHIN PLAT.

SIGNED THIS _____ DAY OF _____, 202__.

FOR: MSH CAPITAL, LLC

BY: _____

NOTARY PUBLIC

STATE OF _____)
) SS.
 COUNTY OF _____)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____, BY _____.

WITNESS MY HAND AND SEAL:

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

ADDRESS OF NOTARY: _____

SURVEYOR'S CERTIFICATE

I, RICHARD B. GABRIEL, A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS LAND SURVEY PLAT CORRECTLY REPRESENTS THE RESULTS OF A SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION ON OCTOBER 11, 2019, THAT THE MONUMENTS SHOWN HEREON ARE OF THE CHARACTER SHOWN AND OCCUPY THE POSITIONS INDICATED AND THAT ALL NOTES, DIMENSIONS AND IMPROVEMENTS ARE CORRECTLY SHOWN HEREIN TO THE BEST OF MY KNOWLEDGE AND BELIEF.

RICHARD B. GABRIEL, P.L.S.
 Colorado License No. 37929
 For and on behalf of
 Power Surveying Company, Inc.

CLERK AND RECORDER

THIS FINAL PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER IN THE STATE OF COLORADO, AT _____ M. ON THIS _____, DAY OF _____, A.D. 202__.

DEPUTY CLERK AND RECORDER _____

RECEPTION NUMBER _____

COVER SHEET

	TYPE OF SUBMITTAL:	FINAL PLAT
	PREPARATION DATE:	JANUARY 31, 2023
	REVISION DATE:	
	REVISION DATE:	
JOB NO. 19-260	DWG: 19-260 PRELIM.dwg	
SHEET 1 OF 15		

CLEAR CREEK TRANSIT VILLAGE

*** FINAL PLAT ***

PRC2022-00002

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 2 OF 15

EASEMENT STATEMENT

SIX-FOOT (6') WIDE UTILITY EASEMENTS ARE HEREBY DEDICATED ON PRIVATE PROPERTY ADJACENT TO THE FRONT LOT LINES OF EACH LOT IN THE SUBDIVISION. IN ADDITION, EIGHT-FOOT (8') WIDE DRY UTILITY EASEMENTS ARE HEREBY DEDICATED AROUND THE PERIMETER OF TRACTS, PARCELS AND/OR OPEN SPACE AREAS. THESE EASEMENTS ARE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF UTILITIES. UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, WATER METERS AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEEES, MAY REMOVE ANY INTERFERING OBJECTS AT NO COST TO SUCH GRANTEEES, INCLUDING, WITHOUT LIMITATION, VEGETATION.

STORM DRAINAGE FACILITIES STATEMENT

THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVISION DEVELOPMENT AGREEMENT. TRACTS THAT WILL CONTAIN STORM DRAINAGE AND WATER QUALITY INFRASTRUCTURE WILL BE OWNED AND MAINTAINED BY THE CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1. SHOULD THE OWNER FAIL TO MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COST WILL BE ASSESSED TO THE PROPERTY OWNERS.

TRACT MAINTENANCE NOTE

BY THIS PLAT INGRESS, EGRESS AND REGRESS FOR TRACT C IS LIMITED TO FEDERAL BOULEVARD AS SHOWN ON SHEETS 7 AND 10 OF 14 AND ACCESS IS APPROVED BY CDOT AND ADAMS COUNTY, COLORADO AND WILL BE OWNED AND MAINTAINED BY CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1.

TRACTS F, M, Q, AND W ARE CREATED FOR ALLEYS AND WILL BE OWNED AND MAINTAINED BY CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1. TRACT S IS CREATED FOR SIDEWALKS AND WILL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. TRACT Y IS CREATED FOR CDOT ACCESS AND WILL BE OWNED AND MAINTAINED BY CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1. TRACTS D, E, G, H, I, J, K, L, N, O, P AND T ARE CREATED FOR SIDEWALKS AND WILL BE OWNED AND MAINTAINED BY CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1. ADAMS COUNTY ASSUMES NO RESPONSIBILITY OR LIABILITY REGARDING THESE STREETS, ALLEYS, CDOT ACCESS, AND SIDEWALKS, AND WILL NOT PERFORM MAINTENANCE OPERATIONS INCLUDING SNOW REMOVAL.

TRACT A IS CREATED FOR LANDSCAPE AND WILL BE OWNED BY THE CLEAR CREEK DEVELOPMENT LLC AND MAINTAINED BY GRANTEE. TRACT B IS CREATED FOR LANDSCAPE AND WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS' ASSOCIATION. TRACTS R, U, V, X AND Z ARE CREATED FOR LANDSCAPING OR OPEN SPACE AND WILL BE OWNED AND MAINTAINED BY THE CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1.

UTILITY EASEMENT NOTES

1. ALL TRACTS ARE HEREBY DEDICATED FOR UTILITY USE.

2. UTILITY EASEMENTS ARE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ELECTRIC, GAS, TELEVISION, CABLE, AND TELECOMMUNICATIONS FACILITIES (DRY UTILITIES). UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PUBLIC STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEEES, MAY REMOVE ANY INTERFERING OBJECTS AT NO COST TO SUCH GRANTEEES, INCLUDING, WITHOUT LIMITATION, VEGETATION. PUBLIC SERVICE COMPANY OF COLORADO (PSCO) AND ITS SUCCESSORS RESERVE THE RIGHT TO REQUIRE ADDITIONAL EASEMENTS AND TO REQUIRE THE PROPERTY OWNER TO GRANT PSCO AN EASEMENT ON ITS STANDARD FORM.

BASIS OF BEARINGS

BEARINGS ARE BASED UPON THE EAST LINE OF THE NORTHWEST QUARTER OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN ASSUMED TO BEAR SOUTH 00°00'36" WEST A DISTANCE OF 2,635.75 FEET, AS DEFINED AND MEASURED BETWEEN A FOUND 3-1/4" DIAMETER ALUMINUM CAP STAMPED "PLS 26288 COLO DEPT OF TRANSPORTATION" IN A RANGE BOX AT THE NORTH 1/4 CORNER SAID SECTION 8 AND THE CENTER 1/4 SAID SECTION 8 BY A FOUND 3-1/4" DIAMETER ALUMINUM CAP STAMPED "PLS 23519 CHARLES H RUSSELL ADAMS COUNTY" IN A RANGE BOX, AS SHOWN HEREON.

SURVEYOR'S NOTES

1. ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
2. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS, OR DEFACTS ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, CRS.
3. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY POWER SURVEYING COMPANY INC. TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD, RIGHT-OF-WAY, AND TITLE OF RECORD. POWER SURVEYING COMPANY INC. RELIED UPON OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY'S ORDER NO. ABC70787447.1, EFFECTIVE DATE DECEMBER 30, 2022 AT 5:00 P.M. FOR THIS INFORMATION.
4. FLOOD ZONE DESIGNATION: AS SHOWN ON F.I.R.M. MAP PANEL #08001C0592H, WITH AN EFFECTIVE REVISION DATE OF MARCH 5, 2007, THE SUBJECT PROPERTY LIES WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND WITHIN ZONE "AE" (SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY THE 1% PERCENT ANNUAL CHANCE FLOOD - BASE FLOOD ELEVATIONS DETERMINED). REFER TO MAP SHEETS FOR APPROXIMATE LOCATIONS OF FLOOD ZONE BOUNDARIES.
5. FIELD SURVEY COMPLETION DATE: OCTOBER 11, 2019.
6. THE LINEAR UNIT OF MEASUREMENT FOR THIS FINAL PLAT IS THE INTERNATIONAL FOOT, DEFINED AS EXACTLY 0.3048 METER.
7. STATEMENT RESTRICTING ACCESS: INGRESS, EGRESS, AND REGRESS ARE LIMITED TO FEDERAL BLVD. UNLESS APPROVED BY CDOT AND ADAMS COUNTY, COLORADO.
8. PROPERTY ADDRESS: 6001 FEDERAL BLVD, DENVER, CO 80221.
9. THE SUBJECT PROPERTY CONTAINS ±918,826 SQUARE FEET OR ±21.093 ACRES OF LAND.

COVER SHEET - NOTES

 Established 1988 6911 BROADWAY DENVER, COLORADO 80221 TEL: 303-702-1517 FAX: 303-702-1438 WWW.POWERSURVEYING.COM	TYPE OF SUBMITTAL:	FINAL PLAT
	PREPARATION DATE:	JANUARY 31, 2023
	REVISION DATE:	
	REVISION DATE:	
JOB NO. 19-260	DWG: 19-260 PRELIM.dwg	

SHEET 2 OF 15

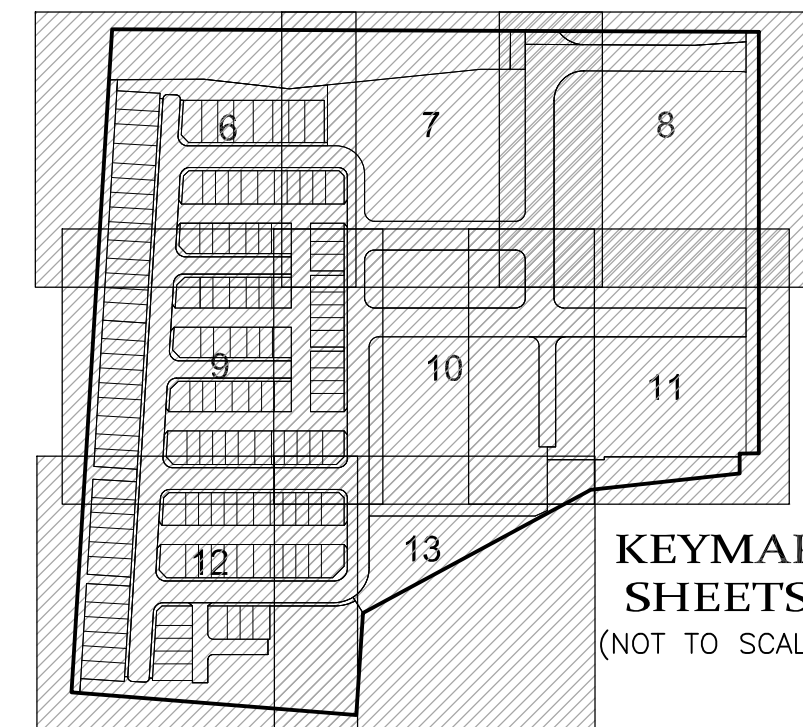
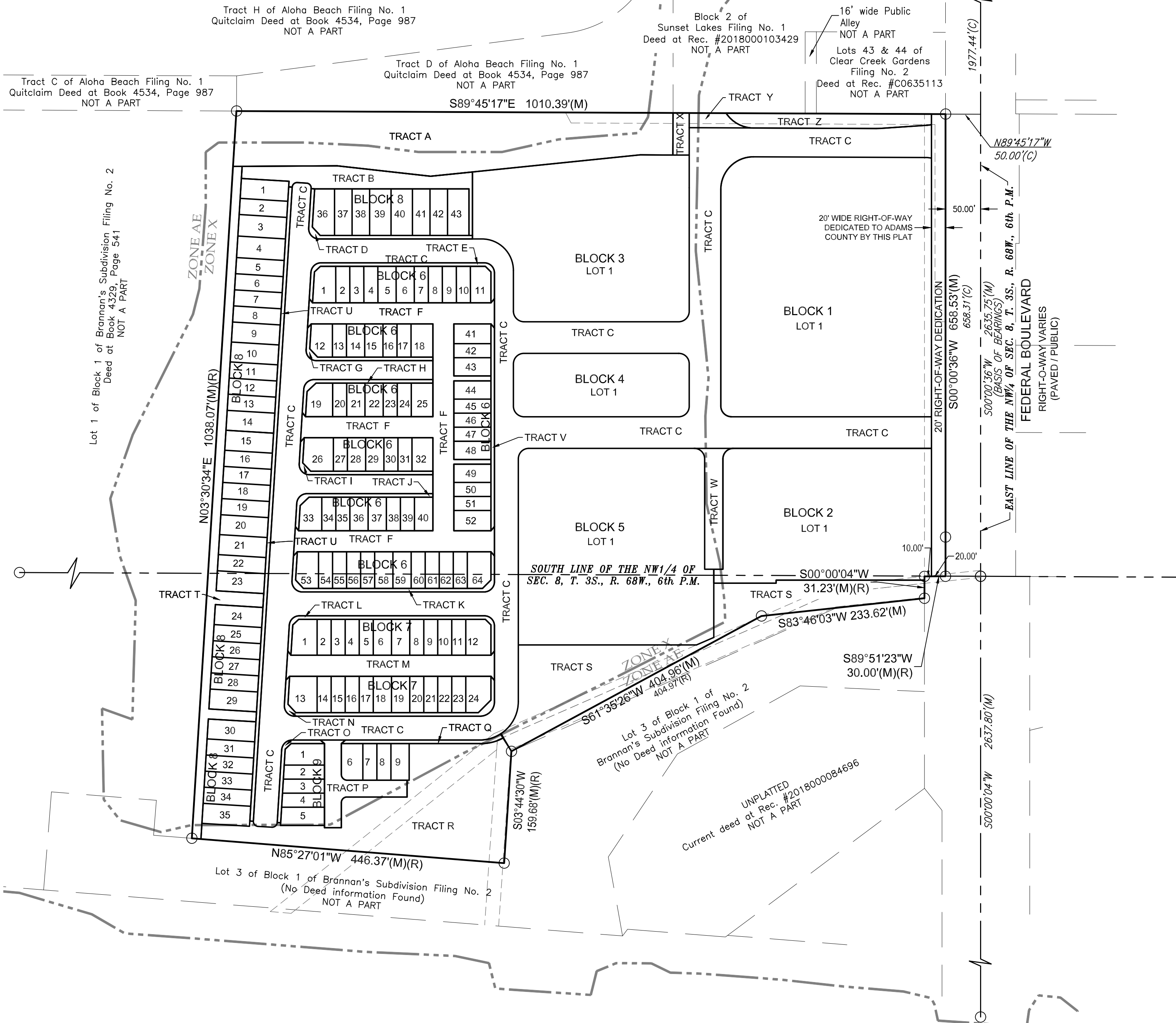
CLEAR CREEK TRANSIT VILLAGE

*** FINAL PLAT ***

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 4 OF 15

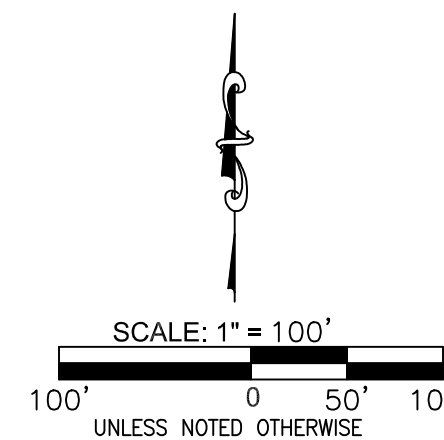
PRC2022-00002



LEGEND OF SYMBOLS & ABBREVIATIONS

- SET REBAR & 1-1/2" DIAMETER YELLOW PLASTIC CAP, PLS 37929, TYPICAL UNLESS NOTED OTHERWISE
- MONUMENT FOUND, AS NOTED
- DIAM DIAMETER
- (C) CALCULATED
- (M) MEASURED
- (R) RECORD
- BLOCK # LOT OR BLOCK NUMBER
- PUBLIC LANDS SURVEY SECTION LINE
- PLAT BOUNDARY LIMITS
- NEW LOT & TRACT LINE PER THIS PLAT
- EXISTING RECORD EASEMENT LINE
- ADJOINING PARCEL OR LOT LINE
- F.E.M.A. FLOOD BOUNDARY (AS NOTED)

FOR ADAMS COUNTY ROAD DEDICATION AND TRACTS B & D-Z DETAILS, SEE SHEETS 14 & 15. FOR LAND USE TABLES, SEE SHEET 5.



PROPOSED CONDITIONS

	TYPE OF SUBMITTAL:	FINAL PLAT
	PREPARATION DATE:	JANUARY 31, 2023
	REVISION DATE:	
	REVISION DATE:	
JOB NO. 19-260		DWG: 19-260 PRELIM.dwg
SHEET 4 OF 15		

CLEAR CREEK TRANSIT VILLAGE

*** FINAL PLAT ***

PRC2022-00002

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 5 OF 15

BLOCK / LOT DATA

LOT	BLOCK	SQ. FT.	ACRES
LOT 1	BLOCK 1	110,532	2.537
LOT 1	BLOCK 2	56,297	1.292
LOT 1	BLOCK 3	63,972	1.469
LOT 1	BLOCK 4	22,444	0.515
LOT 1	BLOCK 5	75,550	1.735

BLOCK 6		
LOT	SQ. FT.	ACRES
LOT 1	1,607	0.037
LOT 2	1,040	0.024
LOT 3	1,040	0.024
LOT 4	1,040	0.024
LOT 5	1,352	0.031
LOT 6	1,344	0.031
LOT 7	1,040	0.024
LOT 8	1,040	0.024
LOT 9	1,040	0.024
LOT 10	1,040	0.024
LOT 11	1,486	0.034
LOT 12	1,430	0.033
LOT 13	948	0.022
LOT 14	1,233	0.028
LOT 15	1,233	0.028
LOT 16	948	0.022
LOT 17	948	0.022
LOT 18	1,473	0.034
LOT 19	1,706	0.039
LOT 20	956	0.022
LOT 21	1,242	0.029
LOT 22	1,242	0.029
LOT 23	956	0.022
LOT 24	956	0.022
LOT 25	1,467	0.034
LOT 26	1,979	0.045
LOT 27	954	0.022
LOT 28	1,239	0.028
LOT 29	1,242	0.029
LOT 30	954	0.022
LOT 31	954	0.022
LOT 32	1,417	0.033
LOT 33	1,435	0.033
LOT 34	954	0.022
LOT 35	954	0.022
LOT 36	1,240	0.028
LOT 37	1,240	0.028
LOT 38	954	0.022
LOT 39	954	0.022
LOT 40	1,254	0.029
LOT 41	1,489	0.034
LOT 42	1,054	0.024
LOT 43	1,370	0.031
LOT 44	1,370	0.031
LOT 45	1,054	0.024
LOT 46	1,054	0.024
LOT 47	1,054	0.024
LOT 48	1,370	0.031
LOT 49	1,370	0.031
LOT 50	1,054	0.024
LOT 51	1,054	0.024
LOT 52	1,513	0.035
LOT 53	1,586	0.036
LOT 54	1,044	0.024
LOT 55	1,044	0.024
LOT 56	1,044	0.024
LOT 57	1,044	0.024
LOT 58	1,357	0.031
LOT 59	1,357	0.031
LOT 60	1,044	0.024
LOT 61	1,044	0.024
LOT 62	1,044	0.024
LOT 63	1,044	0.024
LOT 64	1,687	0.039
Total	76,680	1.760

BLOCK 7		
LOT	SQ. FT.	ACRES
LOT 1	1,792	0.041
LOT 2	1,024	0.024
LOT 3	1,024	0.024
LOT 4	1,024	0.024
LOT 5	1,024	0.024
LOT 6	1,331	0.031
LOT 7	1,331	0.031
LOT 8	1,024	0.024
LOT 9	1,024	0.024
LOT 10	1,024	0.024
LOT 11	1,024	0.024
LOT 12	1,796	0.041
LOT 13	2,035	0.047
LOT 14	1,037	0.024
LOT 15	1,037	0.024
LOT 16	1,037	0.024
LOT 17	1,037	0.024
LOT 18	1,348	0.031
LOT 19	1,348	0.031
LOT 20	1,037	0.024
LOT 21	1,037	0.024
LOT 22	1,037	0.024
LOT 23	1,037	0.024
LOT 24	1,690	0.039
Total	29,163	0.670

BLOCK 8		
LOT	SQ. FT.	ACRES
LOT 1	1,938	0.044
LOT 2	1,564	0.036
LOT 3	2,090	0.048
LOT 4	2,090	0.048
LOT 5	1,564	0.036
LOT 6	1,564	0.036
LOT 7	1,564	0.036
LOT 8	1,564	0.036
LOT 9	1,938	0.044
LOT 10	1,938	0.044
LOT 11	1,564	0.036
LOT 12	1,564	0.036
LOT 13	1,564	0.036
LOT 14	1,938	0.044
LOT 15	1,938	0.044
LOT 16	1,564	0.036
LOT 17	1,564	0.036
LOT 18	1,564	0.036
LOT 19	1,564	0.036
LOT 20	1,938	0.044
LOT 21	1,938	0.044
LOT 22	1,564	0.036
LOT 23	1,938	0.044
LOT 24	1,938	0.044
LOT 25	1,564	0.036
LOT 26	1,564	0.036
LOT 27	1,564	0.036
LOT 28	1,564	0.036
LOT 29	1,938	0.044
LOT 30	1,938	0.044
LOT 31	1,564	0.036
LOT 32	1,564	0.036
LOT 33	1,564	0.036
LOT 34	1,564	0.036
LOT 35	1,938	0.044
LOT 36	1,947	0.045
LOT 37	1,659	0.038
LOT 38	1,659	0.038
LOT 39	2,024	0.046
LOT 40	2,024	0.046
LOT 41	1,659	0.038
LOT 42	1,659	0.038
LOT 43	2,023	0.046
Total	74,932	1.720

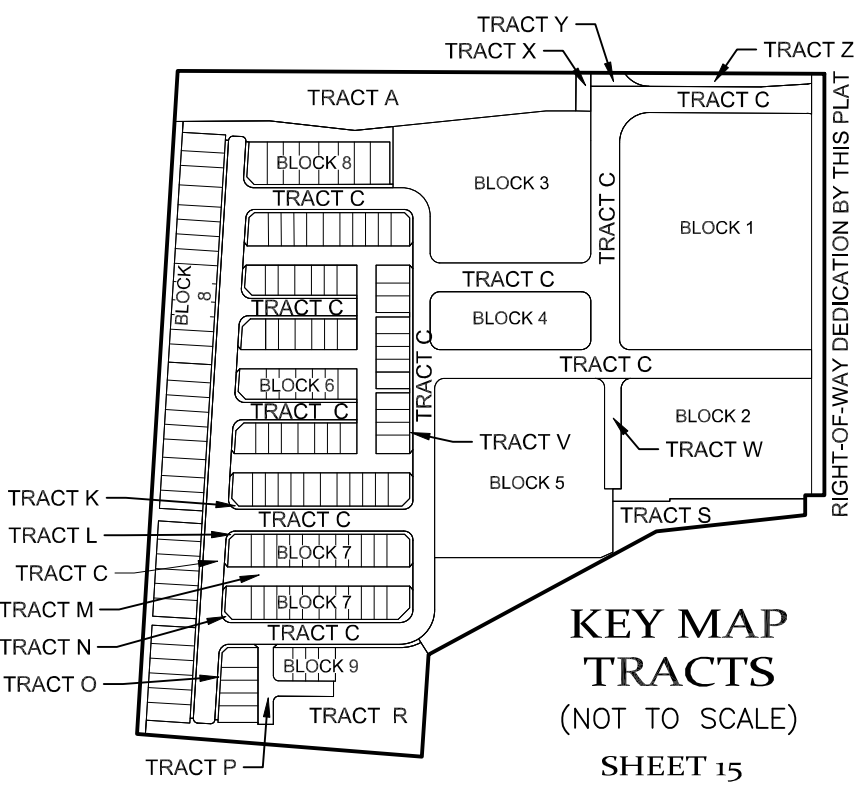
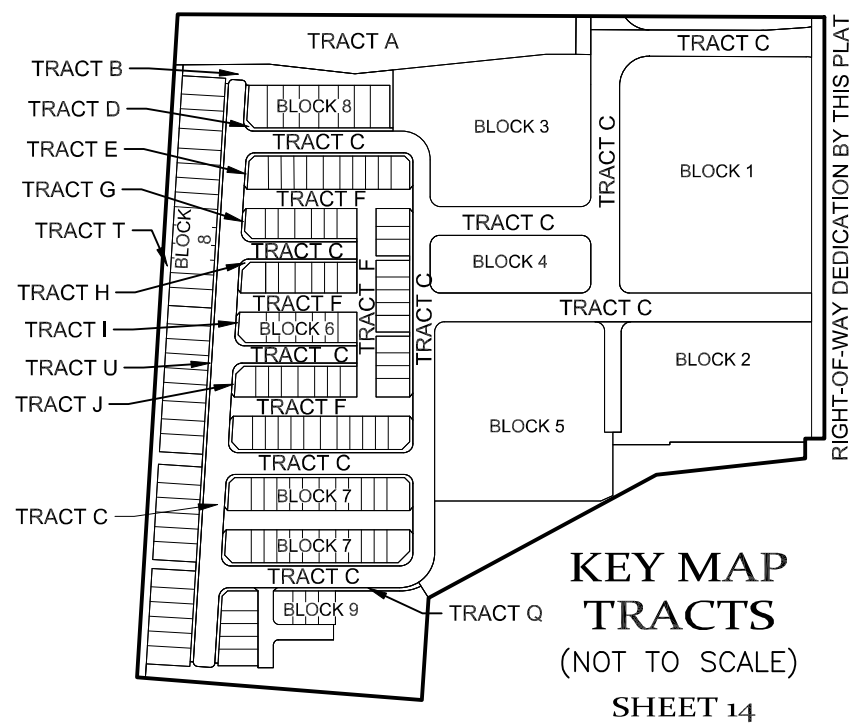
BLOCK 9		
LOT	SQ. FT.	ACRES
LOT 1	1,700	0.039
LOT 2	1,159	0.027
LOT 3	1,184	0.027
LOT 4	1,208	0.028
LOT 5	1,607	0.037
LOT 6	1,583	0.036
LOT 7	1,043	0.024
LOT 8	1,044	0.024
LOT 9	1,362	0.031
Total	11,890	0.273

TRACT & DEDICATION DATA

TRACT	AREA (SQ.FT.)	AREA (ACRES)	LAND USE	OWNERSHIP
A	48,129	1.105	LANDSCAPE	CLEAR CREEK DEVELOPMENT, LLC
B	8,294	0.190	LANDSCAPE	HOMEOWNERS' ASSOCIATION
C	161,470	3.707	METRO DISTRICT ROADS FOR PUBLIC ACCESS	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
D	1,525	0.035	SIDEWALK TRACTS TO PROVIDE PEDESTRIAN ACCESS TO THE PUBLIC	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
E	1,774	0.041	SIDEWALK TRACTS TO PROVIDE PEDESTRIAN ACCESS TO THE PUBLIC	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
F	31,829	0.731	ALLEY	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
G	1,149	0.026	SIDEWALK TRACTS TO PROVIDE PEDESTRIAN ACCESS TO THE PUBLIC	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
H	1,174	0.027	SIDEWALK TRACTS TO PROVIDE PEDESTRIAN ACCESS TO THE PUBLIC	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
I	1,200	0.028	SIDEWALK TRACTS TO PROVIDE PEDESTRIAN ACCESS TO THE PUBLIC	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
J	1,223	0.028	SIDEWALK TRACTS TO PROVIDE PEDESTRIAN ACCESS TO THE PUBLIC	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
K	1,985	0.045	SIDEWALK TRACTS TO PROVIDE PEDESTRIAN ACCESS TO THE PUBLIC	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
L	1,920	0.044	SIDEWALK TRACTS TO PROVIDE PEDESTRIAN ACCESS TO THE PUBLIC	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
M	8,936	0.205	ALLEY	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
N	2,082	0.048	SIDEWALK TRACTS TO PROVIDE PEDESTRIAN ACCESS TO THE PUBLIC	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
O	841	0.019	SIDEWALK TRACTS TO PROVIDE PEDESTRIAN ACCESS TO THE PUBLIC	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
P	5,304	0.122	ALLEY	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
Q	1,163	0.027	SIDEWALK TRACT	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
R	36,527	0.838	OPEN SPACE	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
S	33,920	0.779	OPEN SPACE	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
T	14,763	0.339	LANDSCAPE	HOMEOWNERS' ASSOCIATION
U	4,525	0.104	SIDEWALK TRACT	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
V	1,443	0.033	SIDEWALK TRACT	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
W	4,577	0.105	ALLEY	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
X	1,388	0.032	LANDSCAPE	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
Y	1,344	0.031	FUTURE ACCESS	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
Z	5,709	0.131	LANDSCAPE	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
DEDICATION	13,172	0.302	RIGHT-OF-WAY DEDICATION	ADAMS COUNTY
TOTAL TRACT + DEDICATION AREA	397,317	9.121		

LAND USE	SQ. FT.	ACRES	OWNERSHIP
BLOCK 1	110,532	2.538	CLEAR CREEK DEVELOPMENT, LLC
BLOCK 2	56,297	1.292	CLEAR CREEK DEVELOPMENT, LLC
BLOCK 3	63,972	1.469	CLEAR CREEK DEVELOPMENT, LLC
BLOCK 4	22,444	0.515	CLEAR CREEK DEVELOPMENT, LLC
BLOCK 5	75,599	1.735	CLEAR CREEK DEVELOPMENT, LLC
BLOCK 6	76,680	1.760	CLEAR CREEK DEVELOPMENT, LLC
BLOCK 7	29,163	0.670	CLEAR CREEK DEVELOPMENT, LLC
BLOCK 8	74,932	1.720	CLEAR CREEK DEVELOPMENT, LLC
BLOCK 9	11,890	0.273	CLEAR CREEK DEVELOPMENT, LLC
BLOCK TOTAL	±521,509	±11.972	

LAND USE	SQ. FT.	ACRES
BLOCKS	±521,509	±11.972
TRACTS	±384,145	±8.819
DEDICATION	±13,172	±0.302
TRACT & DEDICATION TOTAL	±397,317	±9.121
SITE TOTAL	±918,826	±21.093



TRACT A: SEE SHEETS 6 & 7
TRACT C: SEE SHEETS 6-13
SEE TRACT / DEDICATION DETAILS
SHEETS 14 & 15

LAND USE TABLES

	TYPE OF SUBMITTAL:	FINAL PLAT
	PREPARATION DATE:	JANUARY 31, 2023
	REVISION DATE:	
	REVISION DATE:	
JOB NO. 19-260		DWG: 19-260 PRELIM.dwg
SHEET 5 OF 15		

CLEAR CREEK TRANSIT VILLAGE

*** FINAL PLAT ***

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 6 OF 15

PRC2022-00002

Tract C of Aloha Beach Filing No. 1
Quitclaim Deed at Book 4534, Page 987
NOT A PART

Tract D of Aloha Beach Filing No. 1
Quitclaim Deed at Book 4534, Page 987
NOT A PART

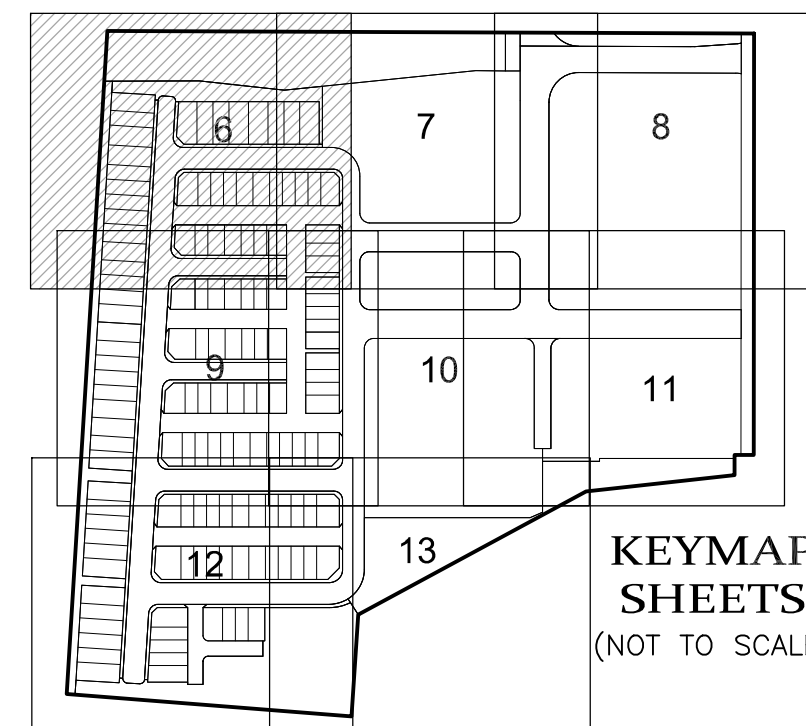
LEGEND OF SYMBOLS & ABBREVIATIONS

- SET REBAR & 1-1/2" DIAMETER YELLOW PLASTIC CAP, PLS 37929, TYPICAL UNLESS NOTED OTHERWISE
- MONUMENT FOUND, AS NOTED
- DIAM DIAMETER
- (C) CALCULATED
- (M) MEASURED
- (R) RECORD

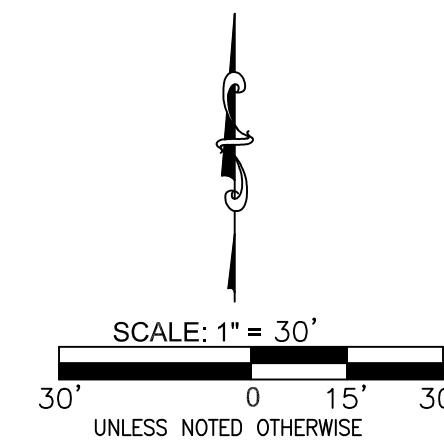
BLOCK # LOT OR BLOCK NUMBER

- PUBLIC LANDS SURVEY SECTION LINE
- PLAT BOUNDARY LIMITS
- NEW LOT & TRACT LINE PER THIS PLAT
- EXISTING RECORD EASEMENT LINE
- ADJOINING PARCEL OR LOT LINE
- F.E.M.A. FLOOD BOUNDARY (AS NOTED)

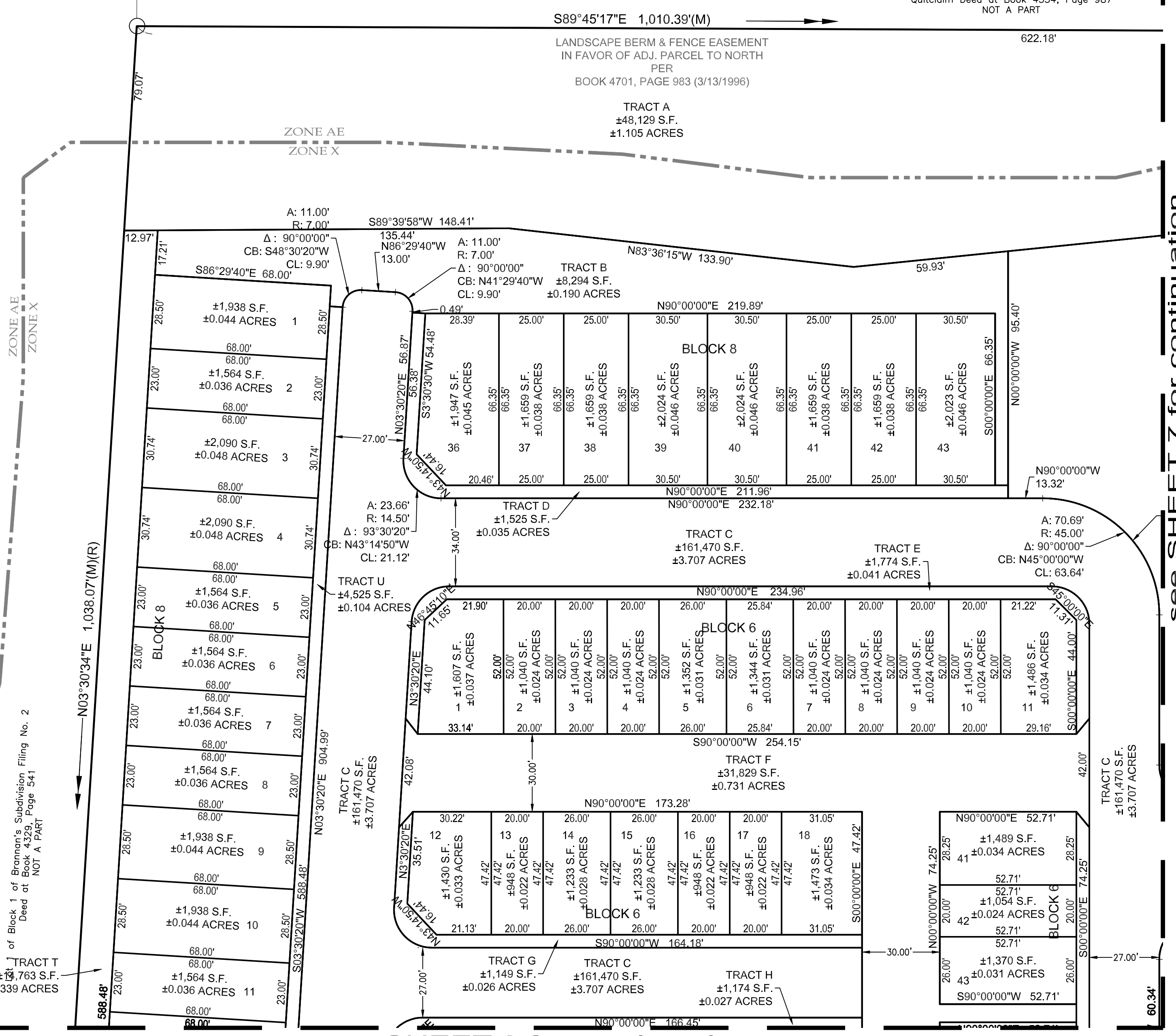
FOR ADAMS COUNTY ROAD DEDICATION AND TRACTS B & D-Z DETAILS, SEE SHEETS 14 & 15. FOR LAND USE TABLES, SEE SHEET 5.



KEYMAP SHEETS (NOT TO SCALE)



FINAL PLAT



see SHEET 7 for continuation

see SHEET 9 for continuation

of Block 1 of Brannan's Subdivision Filing No. 2
Deed at Book 4329, Page 541
NOT A PART

POWER Surveying Company, Inc.
Established 1988
6911 BROADWAY DENVER, COLORADO 80221
PH: 303-750-9517 FAX: 303-750-1438 WWW.POWERSURVEYING.COM

TYPE OF SUBMITTAL:	FINAL PLAT
PREPARATION DATE:	JANUARY 31, 2023
REVISION DATE:	
REVISION DATE:	
REVISION DATE:	
JOB NO. 19-260	DWG: 19-260 PRELIM.dwg
SHEET 6 OF 15	

CLEAR CREEK TRANSIT VILLAGE

*** FINAL PLAT ***

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

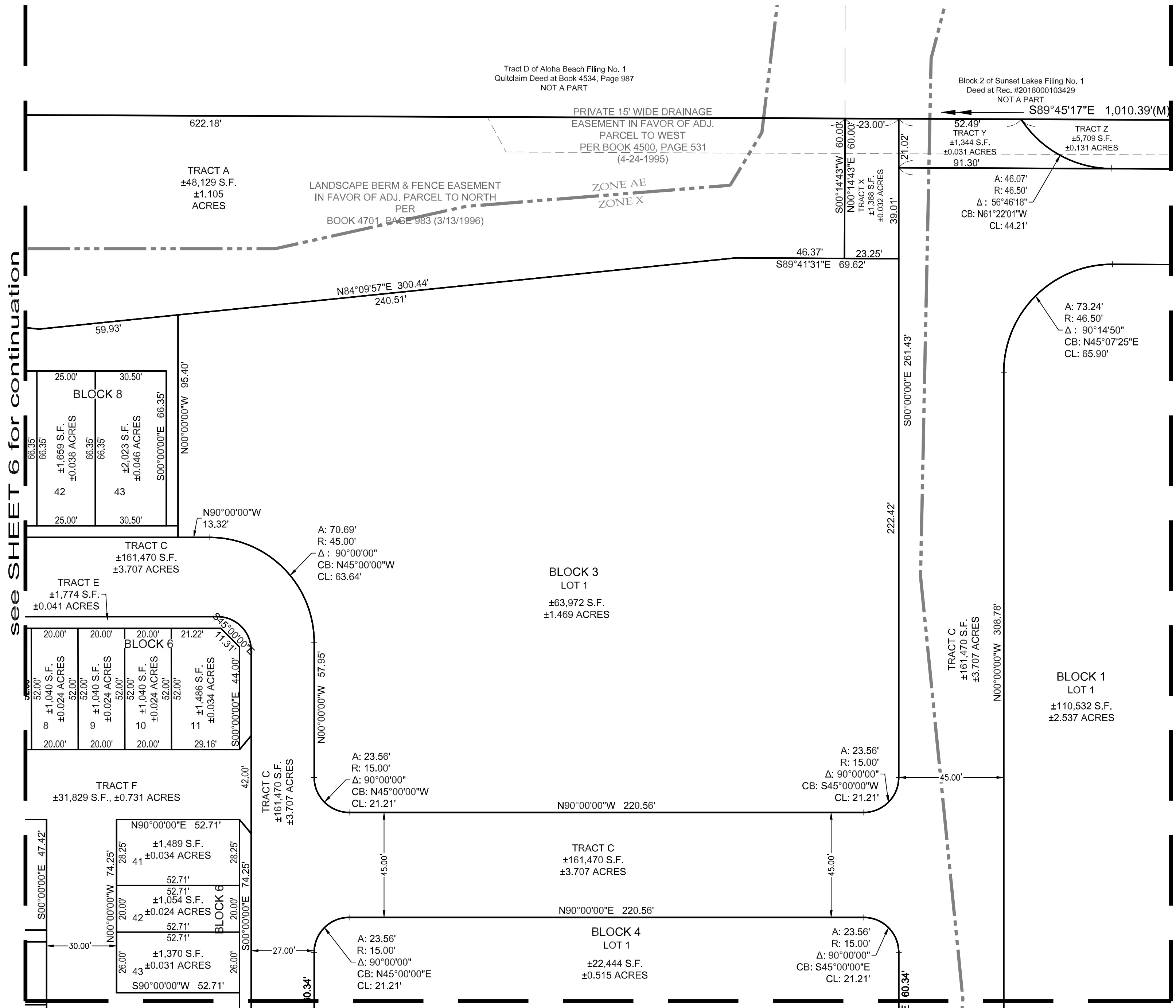
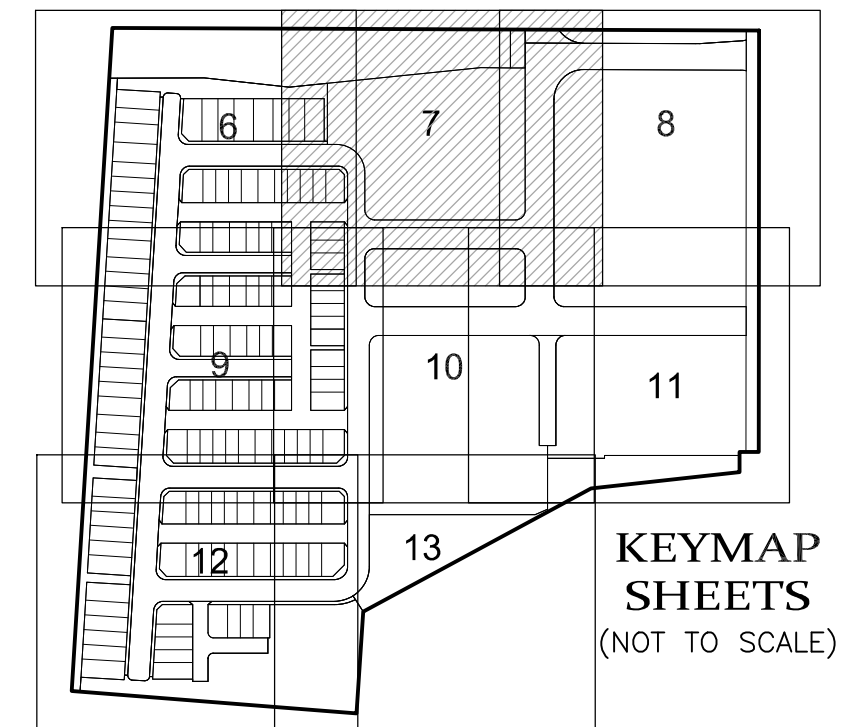
SHEET 7 OF 15

PRC2022-00002

LEGEND OF SYMBOLS & ABBREVIATIONS

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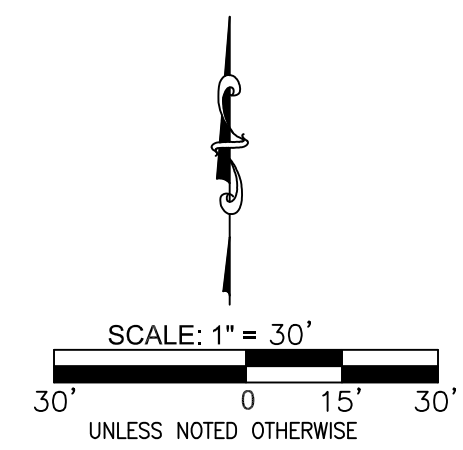
FOR ADAMS COUNTY ROAD DEDICATION AND TRACTS B & D-Z DETAILS, SEE SHEETS 14 & 15. FOR LAND USE TABLES, SEE SHEET 5.



see SHEET 6 for continuation

see SHEET 8 for continuation

see SHEET 10 for continuation



TYPE OF SUBMITTAL:	FINAL PLAT
PREPARATION DATE:	JANUARY 31, 2023
REVISION DATE:	
REVISION DATE:	
REVISION DATE:	
JOB NO. 19-260	DWG: 19-260 PRELIM.dwg
SHEET 7 OF 15	

CLEAR CREEK TRANSIT VILLAGE

*** FINAL PLAT ***

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 9 OF 15

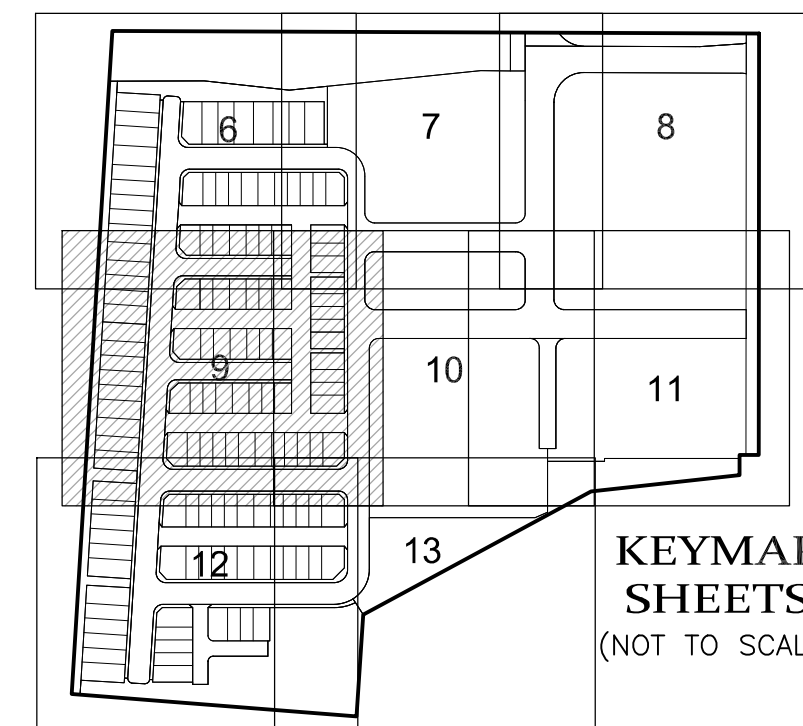
PRC2022-00002

see SHEET 6 for continuation

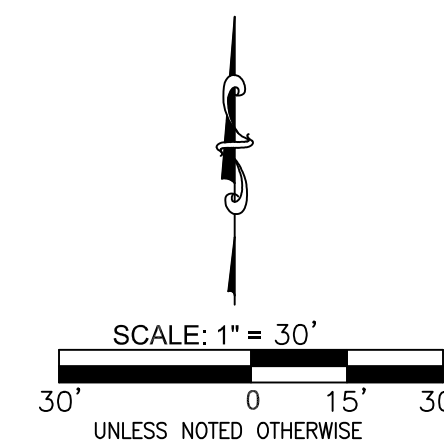
LEGEND OF SYMBOLS & ABBREVIATIONS

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FOR ADAMS COUNTY ROAD DEDICATION AND TRACTS B & D-Z DETAILS, SEE SHEETS 14 & 15. FOR LAND USE TABLES, SEE SHEET 5.



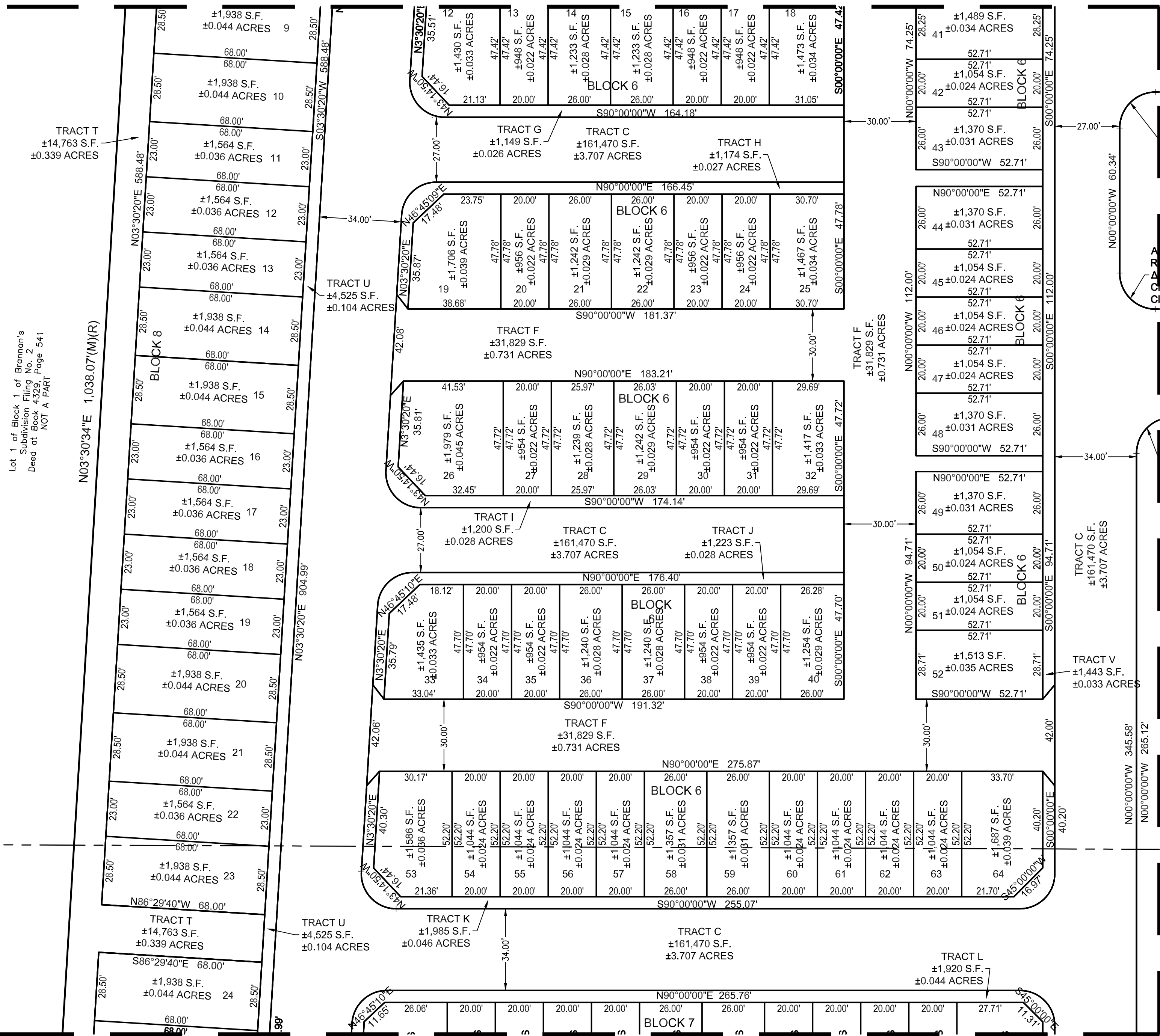
KEYMAP SHEETS (NOT TO SCALE)



FINAL PLAT



TYPE OF SUBMITTAL:	FINAL PLAT
PREPARATION DATE:	JANUARY 31, 2023
REVISION DATE:	
REVISION DATE:	
REVISION DATE:	
JOB NO. 19-260	DWG: 19-260 PRELIM.dwg
SHEET 9 OF 15	



Lot 1 of Block 1 of Brannan's Subdivision Filed No. 2 Deed at Book 4329, Page 541 NOT A PART

see SHEET 10 for continuation

see SHEET 12 for continuation

CLEAR CREEK TRANSIT VILLAGE

*** FINAL PLAT ***

PRC2022-00002

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

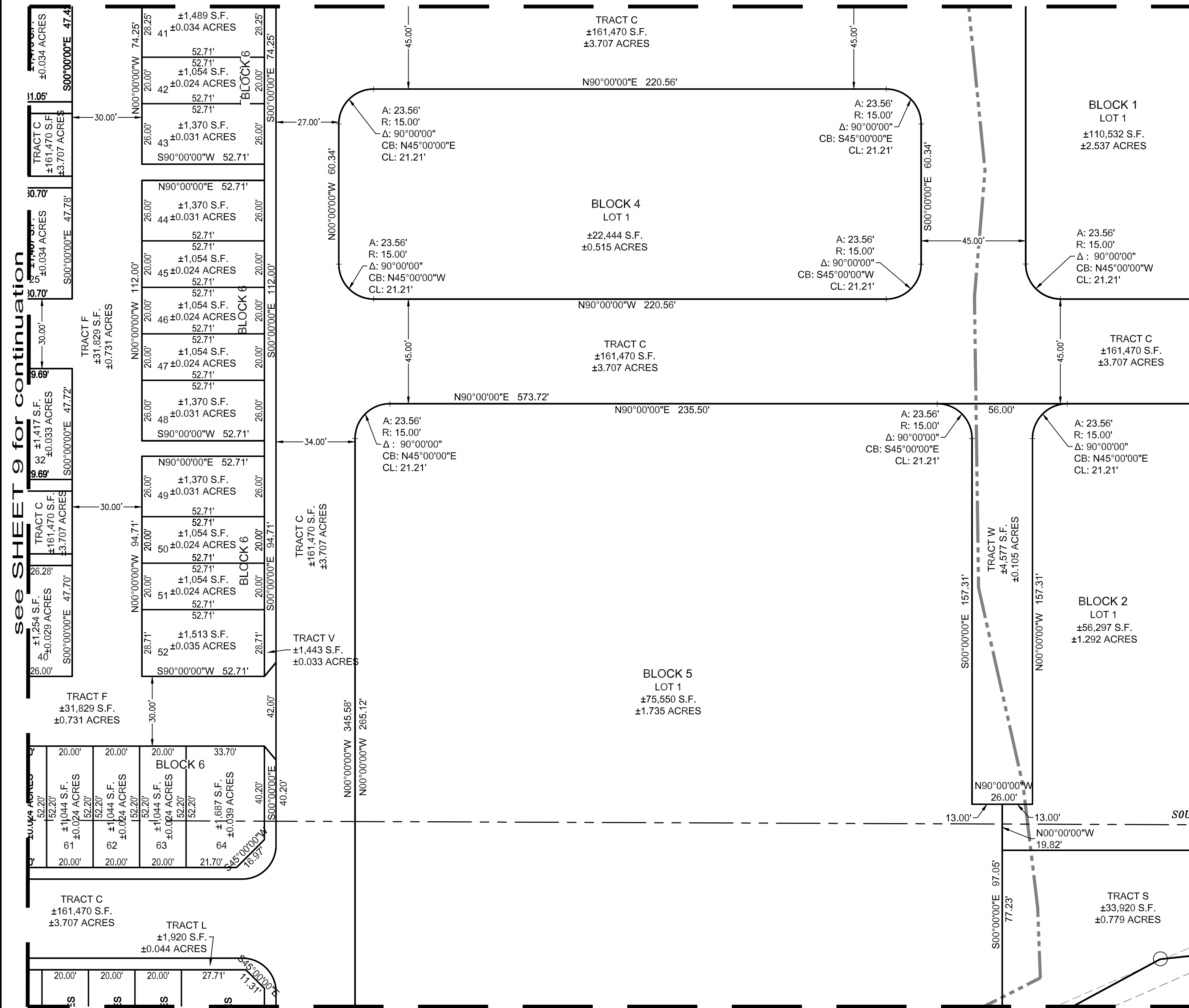
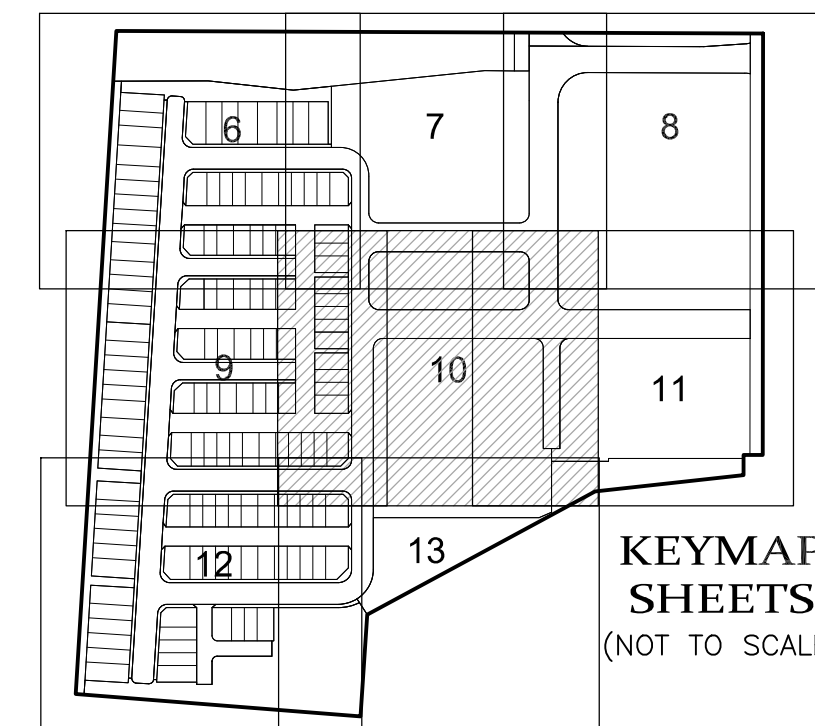
SHEET 10 OF 15

see SHEET 7 for continuation

LEGEND OF SYMBOLS & ABBREVIATIONS

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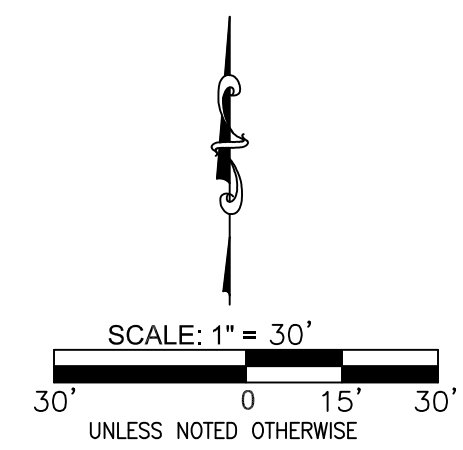
FOR ADAMS COUNTY ROAD DEDICATION AND TRACTS B & D-Z DETAILS, SEE SHEETS 14 & 15. FOR LAND USE TABLES, SEE SHEET 5.



see SHEET 9 for continuation

see SHEET 11 for continuation

see SHEET 13 for continuation



FINAL PLAT

	TYPE OF SUBMITTAL:	FINAL PLAT
	PREPARATION DATE:	JANUARY 31, 2023
	REVISION DATE:	
	REVISION DATE:	
JOB NO. 19-260 DWG: 19-260 PRELIM.dwg		
SHEET 10 OF 15		

CLEAR CREEK TRANSIT VILLAGE

*** FINAL PLAT ***

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 11 OF 15

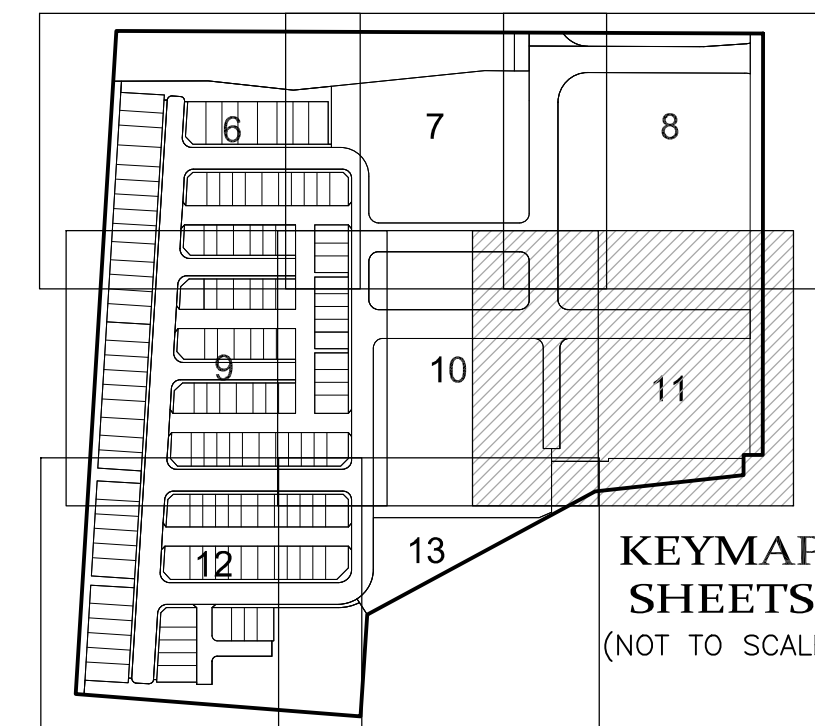
PRC2022-00002

see SHEET 8 for continuation

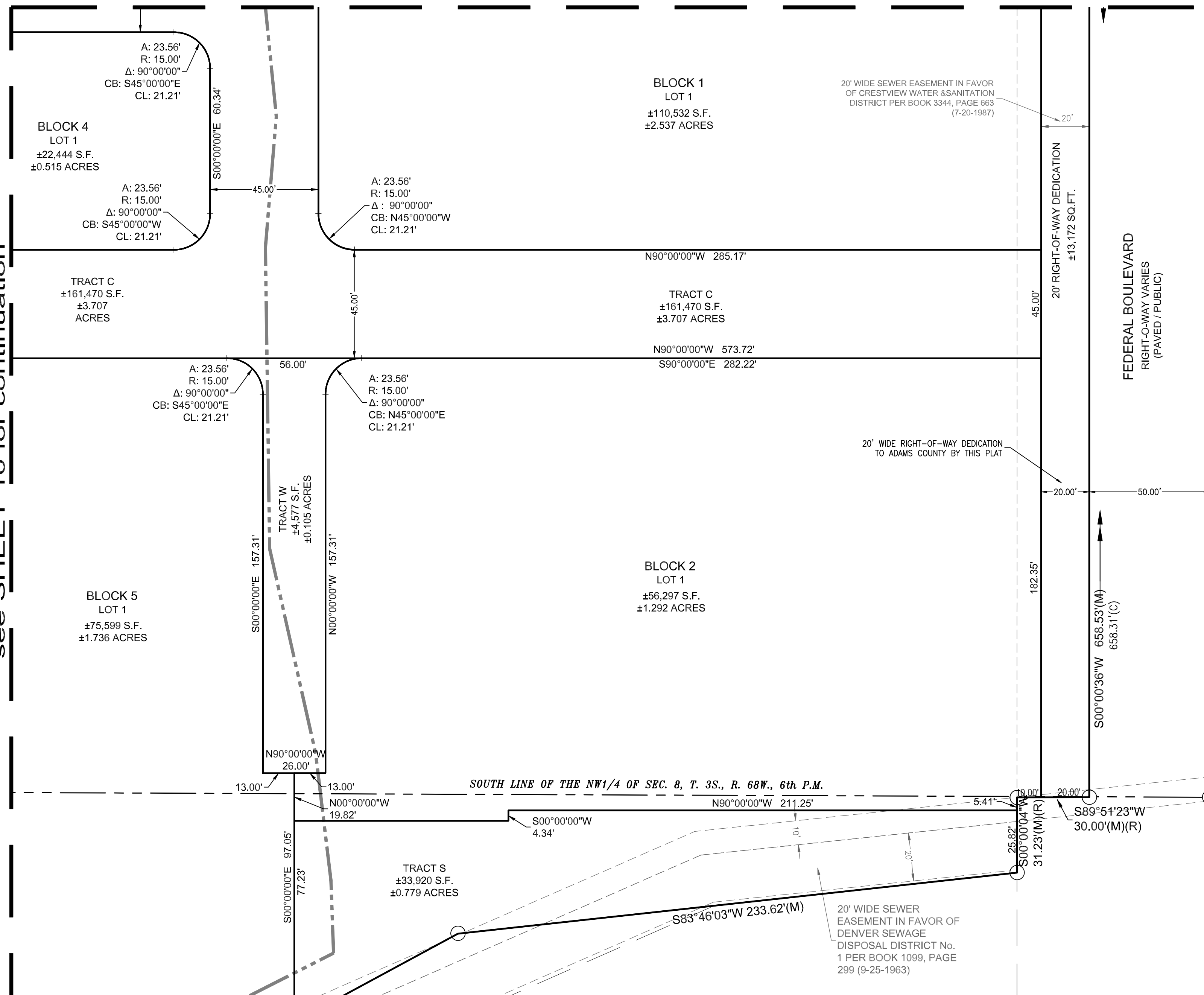
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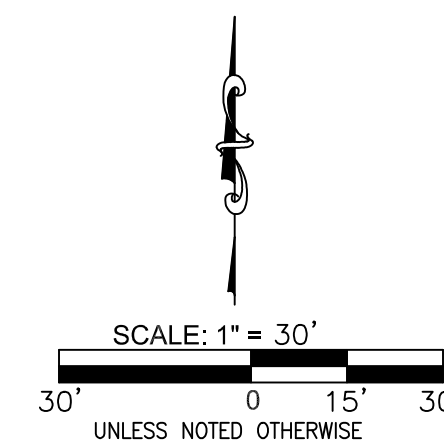
FOR ADAMS COUNTY ROAD DEDICATION AND TRACTS B & D-Z DETAILS, SEE SHEETS 14 & 15. FOR LAND USE TABLES, SEE SHEET 5.



see SHEET 10 for continuation



see SHEET 13 for continuation



TYPE OF SUBMITTAL:	FINAL PLAT
PREPARATION DATE:	JANUARY 31, 2023
REVISION DATE:	
REVISION DATE:	
REVISION DATE:	
JOB NO. 19-260	DWG: 19-260 PRELIM.dwg

CLEAR CREEK TRANSIT VILLAGE

*** FINAL PLAT ***

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 12 OF 15

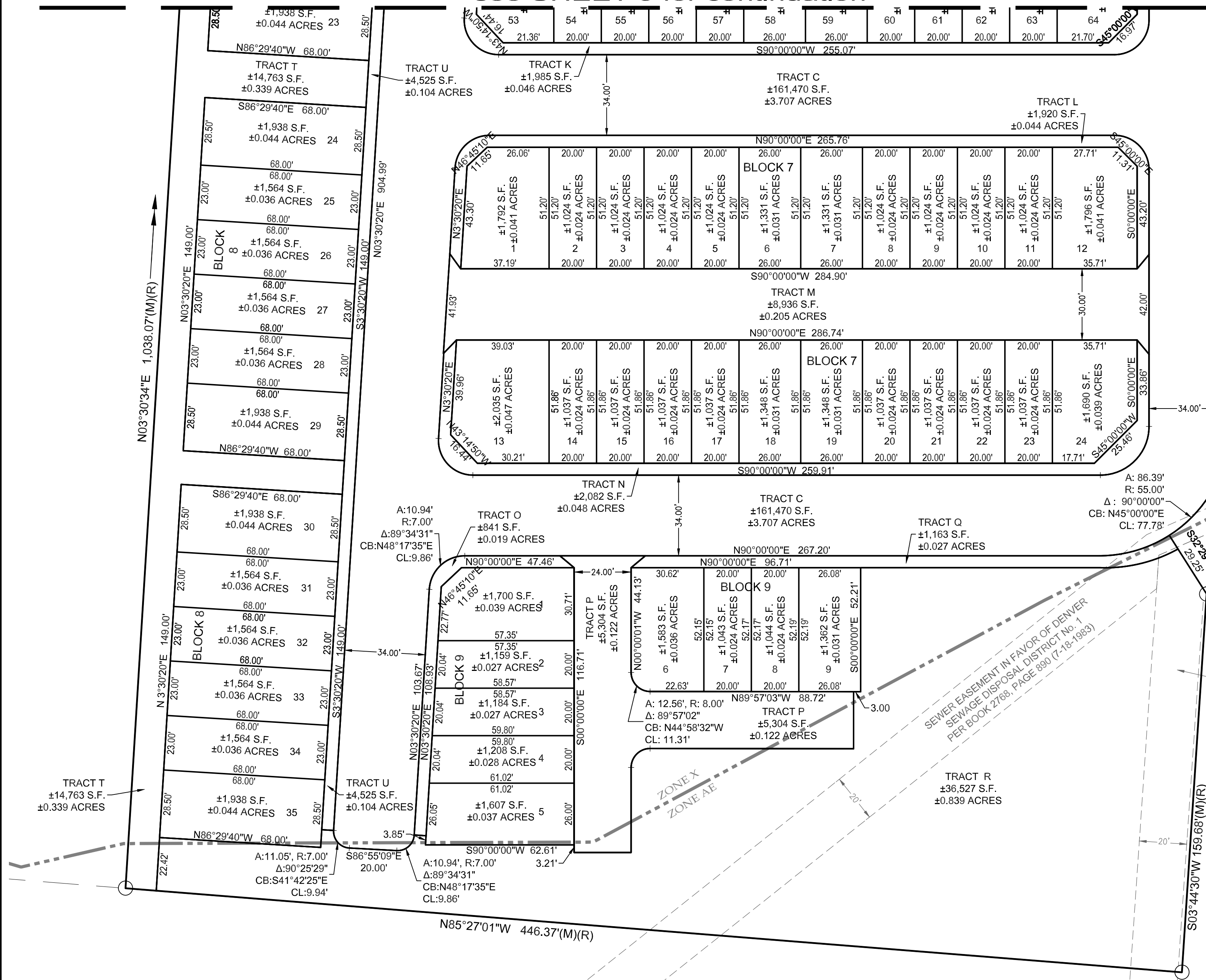
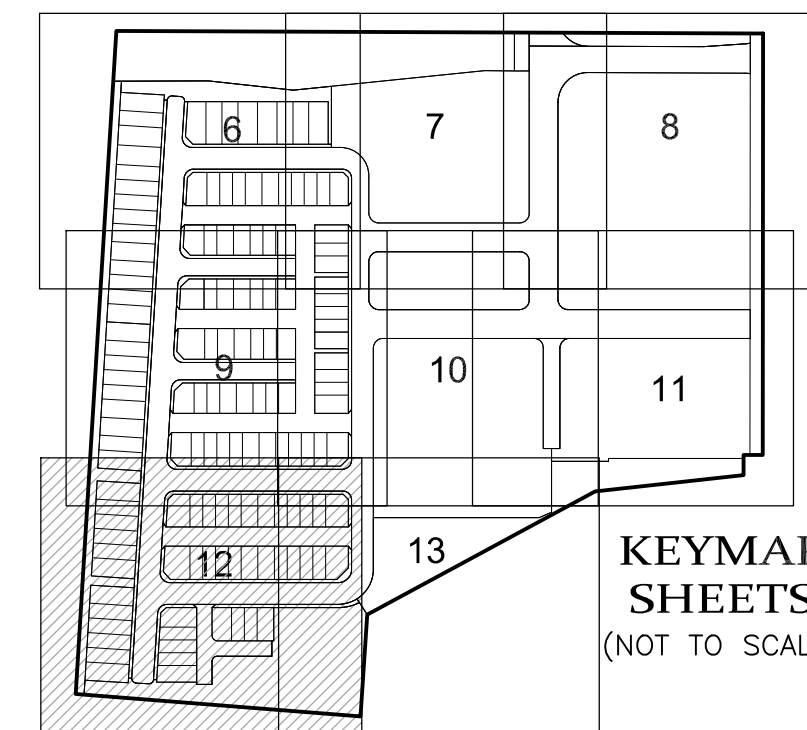
see SHEET 9 for continuation

PRC2022-00002

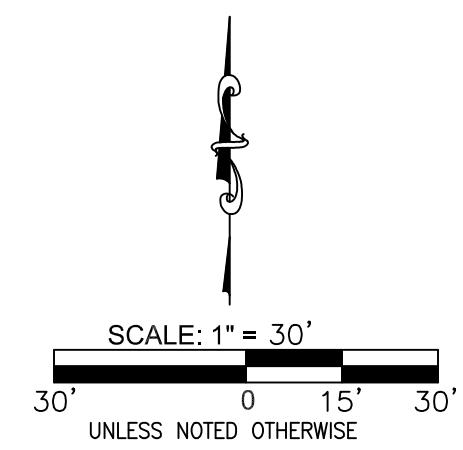
LEGEND OF SYMBOLS & ABBREVIATIONS

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FOR ADAMS COUNTY ROAD DEDICATION AND TRACTS B & D-Z DETAILS, SEE SHEETS 14 & 15. FOR LAND USE TABLES, SEE SHEET 5.



see SHEET 13 for continuation



FINAL PLAT

 Established 1988 6911 BROADWAY DENVER, COLORADO 80221 TEL: 303-750-9517 FAX: 303-750-1438 WWW.POWER-SURVEYING.COM	TYPE OF SUBMITTAL:	FINAL PLAT
	PREPARATION DATE:	JANUARY 31, 2023
	REVISION DATE:	
	REVISION DATE:	
JOB NO. 19-260		DWG: 19-260 PRELIM.dwg
SHEET 12 OF 15		

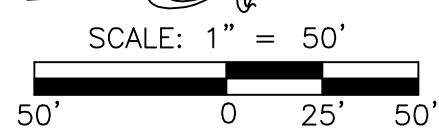
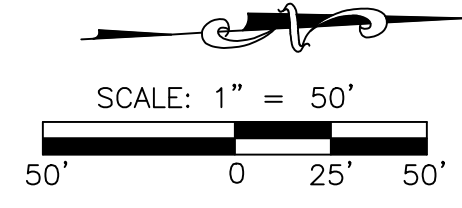
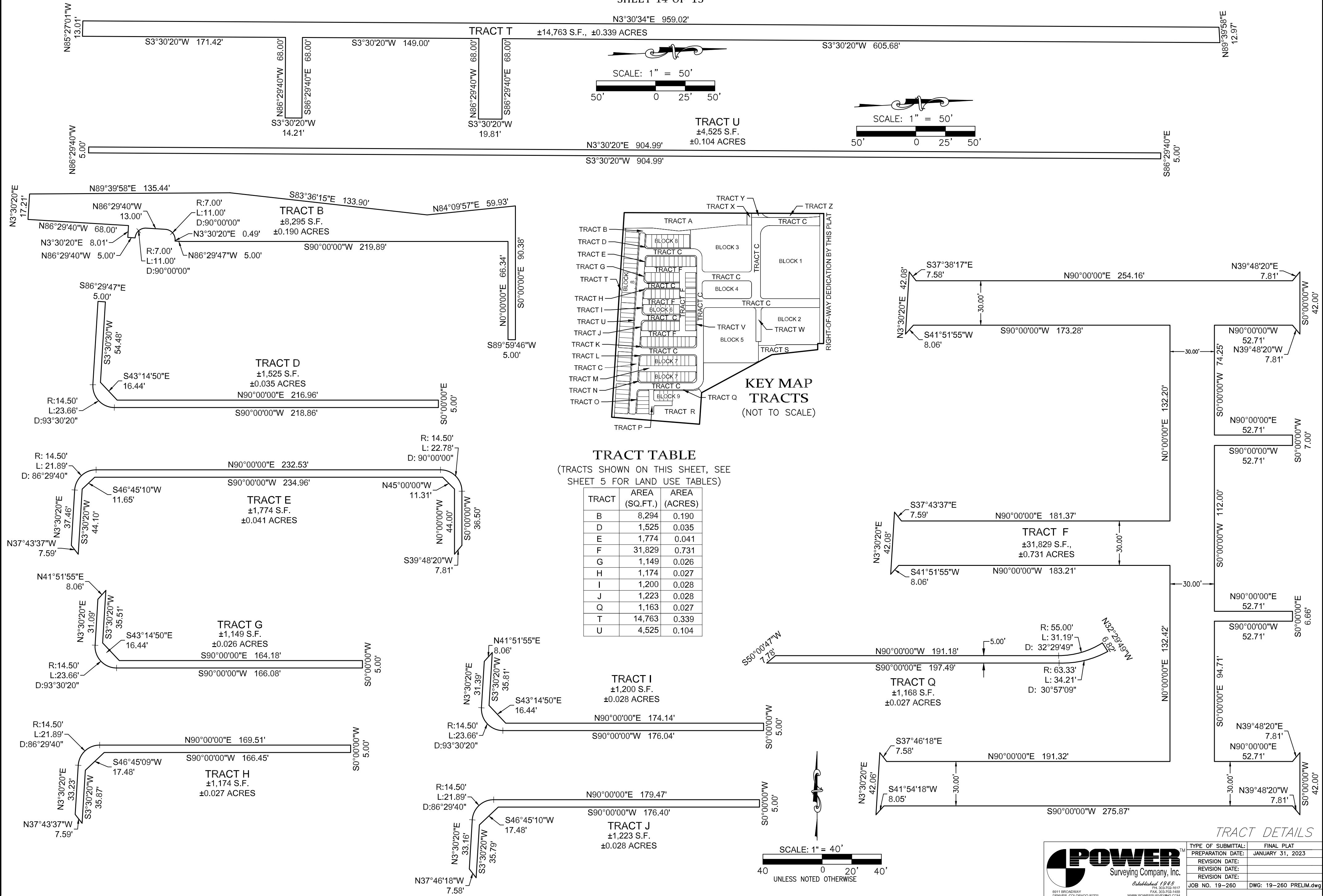
CLEAR CREEK TRANSIT VILLAGE

*** FINAL PLAT ***

PRC2022-00002

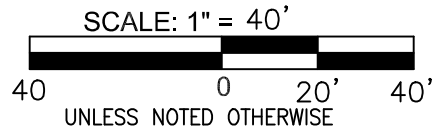
A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 14 OF 15

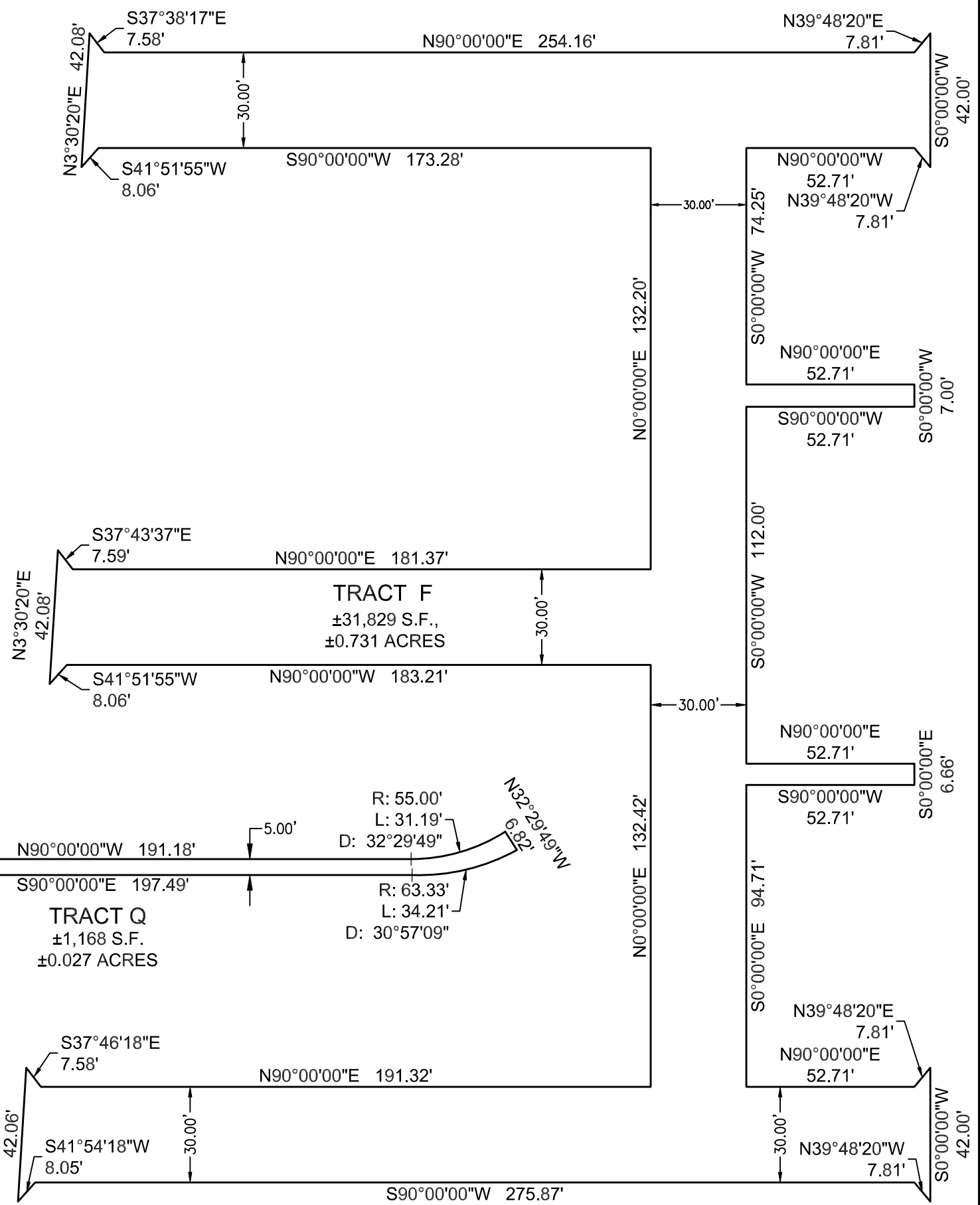


TRACT TABLE
(TRACTS SHOWN ON THIS SHEET, SEE SHEET 5 FOR LAND USE TABLES)

TRACT	AREA (SQ.FT.)	AREA (ACRES)
B	8,294	0.190
D	1,525	0.035
E	1,774	0.041
F	31,829	0.731
G	1,149	0.026
H	1,174	0.027
I	1,200	0.028
J	1,223	0.028
Q	1,163	0.027
T	14,763	0.339
U	4,525	0.104



TRACT DETAILS



TYPE OF SUBMITTAL:	FINAL PLAT
PREPARATION DATE:	JANUARY 31, 2023
REVISION DATE:	
REVISION DATE:	
REVISION DATE:	
JOB NO. 19-260	DWG: 19-260 PRELIM.dwg

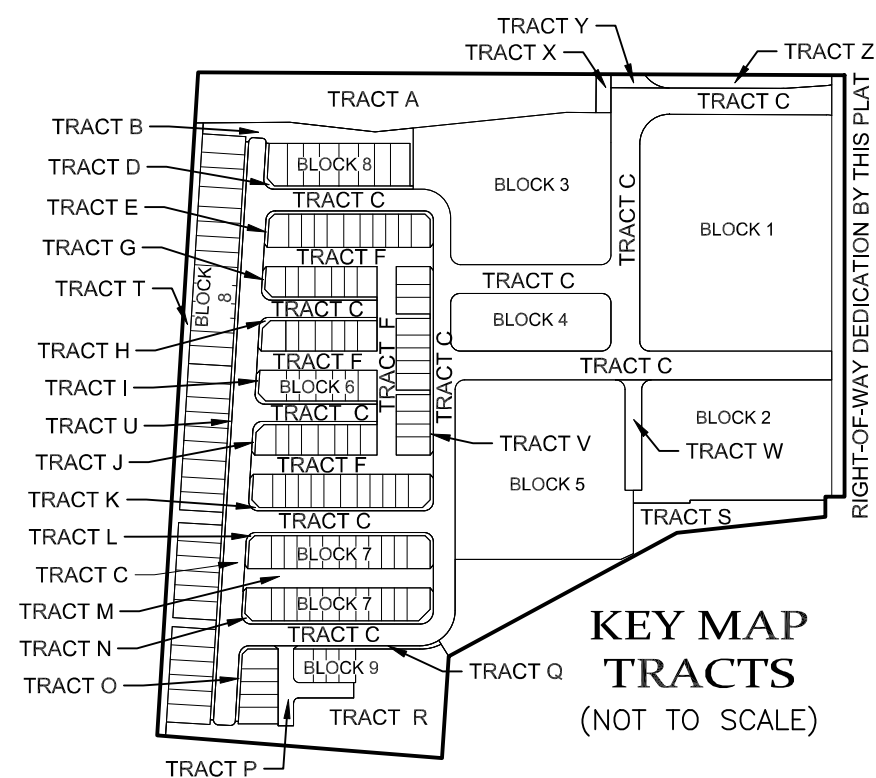
CLEAR CREEK TRANSIT VILLAGE

*** FINAL PLAT ***

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

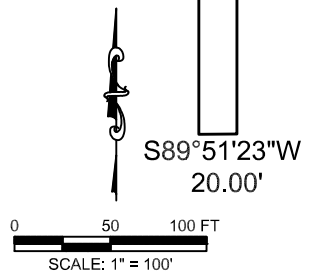
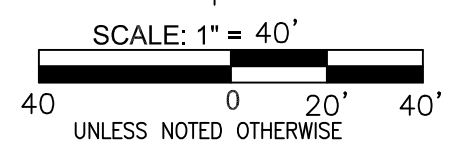
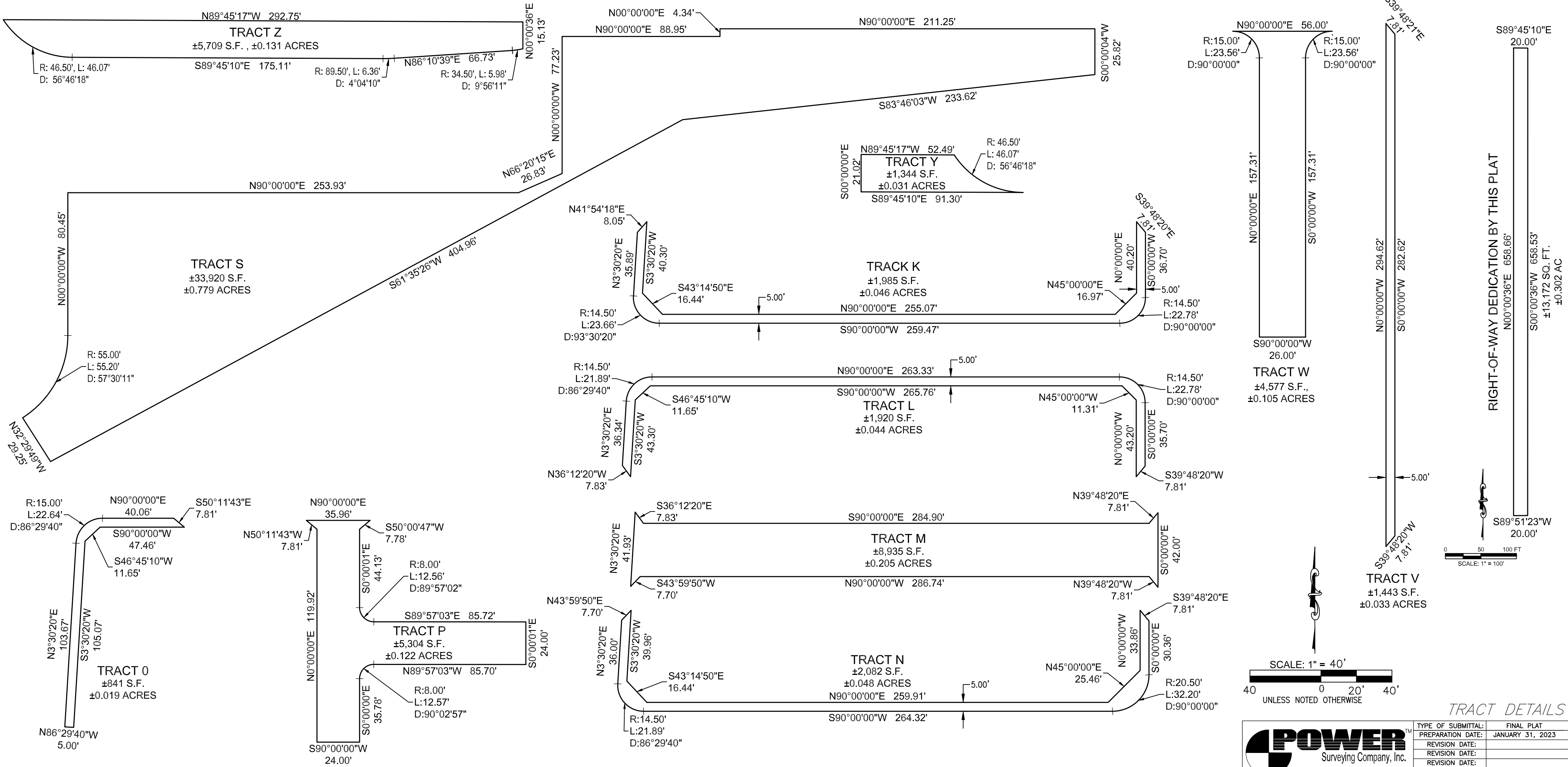
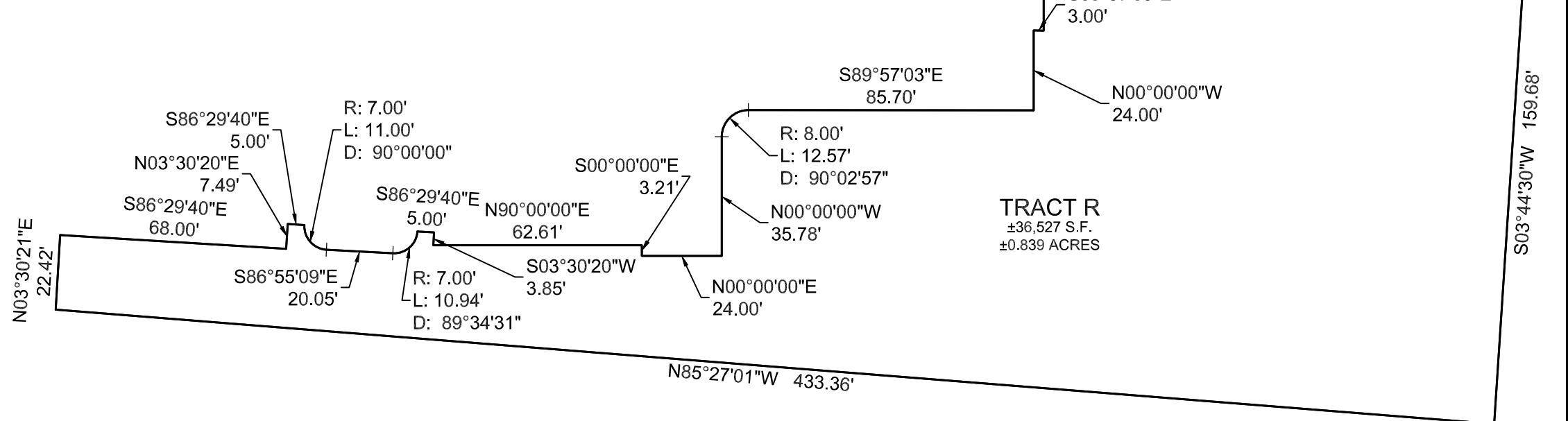
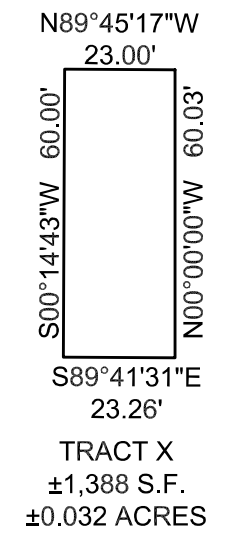
SHEET 15 OF 15

PRC2022-00002



TRACT TABLE
(TRACTS SHOWN ON THIS SHEET.
SEE SHEET 5 FOR LAND USE TABLES)

TRACT	AREA (SQ.FT.)	AREA (ACRES)
K	1,985	0.045
L	1,920	0.044
M	8,936	0.205
N	2,082	0.048
O	841	0.019
P	5,304	0.122
R	36,527	0.838
S	33,871	0.778
V	1,443	0.033
W	4,577	0.105
X	1,388	0.032
Y	1,344	0.031
Z	5,709	0.131
DEDICATION	13,172	0.302



TRACT DETAILS

	TYPE OF SUBMITTAL:	FINAL PLAT
	PREPARATION DATE:	JANUARY 31, 2023
	REVISION DATE:	
	REVISION DATE:	
JOB NO. 19-260		DWG: 19-260 PRELIM.dwg
SHEET 15 OF 15		



**ADAMS COUNTY FIRE RESCUE
FIRE PREVENTION BUREAU**

7980 Elmwood Lane
Denver, CO 80221
P: (303) 539-6862
E: fireprevention@acfpd.org

Will Serve Letter

Project:	
Location:	
Description:	
Reviewer:	

To whom it may concern,

The property listed above is within the boundaries of Adams County Fire Protection District and will be covered by its services. Please be aware that, at a minimum, we will need to complete a site development plan review and construction reviews required by the fire code. The first submittal is generally the site development plan review and needs to include a full set of civil plans, an auto turn exhibit, and the results of a fire flow test. If you have any questions regarding this location, please call 303-539-6862 and we will be able to answer your questions.

Sincerely,

Whitney Even
Acting Fire Marshal
Adams County Fire Protection District

LEGAL DESCRIPTION
CLEAR CREEK TRANSIT VILLAGE

ALL THAT REAL PROPERTY DESCRIBED AND CONVEYED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED JUNE 23, 2020 AT RECEPTION No. 2020000056492, DESCRIBED AS FOLLOWS:

LOT 2, BLOCK 1, BRANNAN'S SUBDIVISION FILING NO. 2, ACCORDING TO THE PLAT RECORDED MAY 12, 1994 AT RECEPTION NO. B1247454, AND AS AMENDED BY AFFIDAVIT OF CORRECTION RECORDED JANUARY 19, 1995 IN BOOK 4455 AT PAGE 542, EXCEPT THAT PART CONVEYED TO THE COUNTY OF ADAMS BY WARRANTY DEED MADE A PART OF RESOLUTION RECORDED MAY 25, 1995 IN BOOK 4518 AT PAGE 777, COUNTY OF ADAMS, STATE OF COLORADO.

TOGETHER WITH TRACT A, BRANNAN'S SUBDIVISION - FILING NO. 1, ACCORDING TO THE PLAT RECORDED OCTOBER 31, 1973 AT RECEPTION NO. A020815, COUNTY OF ADAMS, STATE OF COLORADO.

THE ABOVE DESCRIBED SUBJECT PROPERTY IS ALSO DESCRIBED AS FOLLOWS:

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 8, FROM WHENCE THE SOUTHEAST CORNER OF SAID NORTHWEST QUARTER (NW 1/4) BEARS SOUTH 00°00'36" WEST A DISTANCE OF 2635.75 FEET, WITH ALL BEARINGS HEREIN RELATED THERETO; THENCE ALONG THE EAST LINE OF SAID NORTHWEST QUARTER (NW 1/4), SOUTH 00°00'36" WEST, 1977.44 FEET TO A POINT; THENCE LEAVING SAID EAST LINE, NORTH 89°45'17" WEST, 50.00 FEET TO THE WEST LINE OF FEDERAL BOULEVARD, AND BEING THE NORTHEAST CORNER OF TRACT A OF BRANNAN'S SUBDIVISION FILING No. 1, AND BEING THE POINT OF BEGINNING;

THENCE ALONG SAID WEST LINE, SOUTH 00°00'36" WEST, 658.53 FEET TO A POINT;
THENCE LEAVING SAID WEST LINE, SOUTH 89°51'23" WEST, 30.00 FEET TO A POINT;
THENCE SOUTH 00°00'04" WEST, 31.23 FEET TO A POINT;
THENCE SOUTH 83°46'03" WEST, 233.62 FEET TO A POINT;
THENCE SOUTH 61°35'26" WEST, 404.96 FEET TO A POINT ON THE BOUNDARY OF LOT 2 OF BRANNAN'S SUBDIVISION FILING No. 2;
THENCE ALONG SAID BOUNDARY THE FOLLOWING FOUR (4) COURSES:

1. SOUTH 03°44'30" WEST, 159.68 FEET TO A POINT;
2. NORTH 85°27'01" WEST, 446.37 FEET TO A POINT;
3. NORTH 03°30'34" EAST, 1038.07 FEET TO A POINT;
4. SOUTH 89°45'17" EAST, 1010.39 FEET TO THE POINT OF BEGINNING.

CONTAINING 918,827 SQUARE FEET OR 21.093 ACRES OF LAND, MORE OR LESS.

End of Legal Description.

FRANK M. ZWOLINSKI, P.L.S.
Colorado License No. 38060
For and on behalf of Power Survey Company, Inc.
(303) 702-1617

From: [Greg Barnes](#)
To: [Jeremy Lott](#)
Cc: [Bill Mahar](#)
Subject: RE: CCTV Tax Certificate Question
Date: Thursday, March 9, 2023 3:00:13 PM
Attachments: [image009.png](#)
[image010.png](#)
[image012.png](#)

Hi Jeremy,

All of those requirements will need to be fulfilled before these cases can be approved by the Board of County Commissioners. Please submit a copy of this e-mail with your applications, so that our E-Permit Center will know that I have waived this submittal requirement during the application intake. You will be expected to provide this items prior to the final hearing approving this project.

Greg Barnes Pronouns: he/him/his

Principal Planner, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

My work schedule is:

Monday: Alternating weeks of: 7 am – 3:30 pm and off (work from home)

Tuesday: 7:30 am – 5:00 pm (in office)

Wednesday: 7:00 am – 4:30 pm (work from home)

Thursday: 7:30 am – 5:00 pm (in office)

Friday: 7:30 am – 5:00 pm (in office)

From: Jeremy Lott <JLott@Norris-Design.com>

Sent: Thursday, March 9, 2023 10:57 AM

To: Greg Barnes <GJBarnes@adcogov.org>

Cc: Bill Mahar <bmahar@norris-design.com>

Subject: CCTV Tax Certificate Question

Please be cautious: This email was sent from outside Adams County

Hi Greg –

I left you a voicemail to confirm one thing regarding tax certificates but wanted to follow up in case this is easier. We're wanting to confirm if the following process would work and that applications wouldn't get kicked back or delayed.

1. Pay the first half of the taxes (due date March 1)

2. Obtain Updated/Certified Tax Certificates prior to submittal.
3. Submit Applications for FDP, Plat, Civil Documents/Engineering Review (including tax certificates showing first half of taxes paid).
4. Pay the second half of taxes by June 15.
5. Provide updated tax certificates with any submittals that go in after June 15.

Please let us know when you get a chance. Thank you!



Jeremy Lott, AICP (he/him)
Associate | Planner

1101 Bannock Street | Denver, CO 80204
P 303.892.1166 | D 719.423.4732



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Application Type:

<input type="checkbox"/>	Erosion and Sediment Control	<input type="checkbox"/>	Street Construction Plans
<input type="checkbox"/>	Floodplain Use Permit	<input checked="" type="checkbox"/>	Subdivision Engineering Review
<input type="checkbox"/>	On-Site Grading and Drainage	<input type="checkbox"/>	Traffic Impact Study/ Analysis

PROJECT NAME:

APPLICANT

Name(s): Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

OWNER

Name(s): Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

TECHNICAL REPRESENTATIVE (Consultant, Engineer, Surveyor, Architect, etc.)

Name: Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

DESCRIPTION OF SITE

Address:

City, State, Zip:

Area (acres or square feet):

Tax Assessor Parcel Number

Existing Zoning:

Existing Land Use:

Proposed Land Use:

Have you attended a Conceptual Review? YES NO (N/A)

If Yes, please list PRE#:

I hereby certify that I am making this application as owner of the above described property or acting under the authority of the owner (attached authorization, if not owner). I am familiar with all pertinent requirements, procedures, and fees of the County. I understand that the Application Review Fee is non-refundable. All statements made on this form and additional application materials are true to the best of my knowledge and belief.

Name:

Date:

Owner's Printed Name

Name:

Owner's Signature